



TOWN OF CORTLANDT

ZONING BOARD OF APPEALS

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
914-734-1080

Michael Fleming
Chairman

Wai Man Chin
Vice-Chairman

Chris Beloff
Frank Franco
Michelle Piccolo Hill
Benito Martinez
Thomas Walsh

Town Supervisor
Richard H. Becker, MD

Town Board
James F. Creighton
Francis X. Farrell
Cristin Jacoby
Robert Mayes

You are invited to a Zoom webinar.
When: Nov 16, 2023 07:00 PM Eastern Time (US and Canada)
Topic: 2023 November 16 Zoning Board Meeting

Please click the link below to join the webinar:
[https://us02web.zoom.us/j/88429863163?](https://us02web.zoom.us/j/88429863163?pwd=Q2phU3AwK1d3WXNkL3JhQ3BwS1hkQT09)
pwd=Q2phU3AwK1d3WXNkL3JhQ3BwS1hkQT09
Passcode: 496881

Or One tap mobile :
+19292056099,,88429863163#,,, *496881# US (New York)
+16469313860,,88429863163#,,, *496881# US

Or Telephone:
Dial(for higher quality, dial a number based on your current location):
+1 929 205 6099 US (New York)
Webinar ID: 884 2986 3163
Passcode: 496881

AGENDA.....ZONING BOARD OF APPEALS
Town Hall – 1 Heady Street
Cortlandt Manor, NY 10567

Work Session – Thursday, November 16, 2023 at 6:30 PM

1. Discuss Agenda for the Regular Meeting

Regular Meeting – Thursday, November 16, 2023 at 7:00 PM

1. Pledge to the Flag and Roll Call
2. Adoption of the Meeting Minutes for October 19, 2023

3. Old Business

A. Case No. 2023-9 Application of Jennie Thomas of JJM Summit Realty, LLC for area variances for a front yard and side yard setbacks and for minimum landscape coverage for a proposed addition to an existing dental office building for property located at 1 Jerome Dr.

4. **New Public Hearings**

A. Case No. 2023-14 Application of Fabio Nieto and Melanie Butler for an area variance for Maximum Floor Area for a proposed addition to an existing residence located at 249 Kings Ferry Rd.

B. Case No. 2023-15 Application of Kim Alpert Popolizio for an area variance for a proposed shed to be located in the front yard at 18 Hollis Lane.

NEXT REGULAR MEETING THURSDAY, DECEMBER 21, 2023

NOTE: PLAN FORMAT 36" X 24" D' SIZE MEDIA

COMBINED LOT AREA	24,743 SF		
STRUCTURE	2,404 SF		
PAVING	9,800 SF		
WALKWAYS	63 SF		
TOTAL	12,337 SF		
EXISTING	PROPOSED	ADDITION	
BUILDING COVERAGE BASEMENT AREA	1,410 SF	2,374 SF	864 SF
FIRST FLOOR AREA	1,410 SF	2,374 SF	864 SF
SECOND FLOOR AREA	716 SF	-	-
TOTAL FLOOR AREA	2,126 SF	3,090 SF	864 SF

OCCUPANT LOAD
 FIRST FLOOR 2,374 / 150 = 16 PERSONS
 SECOND FLOOR 716 / 500 = 5 PERSONS

OFF-STREET PARKING

PROPOSED FIRST FLOOR 250 / 300-6.35 = 9 SPCS
 EX AND PRO 2ND FLOOR 716 / 500 = 1.432 = 2 SPACES
 TOTAL REQUIRED SPACES = 11 SPACES

ZONING INFO		TOWN	LOT 52 - 2,430 SF	LOT 1 - 12,307 SF		
		ZONE R-10				
EX - COPIING FROM NEW COMPLIANCE NG - NO PROPOSED CHANGE						
ITEM	REQUIRED	EXISTING	COMPLY	PROPOSED	COMPLY	NOTE
AREA	6,000 SF	2,436 SF	YES	24,743 SF	YES	
FRONT YARD	30 LF	30 LF	YES	30 LF	YES	
REAR YARD	20 LF	112 LF	YES	112 LF	YES	
REAR YARD	20 LF	30 LF	YES	15.0 LF	NO	
REAR YARD	30 LF	47.0 LF	YES	47.0 LF	YES	
REAR YARD	25.5 FT	75.5 FT	YES	75.5 FT	YES	
MAXIMUM GROUND COVER	50%	25.72%	YES	47% + 18% = 65%	NO	
MAX BUILDING COVER	25%	100%	YES	0% + 23.4% = 23.4%	YES	
MAX HEIGHT	11 SPLS	11 SPLS	YES	11 SPLS	YES	

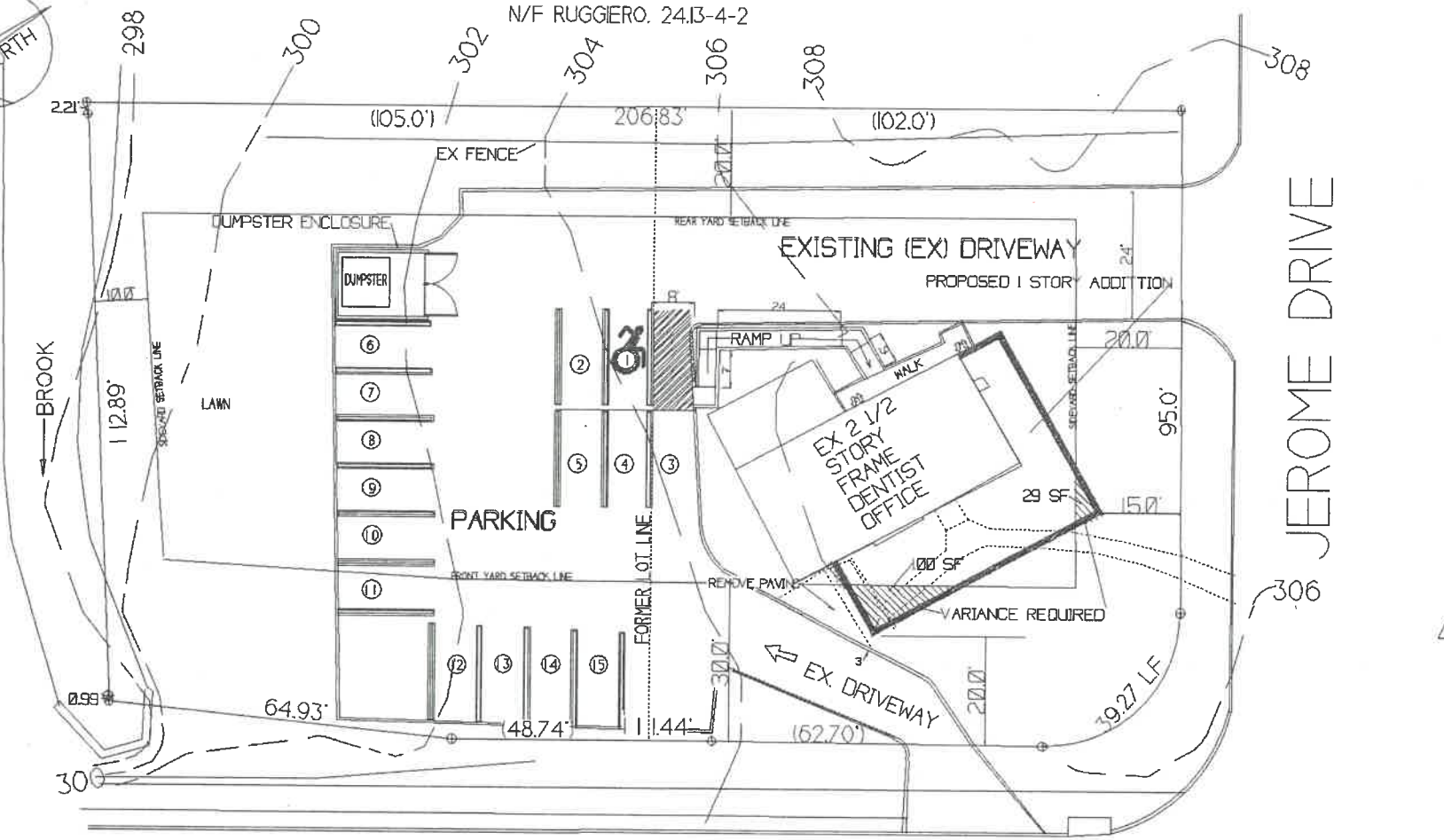
NOTE 1 ZONING VARIANCE REVIEW REQUIRED.

EXPOSURE CRITERIA		CODE REVIEW NYS 2020 BUILDING CODE EFFECTIVE 5/22/2020		POTENTIAL FOR DAMAGE FROM ICE WIND WEATHERING		POTENTIAL FOR DAMAGE FROM HIGH TEMPERATURE		POTENTIAL FOR DAMAGE FROM FREEZE TEMPERATURE	
GROUND WIND SPEED	WIND EFFECT	COLLUSION	WIND Borne DEBRIS	ICE	WIND CATEGORY	TEMPERATURE	TEMPERATURE	TEMPERATURE	TEMPERATURE
30	NO	YES	NO	C	NEVER	42'	LOW TO HEAVY	7	YES
									NO
									500 OR LESS
									5/5

MANUAL J DESIGN CRITERIA						
ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INTERIOR DESIGN TEMPERATURE	DESIGN TEMPERATURE COOLING
436	41	7	87	1	68	75
COOLING TEMPERATURE DIFFERENCE	WIND VELOCITY HEATING	WIND VELOCITY COOLING	CONCIDENT WET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY
12	20.4	7.5	72	M	30	55

GENERAL NOTES
 NOTE: IT IS UNLAWFUL TO ALTER THIS DRAWING UNLESS ACTING UNDER THE DIRECTION OF A LIC. DESIGN PROFESSIONAL DESIGNER.
 NOTE: CONTRACTORS ARE RESPONSIBLE FOR CHECKING PLANS, SITE AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER IN WRITING BEFORE THE COMMENCEMENT OF ANY WORK. THE DESIGNER SHALL PERFORM INSPECTIONS THAT MAY BE NEEDED TO RESOLVE CONFLICTS. THE DESIGNER SHALL BE NOTIFIED IN WRITING IF A DESIGN CONDITION PROGRESS ASSISTS TO SUPERVISE WORK OR PERFORM INSPECTIONS.
 NOTE: THE OWNER AND CONTR. ARE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS.
 NOTE: CONTRACTOR IS REQUIRED TO SCHEDULE ALL REQUIRED INSPECTIONS.
 COMPLIANCE NOTE
 REQUIRED WORK TO BE PERFORMED IN ACCORD WITH THE RULES AND REGULATIONS OF THE STATE OF NEW YORK, LOCAL CODE ENFORCEMENT, COUNTY HEALTH DEPARTMENT, OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA) FOR THE CONSTRUCTION INDUSTRY OF FIVE (5) OR MORE THE NEW YORK STATE ENERGY CODE.
 SITE AND ADDITION NOTE
 SITE WORK LAYOUT MAY REQUIRE A STAKE-OUT BY A LICENSED SURVEYOR. THE CONTRACTOR SHALL CONSULT AN EXISTING SURVEY, SITE STAKE-OUT OR OTHER RECORDS TO VERIFY THAT WORK DOES NOT ENCROACH ANY ADJOINING PROPERTY OR SETBACK SET BACKS.

SCOPE NOTES
 1) COMBINE TWO CONTIGUOUS ZONING LOTS
 2) EXTEND FIRST FLOOR TO INCREASE EXISTING DENSITY OFFICE



E. MAIN (ROUTE 6) STREET

NOTE: PLOT PLAN INFORMATION CREATED USING DATA FROM A SURVEY BY W.E. JAMES P.L.S. DATED MAY 3, 2022 AND GIS PROVIDED BY WESTCHESTER CTY

2 4/3/2023 COMMENTS
 1 3/28/2023

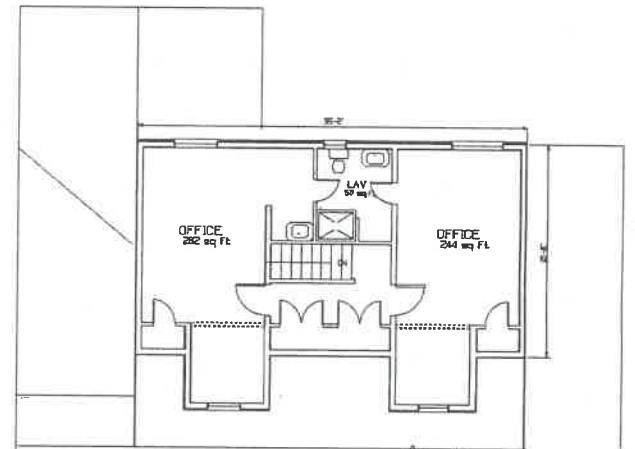
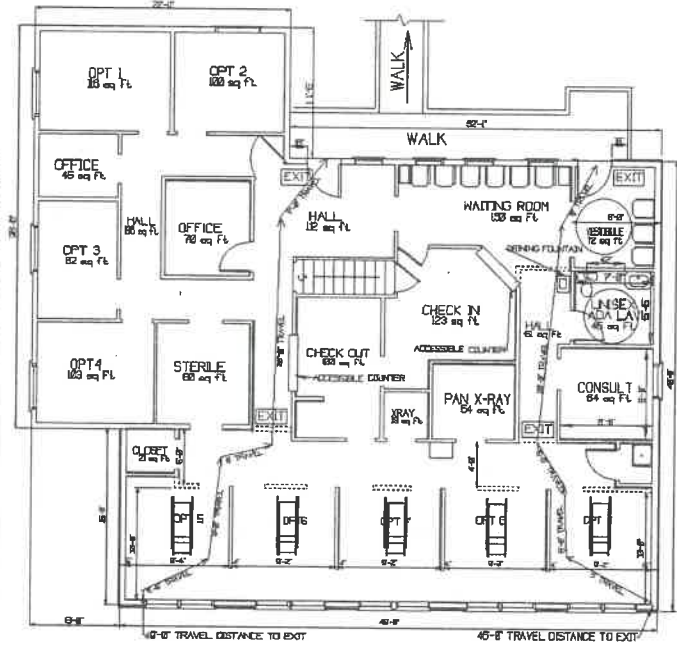
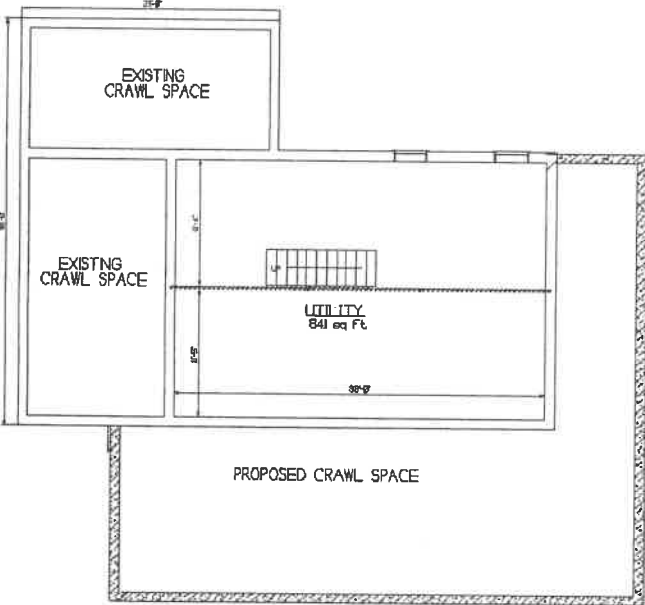
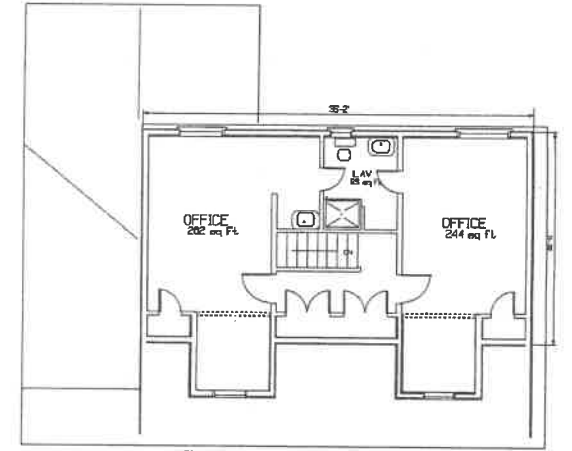
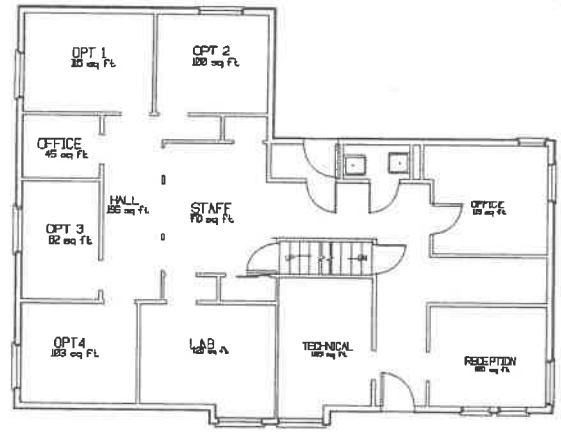
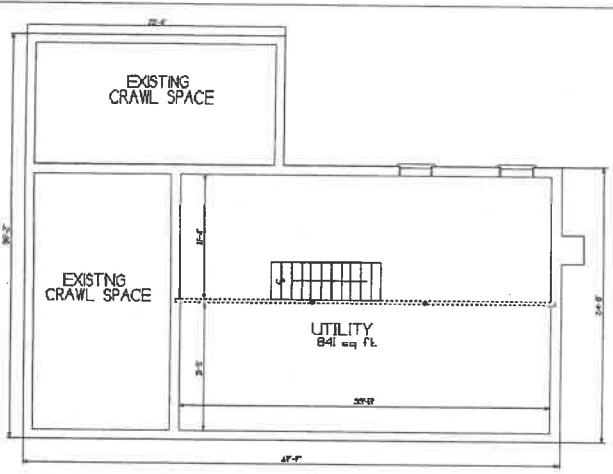
CLIENT
 M. THOMAS DDS
 LOCATION
 1 JEROME DRIVE
 CORTLANDT MAN, NY 10567
 2413-4-52 & 1 R10 ZONE

DRAWING DATE 1/6/2023 BY JLB
 PLOT PLAN SCALE 1" = 15'-0"

JOHN A. LENTINI
 ARCHITECT
 124 ALLAN STREET
 CORTLANDT MANOR, NY 10567-1614
 PHONE (414) 732-1640
 EMAIL PENCILBASE@AOL.COM

Z-1

NOTE: PLAN FORMAT 36" X 24" D' SIZE MEDIA



PROPOSED BASEMENT PLAN

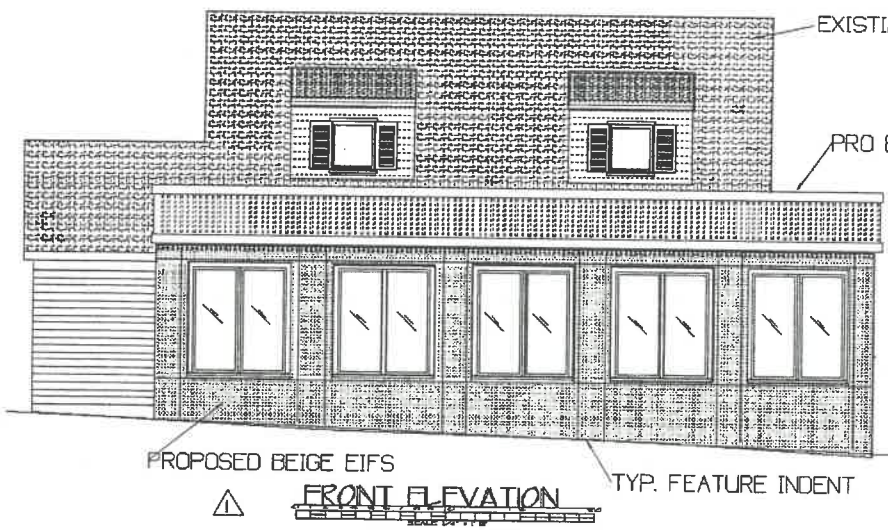
PROPOSED FIRST FLOOR PLAN

PROPOSED ATTIC PLAN

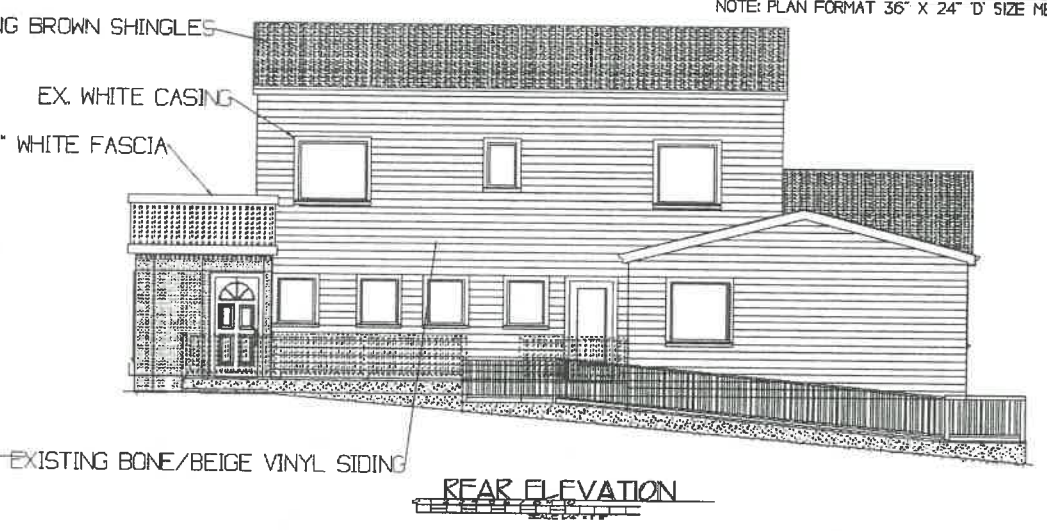
OCCUPANT LOAD
FIRST FLOOR 2,374 / 150 = 16 PERSONS

OCCUPANT LOAD
SECOND FLOOR 716 / 150 = 5 PERSONS

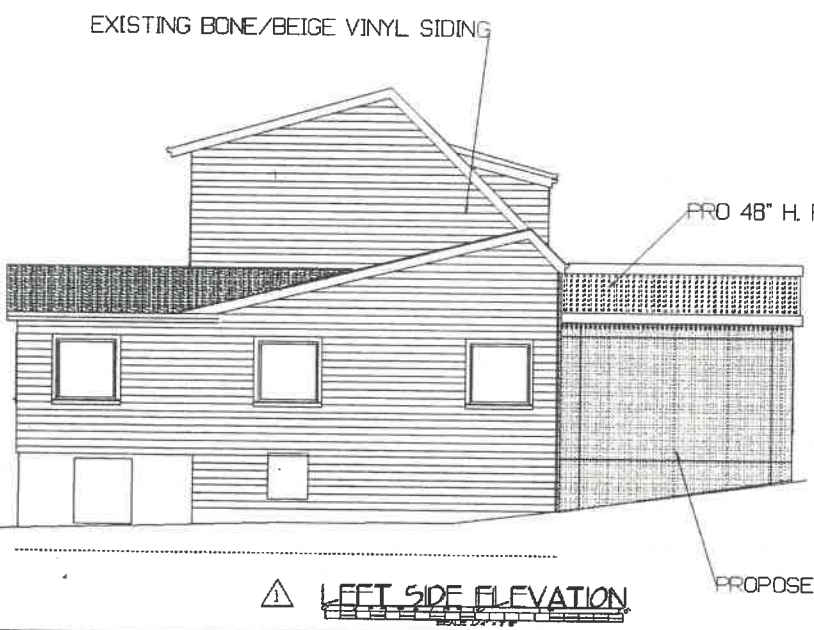
2	4/3/2023	COMMENTS
1	3/28/2023	
CLIENT	M. THOMAS DDS	
LOCATION	1 JEROME DRIVE	
	CORTLANDT MAN, NY 10567	
	2413 - 4 - 52 & TRIO ZONE	
DRAWING DATE	1/6/2023	BY: JL/JS
PLOT PLAN		
JOHN A. LENTINI ARCHITECT		
24 ALLAN STREET		
CORTLANDT MANOR, NY 10567-1614		
PHONE (914) 737-2850		
EMAIL: PENCILBASE@AOL.COM		
PROJECT NUMBER: 00423		
		Z-2
SHEET		OF



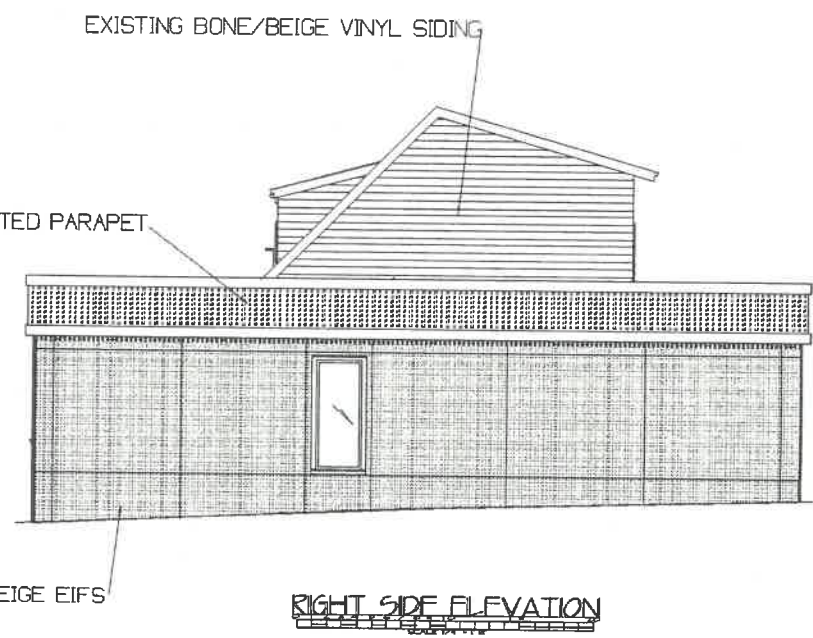
PROPOSED BEIGE EIFS
FRONT ELEVATION



REAR ELEVATION




LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

2 4/3/2023 COMMENTS
1 3/28/2023

CLIENT	M. THOMAS DDS
LOCATION	1 JEROME DRIVE
	CORTLANDT MAN, NY 10567
	24.3 - 4 - 52 & 1 R-10 ZONE
DRAWING DATE	1/6/2023
DRAWN BY	JL
ELEVATIONS	
ARCHITECT	JOHN A. LENTINI
	ARCHITECT
	324 ALLAN STREET
	CORTLANDT MANOR, NY 10567-1614
	PHONE (914) 737-1280
EMAIL	FENCILBASE@aol.com
SCALE	1/8" = 1'-0"
DATE	03/23

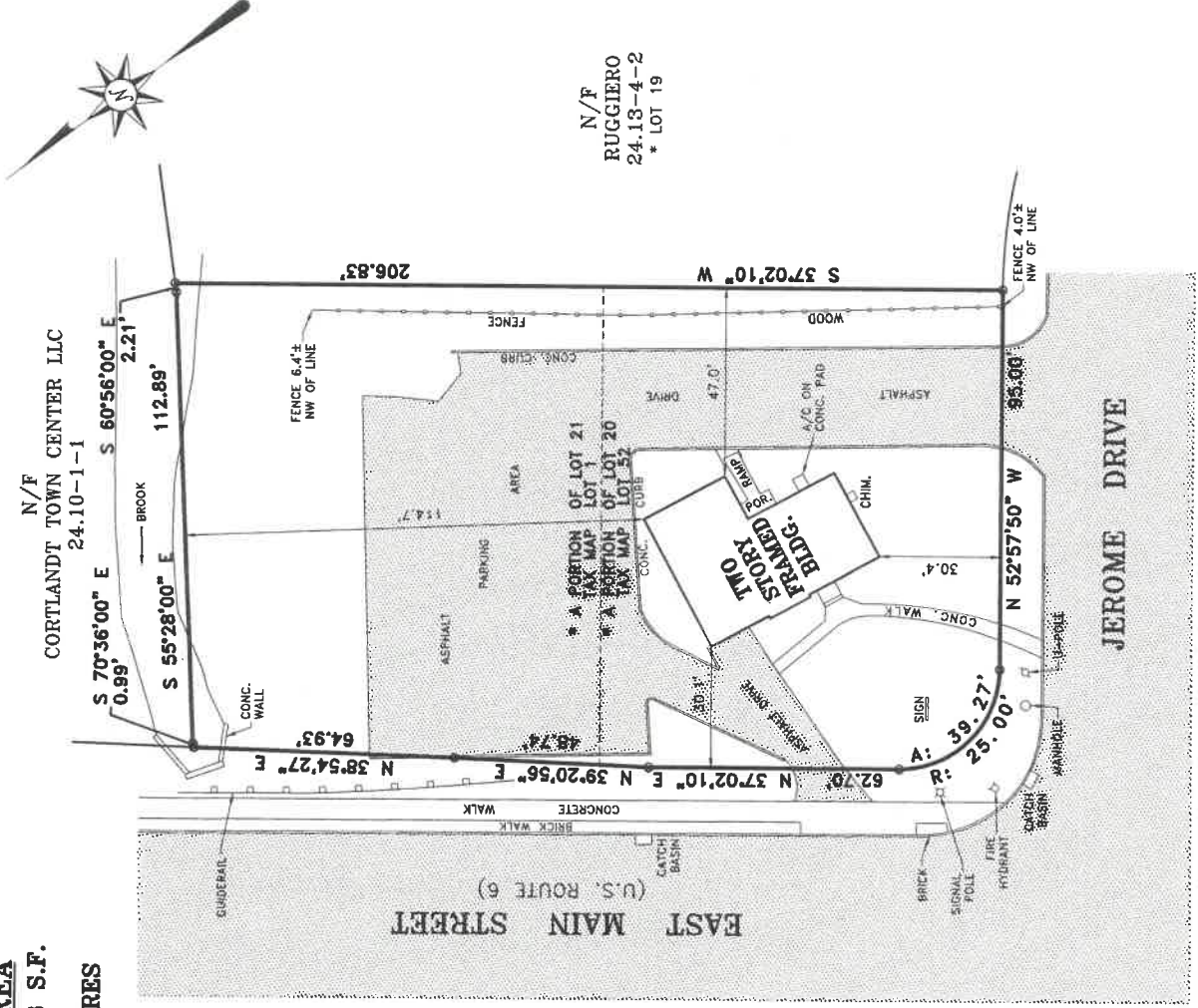


Z-3

LOT AREA
24,101.08 S.F.
OR
0.55 ACRES

N/F
 CORTLANDT TOWN CENTER LLC
 24.10-1-1

N/F
 RUGGIERO
 24.13-4-2
 * LOT 19



GENERAL NOTES:

1. THE PREMISES SHOWN HEREON IS GENERALLY AS DESCRIBED IN DEED LIBER-11542 PAGE-75 RECORDED IN THE WESTCHESTER COUNTY CLERK'S OFFICE.
2. SURVEYED AS PER RECORD DESCRIPTIONS, RECORD FILED MAP, AND EXISTING MONUMENTATION.
3. SUBJECT TO ANY EASEMENTS AND/OR RIGHT OF WAYS THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
4. THE LOCATION OF ANY SUBSURFACE EASEMENTS, RIGHT OF WAYS, ENCROACHMENTS, AND/OR IMPROVEMENTS, IF ANY EXIST, ARE NOT CERTIFIED OR SHOWN HEREON.
5. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE ORIGINAL SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.
6. ANY ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PER SECTION 7209, SUBDIVISION 2.
- * 7. REFERENCE: 'MAP No 1, GULL MANOR' FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF LAND RECORDS ON MARCH 25, 1954 AS MAP #8930.
8. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

W.E. James
 Engineering and
 Land Surveying, PLLC
 8 CHERANDA LANE
 WALLKILL, NEW YORK 12589
 PHONE: (646) 606-6688 FAX: (646) 606-6686
 EMAIL: WEJames@optonline.net
 www.welamesurveying.com

SCALE OF THIS SURVEY MAY BE VARYING AND SHOULD BE DETERMINED BY THE SURVEYOR'S FIELD NOTES AND NOT BY THIS MAP. THE SURVEYOR'S FIELD NOTES AND EXISTING MONUMENTATION ARE NOT TO BE CONSIDERED TO BE THE BASIS FOR THIS SURVEY UNLESS INDICATED OTHERWISE. THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR. THE SURVEYOR'S FIELD NOTES AND EXISTING MONUMENTATION ARE NOT TO BE CONSIDERED TO BE THE BASIS FOR THIS SURVEY UNLESS INDICATED OTHERWISE. THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.

1. PREPARED BY: WILLIAM E. JAMES, P.E., P.L.S.
 FIELD SURVEY COMPLETED: ON APRIL 30, 2022

CERTIFIED ONLY TO:
 1. JIM SUMMIT REALTY, LLC
 2. BANK OF AMERICA N.A. ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR
 3. OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 4. ARNOLD SCHONBERG

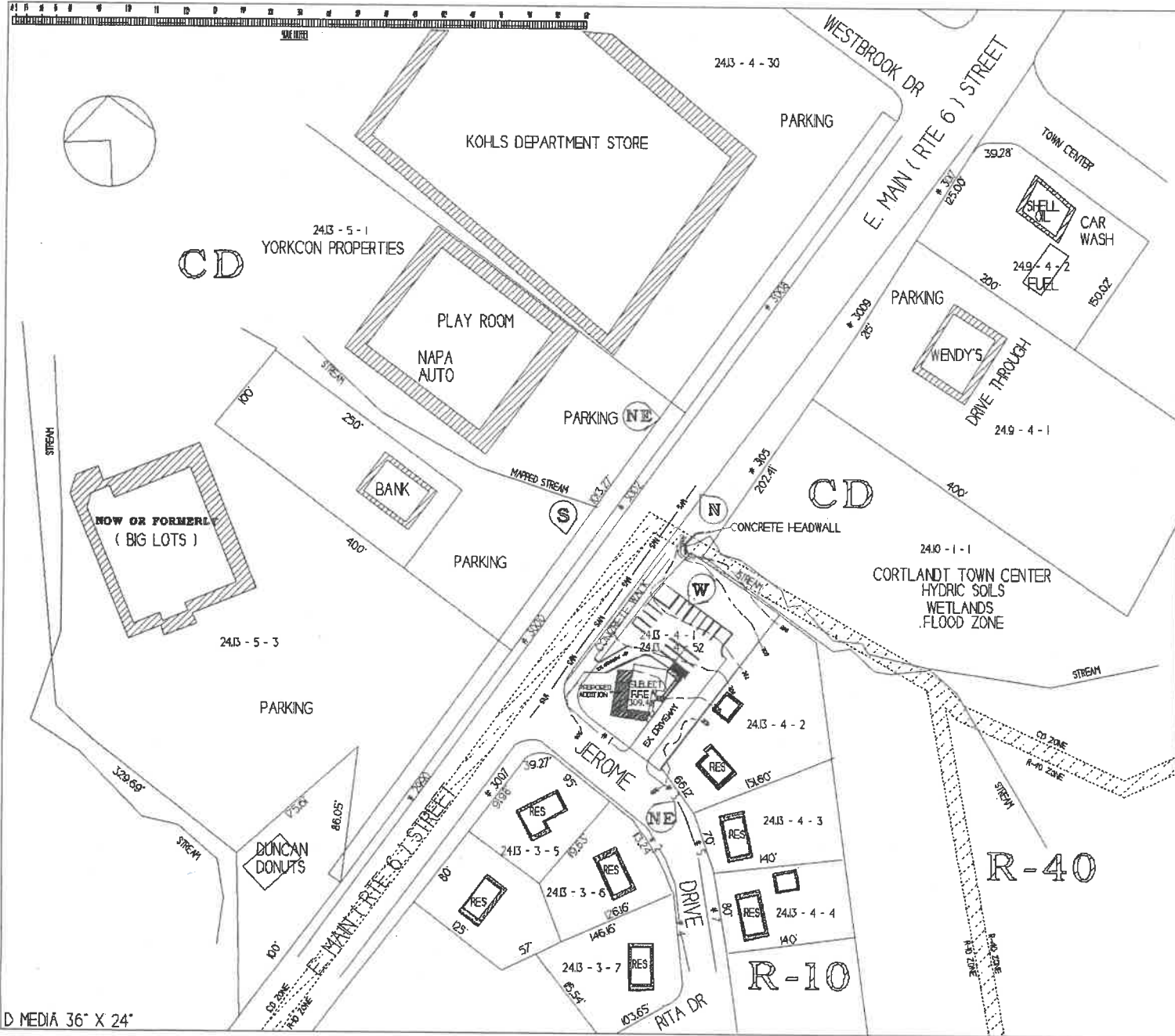
WILLIAM E. JAMES, P.E., P.L.S.
 NY STATE PROFESSIONAL LAND SURVEYOR LICENSE #050606

PROJECT TITLE: SURVEY PREPARED FOR
JJM Summit Realty, LLC

TAX MAP SECTION 24.13, BLOCK 4, LOTS 1 & 52
 CORTLANDT TOWN CENTER LLC
 WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'
 DATE: MAY 3, 2022
 SHEET NO. 1 OF 1

PROJECT CAD REFERENCE:
 WESTCHESTER COUNTY/NEW YORK/CONTRACT/STATE/AM SUMMIT REALTY, LLC/2022



- LIST OF DRAWINGS**
- PB1 AREA PLAN, SBL, OWNERS, ADDRESSES,
 - PB2 MAP OF HYDRIC AND WETLAND SOIL
 - PB3 MAP OF FEMA INDICATED FLOOD ZONES
 - Z-1 PLOT PLAN & ZONING INFO
 - Z-2 EXISTING & PROPOSED FLOOR PLANS
 - Z-8 EXTERIOR ELEVATIONS

ADJOINING PROPERTIES

NO.	STREET	SBL	OWNER	MAIL STREET	MAIL CITY	ST	ZIP
3	JEROME DR	2413-4-2	RUGGERO, ROBERT	3 JEROME DR	CORTLANDT MAN.	NY	10567
5	JEROME DR	2413-4-3	MELBEK, HARRY	5 JEROME DR	CORTLANDT MAN.	NY	10567
2	JEROME DR	2413-3-6	RODRIGUEZ, EMILIANO	2 JEROME DR	CORTLANDT MAN.	NY	10567
3007	E. MAN ST	2413-3-5	OTICE, DOMINICK	3007 E. MAN ST	CORTLANDT MAN.	NY	10567
3000	E. MAN ST	2413-5-1	YORKCON PROPERTIES C/O ALBERT PHELPS	91 I POST RD	FARFELD	CT	06824
3002	E. MAN ST	2413-5-2	YORKCON PROPERTIES C/O ALBERT PHELPS	91 I POST RD	FARFELD	CT	06824
3008	E. MAN ST	2413-5-30	YORKCON PROPERTIES C/O ALBERT PHELPS	91 I POST RD	FARFELD	CT	06824
305	E. MAN ST	2410-H	CORTLANDT TWIN CTDR C/O RYAN PIS DEPT 900	PO BOX 460269	HOUSTON	TX	77056

- PHOTO LEGEND**
- S** VIEW TO THE SOUTH SUBJECT AND OFFICE RESIDENCE
 - SW** VIEW TO THE SOUTH SUBJECT PROPERTY
 - W** VIEW TO THE WEST SUBJECT AND OFFICE RESIDENCE
 - NE** VIEW TO THE NORTH EAST RUGGERO RESIDENCE
 - N** VIEW TO THE NORTH YORKCON COMMERCIAL PROPERTIES
- DISTRICTS DISPLAYED**
- PEESKILL COUNTY SENIOR DISTRICT
 - CORTLANDT CONSOLIDATED WATER DISTRICT
 - McLEAGAN FIRE DISTRICT
 - LAUREL AND SCHOOL DISTRICT
- DRAWING REFERENCES**
- WESTCHESTER COUNTY TAX PARCEL VENER
 - MAPPING WESTCHESTER
 - GOOGLE EARTH
 - D. J. STRIDRON 5/24/2023 SURVEY
 - VIE. JAMES 5/3/2022 SURVEY

- LEGEND**
- ZONING BOUNDARY LINE**
 - R-10 SUBJECT PROPERTY ZONE**
 - # HOUSE NUMBER
 - RES WOOD FRAME DWELLING TYPICAL
 - STREAM
 - SN SANITARY SEWER
- GENERAL NOTES**
- FRONT & SIDE YARD SETBACK VARIANCES REQUIRED
 - EXISTING DENTIST OFFICE CONNECTED TO SANITARY SEWER SYSTEM
 - THERE IS NO PROPOSED CHANGE TO THE EX DRIVE AND PARKING AREAS
 - THERE IS NO PROPOSED CHANGE TO THE EX DROP CURBS ACCESSING EITHER E MAIN ST OR JEROME DRIVE
 - WATER SERVICE REQUIRES REDUCED PRESSURE ZONE/CHECK VALVE. ANY EXISTING IS SUBJECT TO TESTING AND VERIFICATION
 - RELOCATION OF EXISTING LOW SHRUBS AND THE REMOVAL OF ONE MATURE TREE AND ONE LARGE BUSHES REQUIRED.

CLIENT
M. THOMAS DDS
LOCATION
1 JEROME DRIVE
CORTLANDT MAN, NY 10567
2413-4-52 & R-10 ZONE

DRAWING DATE 5/25/2023 BY J.L.K.
AREA PLAN SCALE 1" = 50'-0"

JOHN A. LENTINI ARCHITECT
124 ALLAN STREET
CORTLANDT MANOR, NY 10967-1614
PHONE (814) 737-1800
EMAIL JLENTINI@JLENTINIARCHITECT.COM

00423

PB1



CORTLANDT TOWN CENTER

1 JEROME DR

E. MAIN STR

VIEW TO SOUTHEAST

1 JEROME DR., CORTLANDT MANOR, NY 10567

LENTINI, RA MAY 25, 2023



1 JEROME DR.

3007 E. MAIN STR

VIEW TO WEST

1 JEROME DR., CORTLANDT MANOR, NY 10567

LENTINI, RA MAY 25, 2023



E. MAIN STREET

VIEW TO NORTH

1 JEROME DR. CORTLANDT MANOR, NY 10567

LENTINI, RA MAY 25, 2023



#1

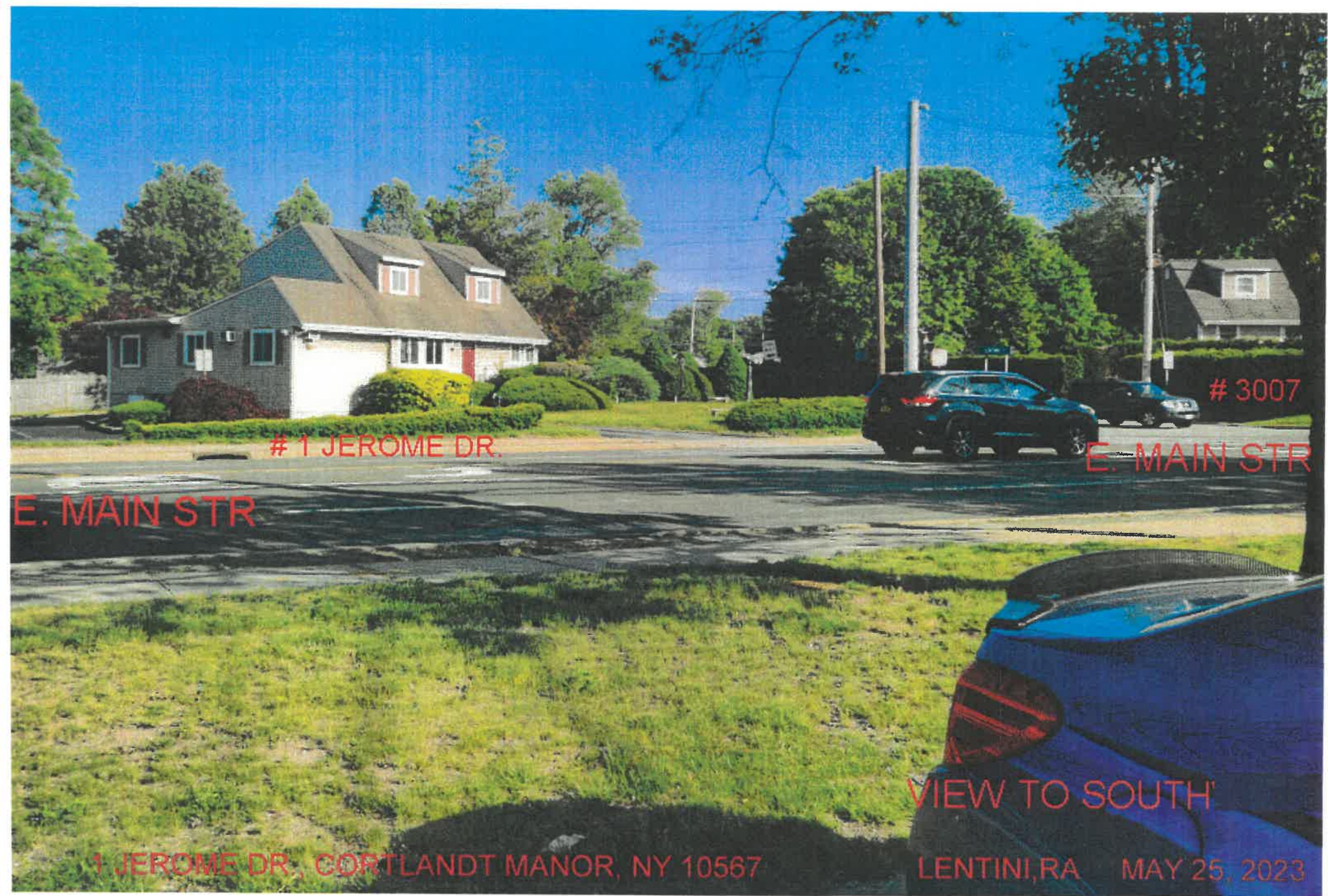
#3

JEROME DRIVE

VIEW TO NORTHEAST

1 JEROME DR., CORTLANDT MANOR, NY 10567

LENTINI RA MAY 25, 2023



1 JEROME DR.

3007

E. MAIN STR

E. MAIN STR

VIEW TO SOUTH'

1 JEROME DR., CORTLANDT MANOR, NY 10567

LENTINI, RA MAY 25, 2023

Cortlandt, New York
Google Street View.
Sep 2022 See more dates



Image capture: Sep 2022 © 2023 Google





Town of Cortlandt

Legend

- Parcels
- Road Labels

Notes



Map produced by: user

Disclaimer: "The information contained in this data is NOT to be construed as a "legal description"/ The Town and its consultants do NOT provide any guarantee of accuracy or completeness and will NOT be held liable for any damages or losses due to its use."

249 KINGS FERRY ROAD VERPLANCK, NY 10596

FULL GUT
RENOVATION &
ADDITION

FABIO NIETO & MELANIE BUTLER

249 KINGS FERRY ROAD
VERPLANCK, NY 10596

mandra
Workshop
ARCHITECTURAL DESIGN

© 2017 MANDRA
100 WEST 10TH STREET, SUITE 200, VERPLANCK, NY 10596
TEL: 518.538.1234
WWW.MANDRAWORKSHOP.COM

PERMIT SET



LIST OF DRAWINGS

T1	COVER
01	GENERAL INFORMATION
G001	GENERAL INFORMATION
G002	WOOD FRAMING FASTENER SCHEDULES
02	ARCHITECTURE
ASK01	SITE PLAN
03	ARCHITECTURE
A101	BASEMENT, 1ST & 2ND FLOOR REMOVAL
A102	3RD FLOOR & ROOF REMOVAL
A200	BASEMENT FLOOR PLAN
A201	1ST & 2ND FLOOR PLAN
A202	3RD & ROOF FLOOR PLAN
A301	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS

LIST OF DRAWINGS

A303	BUILDING SECTIONS
A304	3D EXTERIOR VIEWS
A401	STAR SECTIONS
A403	HARDBODY DETAILS
A600	BASEMENT RCP / POWER & LIGHTING
A601	1ST & 2ND FLOOR RCP / POWER & LIGHTING
A602	3RD FLOOR RCP / POWER & LIGHTING
A801	WALL SECTIONS
A802	WALL SECTIONS
A902	WINDOW & DOOR SCHEDULE
04	STRUCTURAL
S200	FOUNDATION & BASEMENT FRAMING PLAN
S201	1ST & 2ND FLOOR FRAMING PLAN
S202	3RD FLOOR FRAMING PLAN
05	PLUMBING
P201	PLUMBING RISER & DETAILS

CONSULTANTS

Professional Seal



10-18-2017 TRAINING APPROVAL
10-03-2021 REV 4
10-24-2023 PERMIT SET

Sheet Title

COVER

Sheet Number

T1

BULK TABLE REQUIREMENTS

ZONING INFORMATION	ZONE: R-15 SINGLE FAMILY DISTRICT		
	USE: SINGLE-FAMILY RESIDENCE	BY RIGHT	
MINIMUM REQUIRED	MIN. PROPOSED	EXISTING	PROPOSED
LOT AREA	15,000 SF	42,892 SF	47,726.64 SF
MIN WIDTH	80 FT	4-248 FT	4-244 FT
LANDSCAPE COVERAGE	50%	84%	80%
YARD SETBACKS	MIN. PROPOSED	EXISTING	PROPOSED
FRONT	25 FT	33 FT	48.3 FT
REAR	25 FT	141.9 FT	65.8 FT
SIDE	10 FT	38 FT	28.7 FT
MAXIMUM PERMITTED	PROPOSED	EXISTING	PROPOSED
FLOOR AREA	4,378 SF	3,272 SF	5,170 SF
BUILDING COVERAGE	52% OF PAR (2,280 SF)	1,810 SF	2,722 SF
BUILDING HEIGHT	35 FT	4-34.5 FT	NO CHANGE

FULL GUT RENOVATION & ADDITION

FABIO NIETO & MELANIE BUTLER
249 KINGS FERRY ROAD
VERPLANK, NY 10596



C: 607.726.6114
E: INFO@MANDROPSHOP.COM
WWW.MANDROPSHOP.COM
ADDRESS: 140 N BARNUM ST, UNIT 170, VERPLANK, NY 10596

PERMIT SET

KEY PLAN



6	05-14-2023	TRACER APPROVAL
7	05-04-2023	REV 4
8	05-05-2023	REV 2
4	05-25-2023	REV 1
1	08-12-2023	BOH APPROVAL

Sheet Title

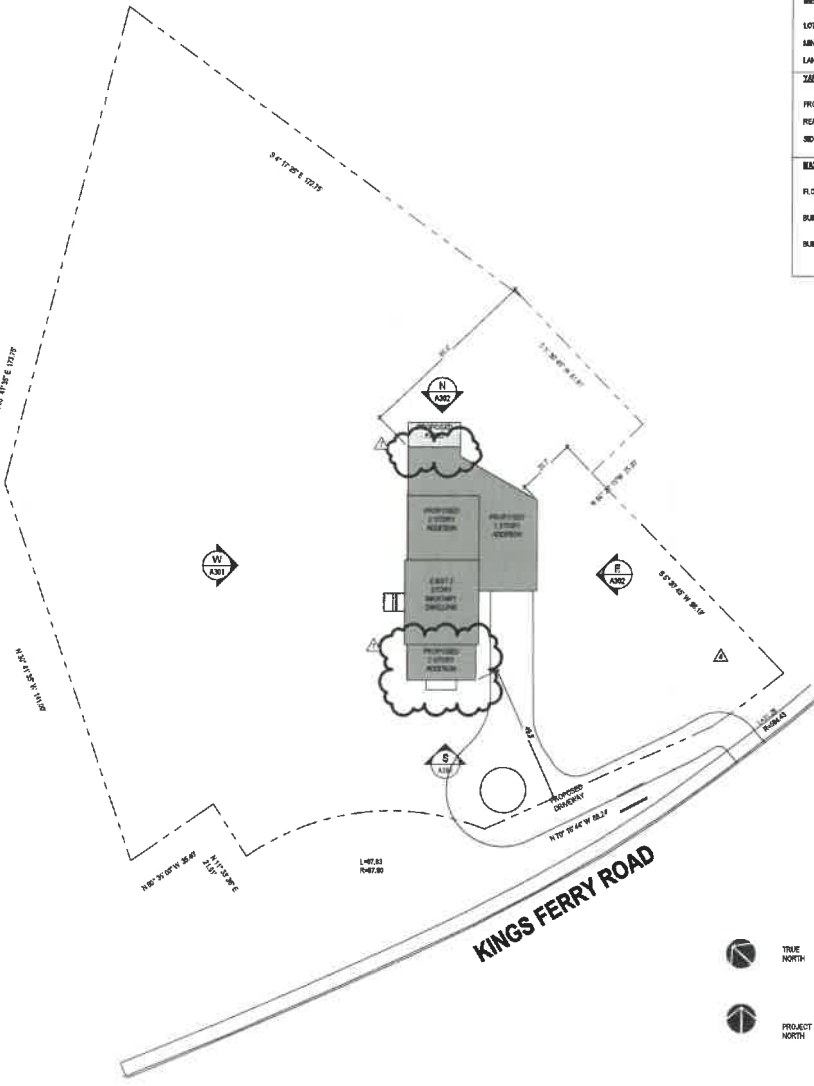
SITE PLAN

Sheet Number

ASK01

- NOTE: SITE PLANS OVERLAP WITH THE REPROPOSED PRECISION SURVEY OBTAINED BY FORNANI LAND SURVEYING, PLLC DATES AUGUST 17TH 2022
- NOTE: EXISTING SEPTIC INFORMATION IS IN REFERENCE TO THE DOCUMENTATION PROVIDED BY THE SEPTIC CO.
- NOTE: REFER TO OUR DRAWING FOR ADDITIONAL SITE INFORMATION AND DETAILS.

1 SITE PLAN
1" = 20'-0"



FULL GUT RENOVATION & ADDITION
FABIO NIETO & MELANIE BUTLER
 249 KINGS FERRY ROAD
 VERPLANCK, NY 10586

mandro Workshop
 ARCHITECTURAL DESIGN

C: 514.784.8141
 E: MANDRO@PROFESSIONAL.COM
 W: WWW.MANDROPROFESSIONAL.COM
 ADDRESS: 300 N DRAGON ST. UNIT 01, DEL. PERS. MAIL BY MAIL

PERMIT SET

KEY PLAN

Professional Seal



1	10-14-2023	ISSUE APPROVAL
2	01-11-2023	REV 2
3	04-20-2023	ISSUE APPROVAL
4	05-28-2023	ISSUE APPROVAL
5	03-24-2023	PERMIT SET

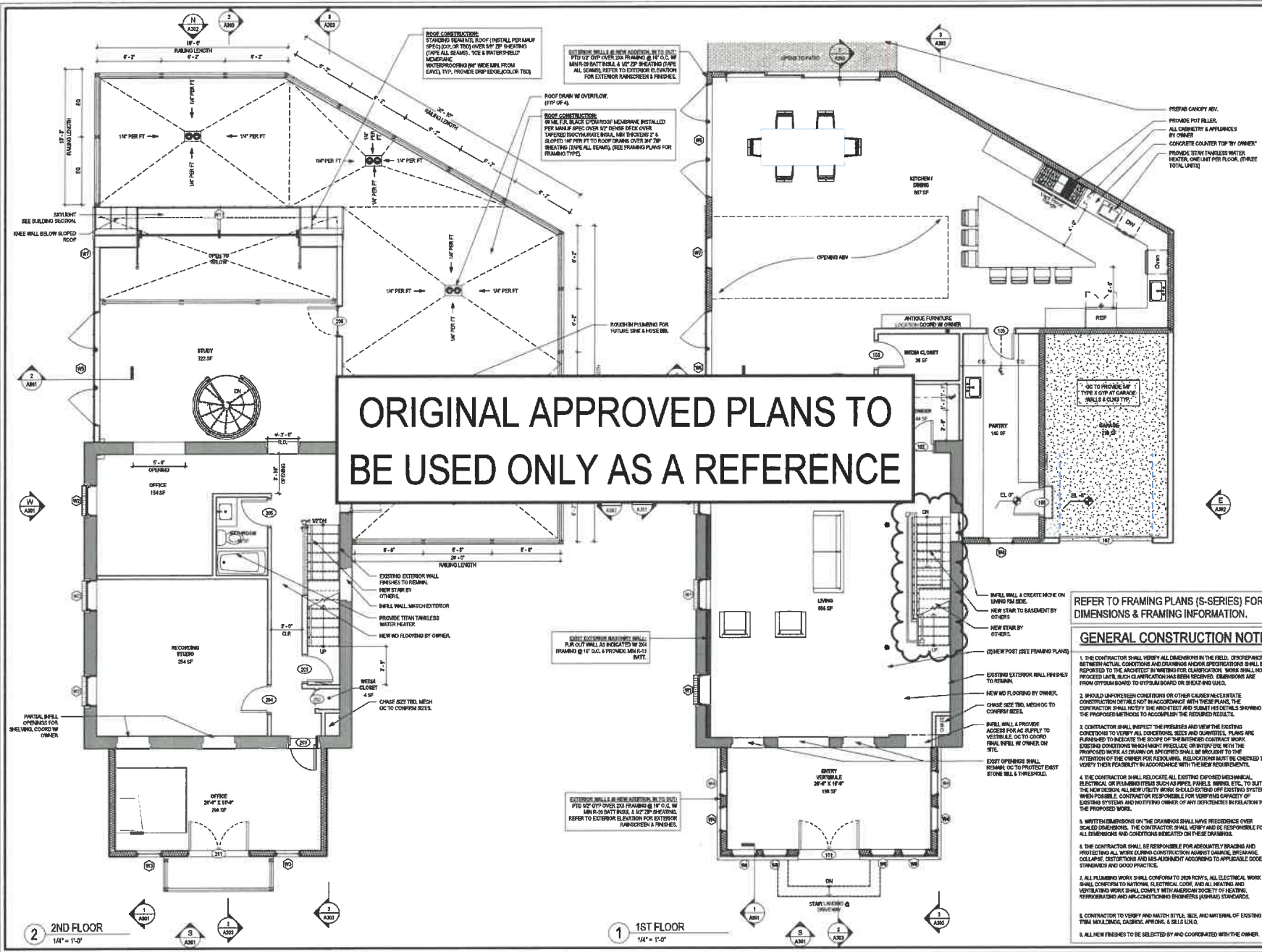
Sheet Title

1ST & 2ND FLOOR PLAN

Sheet Number

A201

ORIGINAL APPROVED PLANS TO BE USED ONLY AS A REFERENCE



REFER TO FRAMING PLANS (S-SERIES) FOR DIMENSIONS & FRAMING INFORMATION.

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DRAWINGS SHOULD BE REPORTED TO THE ARCHITECT IN WRITING FOR CLARIFICATION. WORK SHALL NOT PROCEED UNTIL SUCH CLARIFICATION HAS BEEN RECEIVED. DIMENSIONS ARE FROM OPTIMUM BOARD TO OPTIMUM BOARD OR BRATING LUGS.
2. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSES NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SUBMIT DETAILS SHOWING THE PROPOSED METHODS TO ACCOMPLISH THE REQUIRED RESULTS.
3. CONTRACTOR SHALL INSPECT THE PROVISIONS AND VERIFY THE PROVISIONS. ACCESS FOR AC SUPPLY TO VERTICAL GC TO COORD. FRAM. WALL BY OTHERS ON SITE. THE PROPOSED WORK AS DRAWN OR SPECIFIED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR REVIEW. REVISIONS MUST BE CHECKED TO VERIFY THEIR FEASIBILITY IN ACCORDANCE WITH THE NEW REQUIREMENTS.
4. THE CONTRACTOR SHALL RELOCATE ALL EXISTING EXPOSED MECHANICAL, ELECTRICAL OR PLUMBING ITEMS SUCH AS PIPES, PANELS, WIRING, ETC., TO SUIT THE NEW DESIGN. ALL NEW UTIL. WORK SHALL EXIST OFF EXISTING SYSTEMS WHEN POSSIBLE. CONTRACTOR RESPONSIBLE FOR VERIFYING CAPACITY OF EXISTING SYSTEMS AND NOTIFYING OWNER OF ANY DISCREPANCIES IN RELATION TO THE PROPOSED WORK.
5. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, DISTURBANCE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
7. ALL PLUMBING WORK SHALL CONFORM TO 2021 NFPA, ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE, AND ALL HEATING AND VENTILATING WORK SHALL COMPLY WITH AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR-CONDITIONING ENGINEERS (ASHRAE) STANDARDS.
8. CONTRACTOR TO VERIFY AND MATCH STYLE, SIZE, AND MATERIAL OF EXISTING TRAIL WALL, CASING, APPLIANCES, & SILE LUGS.
9. ALL NEW FINISHES TO BE SELECTED BY AND COORDINATED WITH THE OWNER.

FULL GUT RENOVATION & ADDITION
FABIO NIETO & MELANIE BUTLER

249 KINGS FERRY ROAD
 VERPLANCK, NY 10566



C: 514.781.8194
 E: MANDRO@MANDROSHOP.COM
 W: MANDROARCHITECTURALDESIGN.COM
 ADDRESS: 1000 W. 10TH ST., SUITE 100, VERPLANCK, NY 10566

PERMIT SET

KEY PLAN

GENERAL CONSTRUCTION NOTES:

REFER TO FRAMING PLANS (S-SERIES) FOR DIMENSIONS & FRAMING INFORMATION.

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DIMENSIONS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING FOR CLARIFICATION. WORK SHALL NOT PROCEED UNTIL SUCH CLARIFICATION HAS BEEN RECEIVED. DIMENSIONS ARE FROM CENTERLINE UNLESS OTHERWISE NOTED OR SPECIFIED.
2. SHOULD LABORER/GENERAL CONTRACTOR OR OTHER CAUSE INADEQUATE CONSTRUCTION TO BE NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SUBMIT REVISIONS SHOWING THE PROPOSED METHOD TO ACCOMPLISH THE REQUIRED RESULT.
3. CONTRACTOR SHALL VERIFY THE DIMENSIONS AND NEW THE EXISTING CONDITIONS TO VERIFY ALL CONDITIONS, SIZE AND QUANTITIES. PLANS ARE FURNISHED TO INDICATE THE SCOPE OF THE IDENTIFIED CONTRACT WORK. EXISTING CONDITIONS SHOULD BE PROTECTED OR INTERFERE WITH THE PROPOSED WORK AS SHOWN OR SPECIFIED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR RESOLUTION. RESOLUTIONS MUST BE CHECKED TO VERIFY THEIR FEASIBILITY IN ACCORDANCE WITH THE NEW REQUIREMENTS.
4. THE CONTRACTOR SHALL RELOCATE ALL EXISTING EXPOSED MECHANICAL, ELECTRICAL OR PLUMBING ITEMS SUCH AS PANELS, WIRING, ETC. TO GET THE NEW WORK. ALL NEW UTILITY WORK SHOULD EXTEND OFF EXISTING SYSTEMS WHEN POSSIBLE. CONTRACTOR RESPONSIBLE FOR VERIFYING CAPACITY OF EXISTING SYSTEMS AND NOTIFYING OWNER OF ANY DISCREPANCIES IN RELATION TO THE PROPOSED WORK.
5. ALL DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BUCKLING, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
7. ALL PLUMBING WORK SHALL CONFORM TO 2009 MWS. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODES AND ALL HEATING AND VENTILATING WORK SHALL COMPLY WITH AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS (ASHRAE) STANDARDS.
8. CONTRACTOR TO VERIFY AND MATCH BY TYPE, SIZE, AND MATERIAL OF EXISTING TRAIL BRACKETS, CHAIRS, HOOKS, & SILL PLUGS.
9. ALL NEW FINISHES TO BE SELECTED BY AND COORDINATED WITH THE OWNER.

Professional Seal



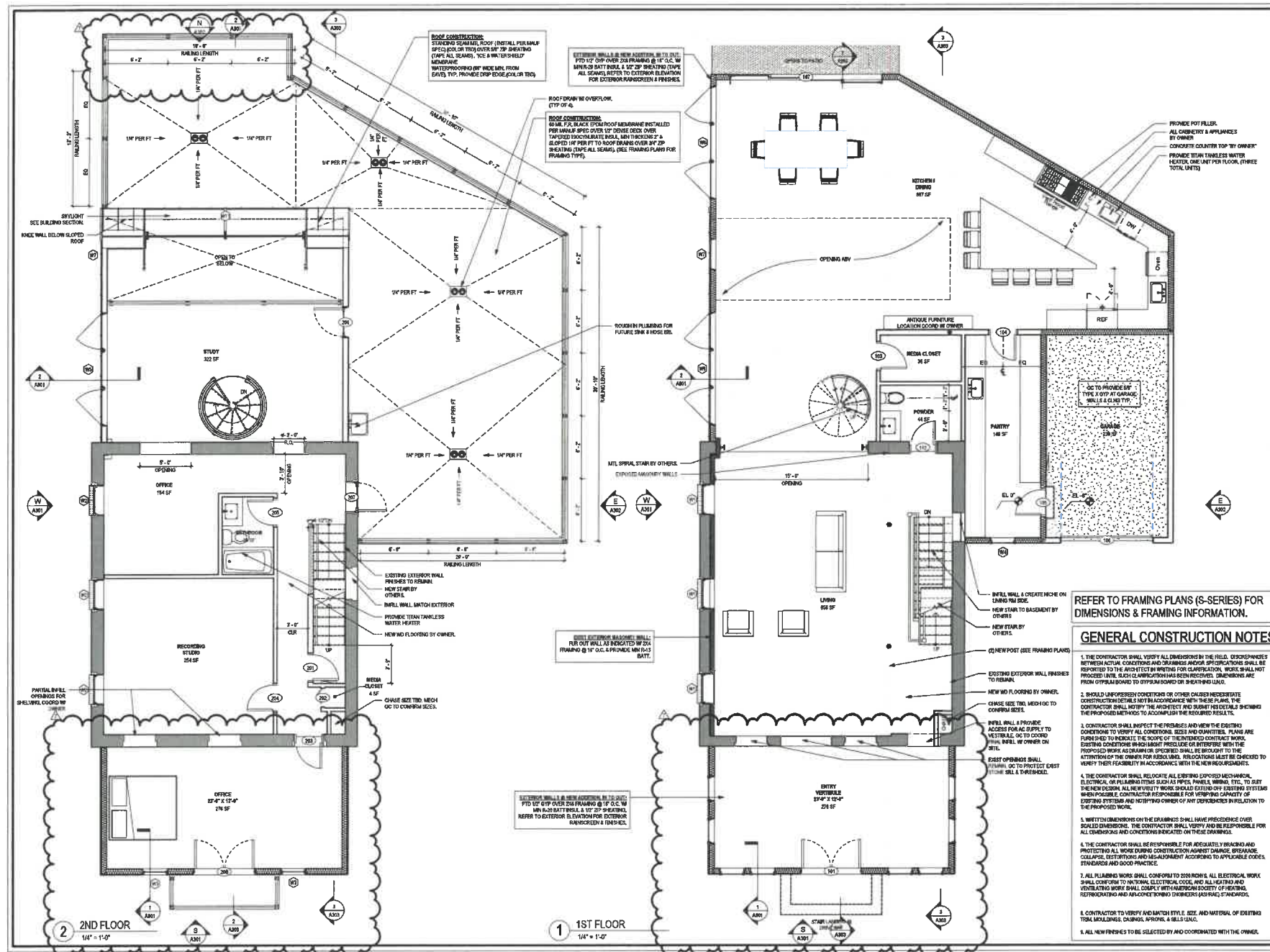
15-11-2023	OWNER APPROVAL
15-11-2023	REV 4
07-11-2023	REV 2
04-03-2023	FINAL APPROVAL
03-20-2023	FINAL APPROVAL
02-28-2023	PERMIT SET

Sheet Title

1ST & 2ND FLOOR PLAN

Sheet Number

A201



ROOF CONSTRUCTION:
 STANDING SEAM ROOF: (INSTALL PERMANENT SPEED BRACKETS OVER 1/2" DENSE SHEATHING (CAPS ALL SEAMS), 1/2" AIR SPACE, 1/2" MEMBRANE, WATERPROOFING BY WEED MAT FROM EAVES, TYP. PROVIDE DRIP EDGE (COLOR TO MATCH))

EXTERIOR WALLS & NEW ADDITION: WITH 1/2" PFD 1/2" OVER 2X4 FRAMING @ 16" O.C. W/ MIN 1/2" BATT INSUL. & 1/2" ZIP SHEATHING (EAVE ALL SEAMS REFER TO EXTERIOR ELEVATION FOR EXTERIOR FINISHES & FINISHES)

ROOF DRAIN W/ OVERFLOW: (TYP OF 4)

ROOF CONSTRUCTION:
 50 MIL PLA BLACK OVER ROOF MEMBRANE INSTALLED PER MANUFACTURER'S INSTRUCTIONS & SLOPED 1/4" PER FT TO ROOF DRAINS OVER 1/2" ZIP SHEATHING (EAVE ALL SEAMS, DRG. FRAMING PLAN FOR FINISHING TYPES)

PROVIDE POT FILTERS
 ALL CABBETRY & APPLIANCES BY OWNER
 CONCRETE COUNTER TOP BY OWNER
 PROVIDE TITAN TANKLESS WATER HEATER ONE UNIT PER FLOOR (THREE TOTAL UNITS)

INTERIOR FINISHES LOCATION COORD BY OWNER

DO TO PROVIDE BY TYPE X O.P.P. AT GARAGE WALLS & CEILING TOP

INFILL WALL & CREATE NICHE ON LIVING RM SIDE
 NEW STAIR TO BASEMENT BY OTHERS
 NEW STAIR BY OTHERS

(2) NEW POST (SEE FRAMING PLANS)

EXISTING EXTERIOR WALL FINISHES TO REMAIN

NEW MD FLOORING BY OWNER
 CHASE SIZE TRD MECH GO TO CONFORM IDEAL

INFILL WALL & PROVIDE ACCESS FOR AC & APPLY TO VESTIBULE GO TO CONFORM IDEAL
 INFILL W/ OWNER ON SITE

EXIST OWNERS SHALL VERIFY GO TO PROTECT EXIST TRD SILL & THRESHOLD

REPAIR EXTERIOR BALCONY WALLS FOR OUT WALLS AS NOTED TO 2X4 FRAMING @ 16" O.C. & PROVIDE MIN 1/2" BATT.

EXTERIOR WALLS & NEW ADDITION WITH 1/2" PFD 1/2" OVER 2X4 FRAMING @ 16" O.C. W/ MIN 1/2" BATT INSUL. & 1/2" ZIP SHEATHING (EAVE ALL SEAMS REFER TO EXTERIOR ELEVATION FOR EXTERIOR FINISHES & FINISHES)

ENTRY VESTIBULE 274" x 124" 276 SF

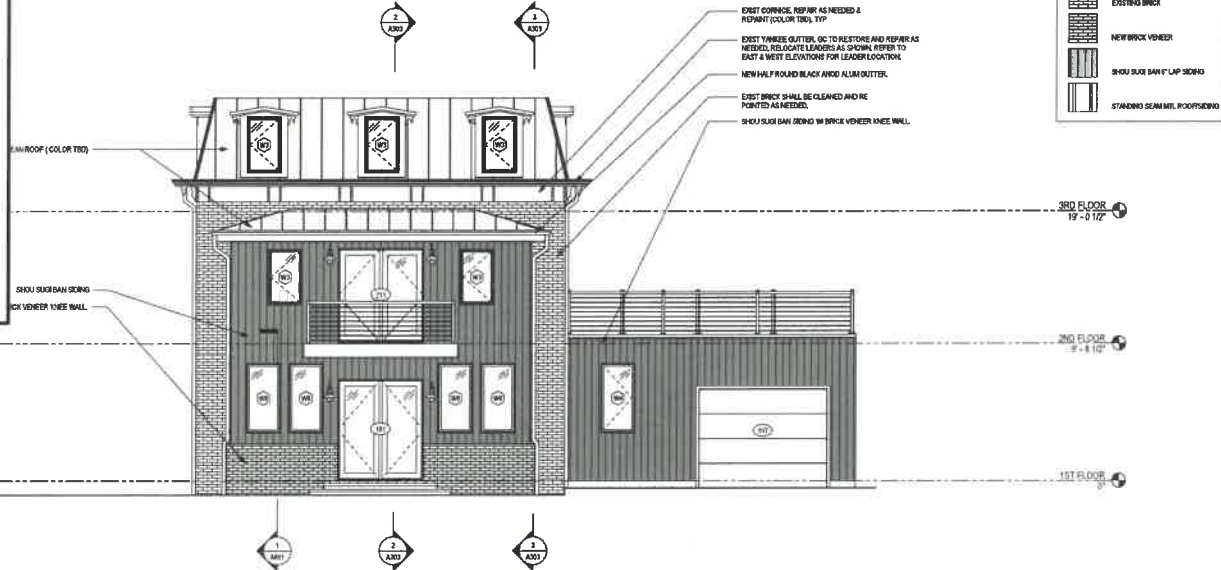
STAIR TO BASEMENT BY OTHERS

STAIR TO GARAGE BY OTHERS

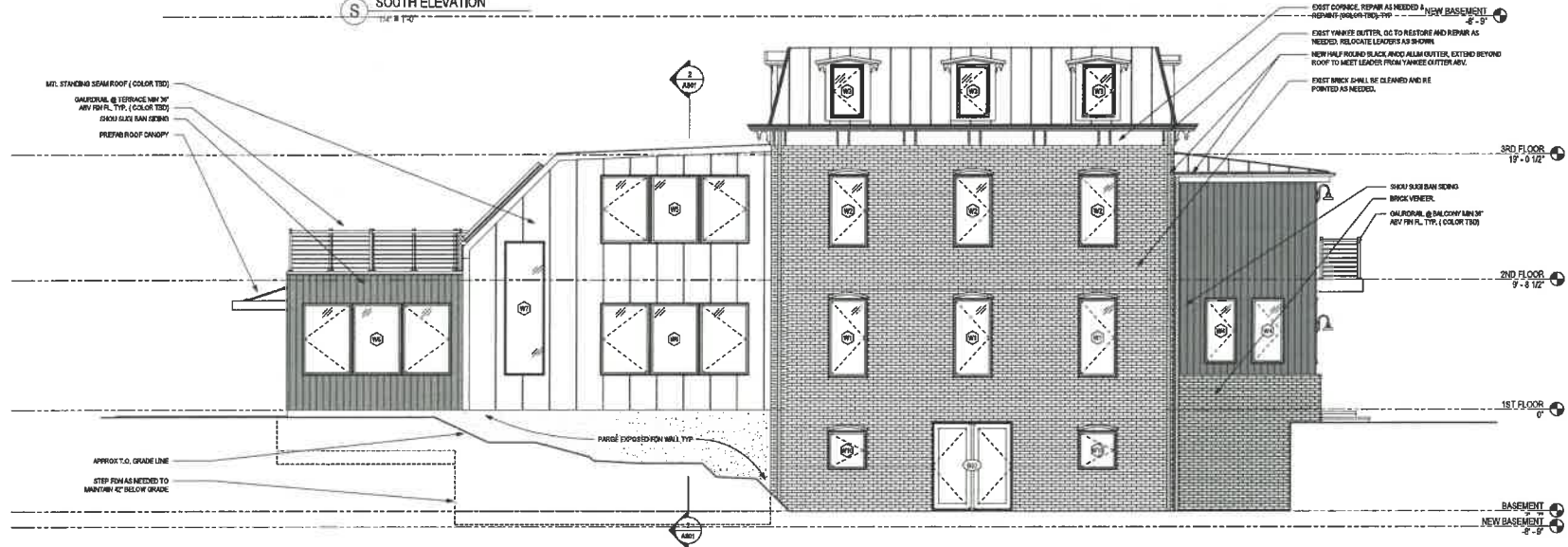
STAIR TO GARAGE BY OTHERS

STAIR TO GARAGE BY OTHERS

ORIGINAL
APPROVED PLANS
TO BE USED ONLY
AS A REFERENCE



S SOUTH ELEVATION
1/4" = 1'-0"



W WEST ELEVATION
1/4" = 1'-0"

FULL GUT
RENOVATION &
ADDITION
FASIO NETO & MELANIE BUTLER
249 KINGS FERRY ROAD
VERPLANK, NY 10596

mandro
workshop
ARCHITECTURAL DESIGN

© 2018 FASIO NETO & MELANIE BUTLER
E: MANDROWORKSHOP@GMAIL.COM
P: 516-838-2822
ADDRESS: 1000 N. DAVENPORT ST., SUITE 101, VERPLANK, NY 10596

PERMIT SET

SEE PLAN

NOT TO SCALE. THIS DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE BEGINNING WORK. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY A SEPARATE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES AND REFERENCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES AND REFERENCES.



1	16-01-2018	ISSUE FOR PERMIT
2	03-20-2022	BOOK APPROVAL
3	03-24-2022	PERMIT SET

Sheet Title

EXTERIOR ELEVATIONS

Sheet Number

A301

FULL GUT RENOVATION & ADDITION
 FABIO NIETO & MELANIE BUTLER
 249 KINGS FERRY ROAD
 VERPLANK, NY 10606

mandro
 WORKSHOP
 ARCHITECTURAL DESIGN

© 2014, 2015, 2016
 E: FABIO@MANDROARCHITECTURE.COM
 M: 516-467-0700
 ADDRESS: 249 N. KINGS FERRY RD., VERPLANK, NY 10606

PERMIT SET

KEY PLAN
 THIS SET OF ARCHITECTURAL DRAWINGS IS TO BE USED IN CONJUNCTION WITH THE PERMITTING AGENCIES AND THE CONTRACTOR TO OBTAIN THE NECESSARY PERMITS AND TO CONSTRUCT THE PROJECT AS SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT AND THE RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT AND THE RECORD DRAWINGS.



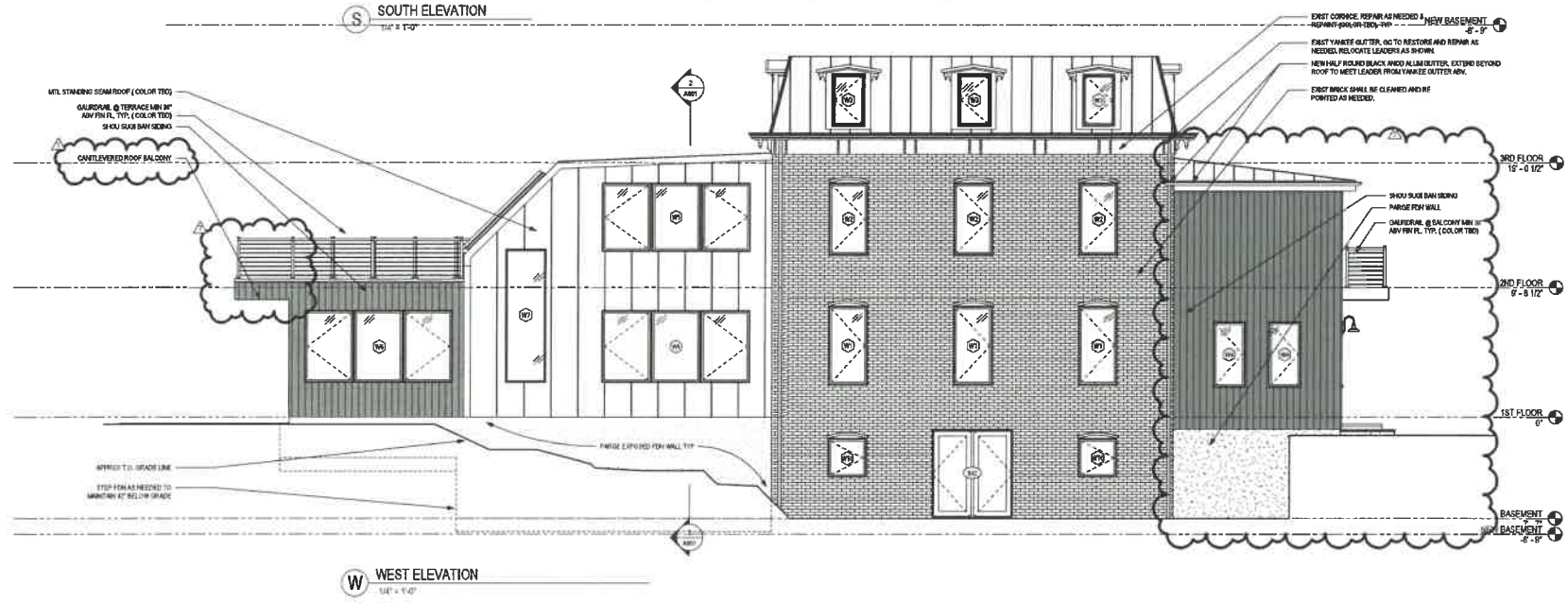
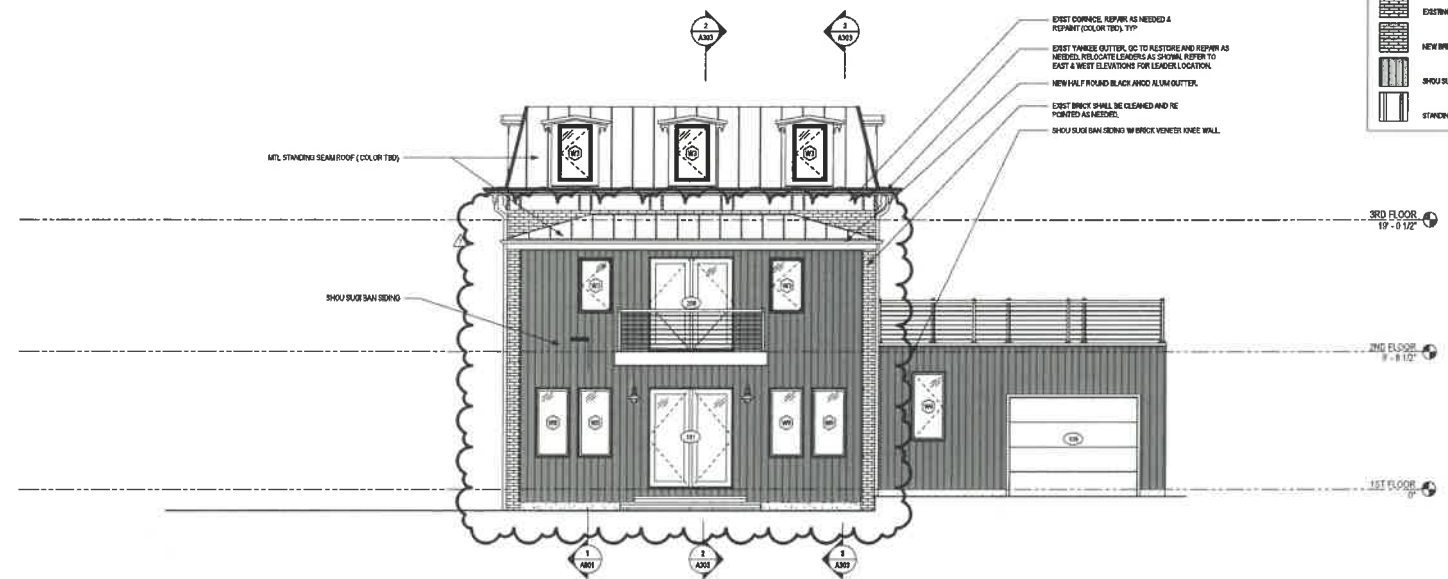
1	10-16-2013	CONTRACT APPROVAL
7	10-24-2013	TRUCK APPROVAL
1	05-20-2013	DOCK APPROVAL
5	03-24-2013	PERMIT SET

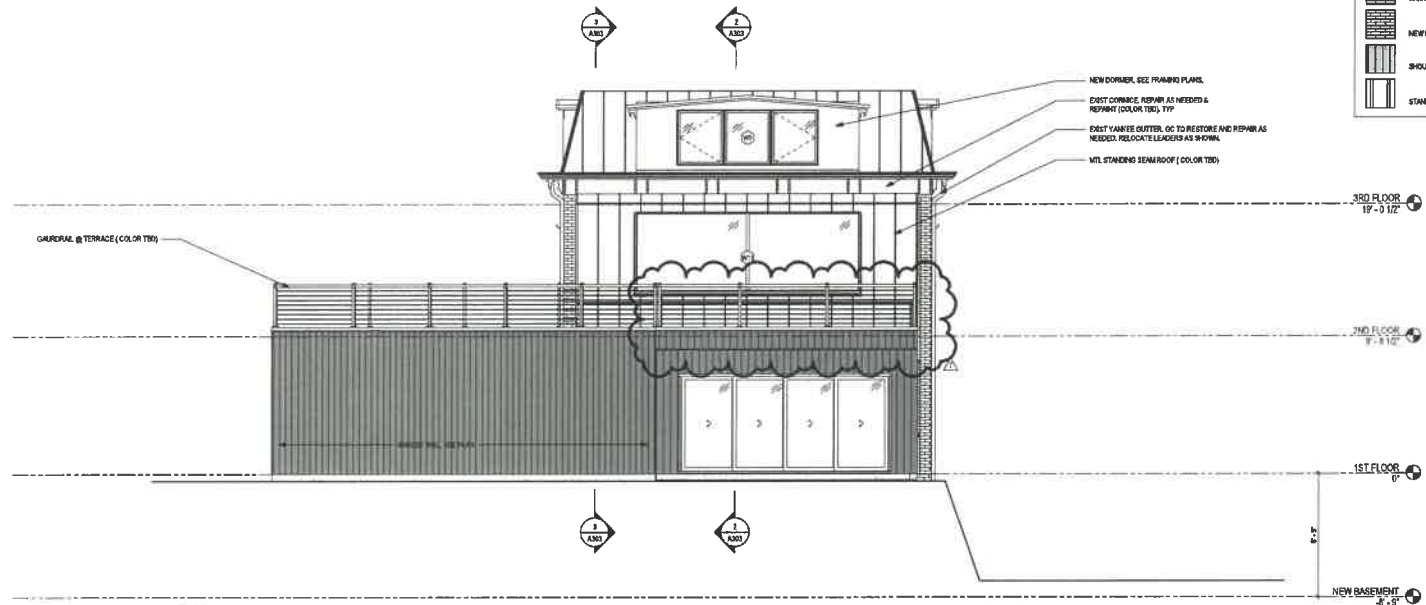
EXTERIOR ELEVATIONS

Sheet Number
A301

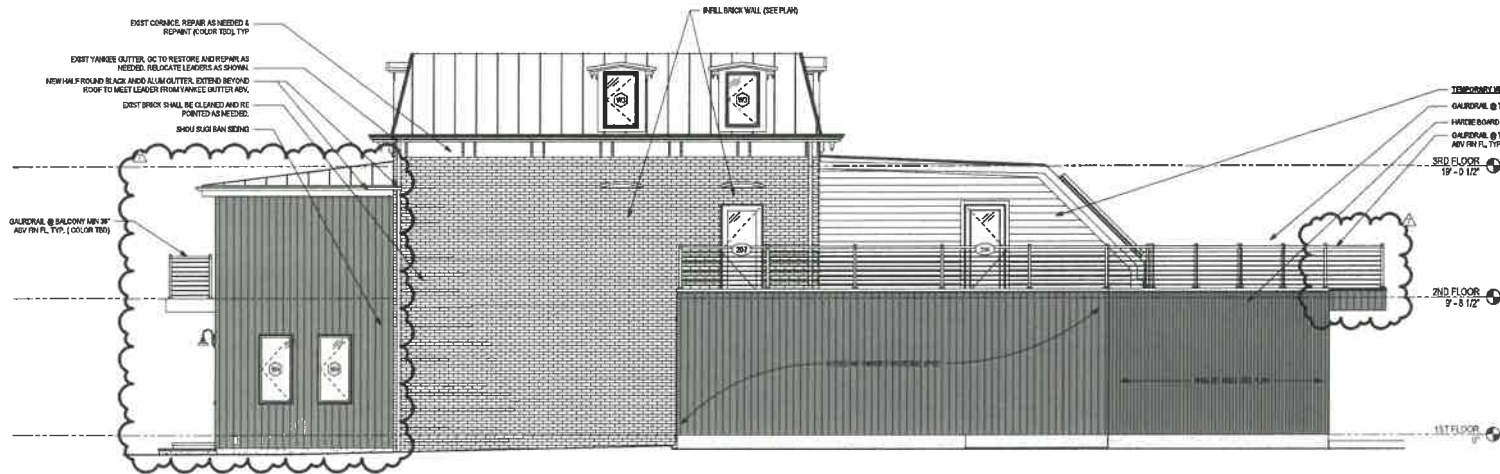
EXISTING ELEVATION MATERIAL LEGEND

- EXISTING BRICK
- NEW BRICK VENEER
- SHOU SUIE BAN BEING
- STANDING SEAM MET. ROOF/CEILING





N NORTH ELEVATION
1/4" = 1'-0"



E EAST ELEVATION
1/4" = 1'-0"

EXTERIOR ALIENATION MATERIAL LEGEND

[Pattern]	EXISTING BRICK
[Pattern]	NEW BRICK VENEER
[Pattern]	SHOU SLICE BAN 6" LAP SIDING
[Pattern]	STANDING SEAM MTL ROOF/SIDING

FULL GUT RENOVATION & ADDITION
FABIO NIETO & MELANIE BUTLER
249 KINGS FERRY ROAD
VERPLANK, NY 10956

mandro
WORKSHOP
ARCHITECTURAL DESIGN

C: 644.726.8114
E: MANDRO@MANDROSHOP.COM
M: MANDRO@MANDROSHOP.COM
ADDRESSES: 100 N GARDEN ST, SUITE 110, PEPPERELL, NY 10968

PERMIT SET

1ST PLAN

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2010 INTERNATIONAL BUILDING CODE (IBC) AS ADOPTED BY THE STATE OF NEW YORK.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL MECHANICAL, ELECTRICAL AND PLUMBING CODE (IMC) AS ADOPTED BY THE STATE OF NEW YORK.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AS ADOPTED BY THE STATE OF NEW YORK.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS ADOPTED BY THE STATE OF NEW YORK.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL SMOKE AND ALARM CODE (ISAC) AS ADOPTED BY THE STATE OF NEW YORK.

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL GREEN BUILDING CODE (IGBC) AS ADOPTED BY THE STATE OF NEW YORK.

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPMC) AS ADOPTED BY THE STATE OF NEW YORK.

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL ELECTRICAL CODE (IEC) AS ADOPTED BY THE STATE OF NEW YORK.

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AS ADOPTED BY THE STATE OF NEW YORK.

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 INTERNATIONAL MECHANICAL, ELECTRICAL AND PLUMBING CODE (IMC) AS ADOPTED BY THE STATE OF NEW YORK.

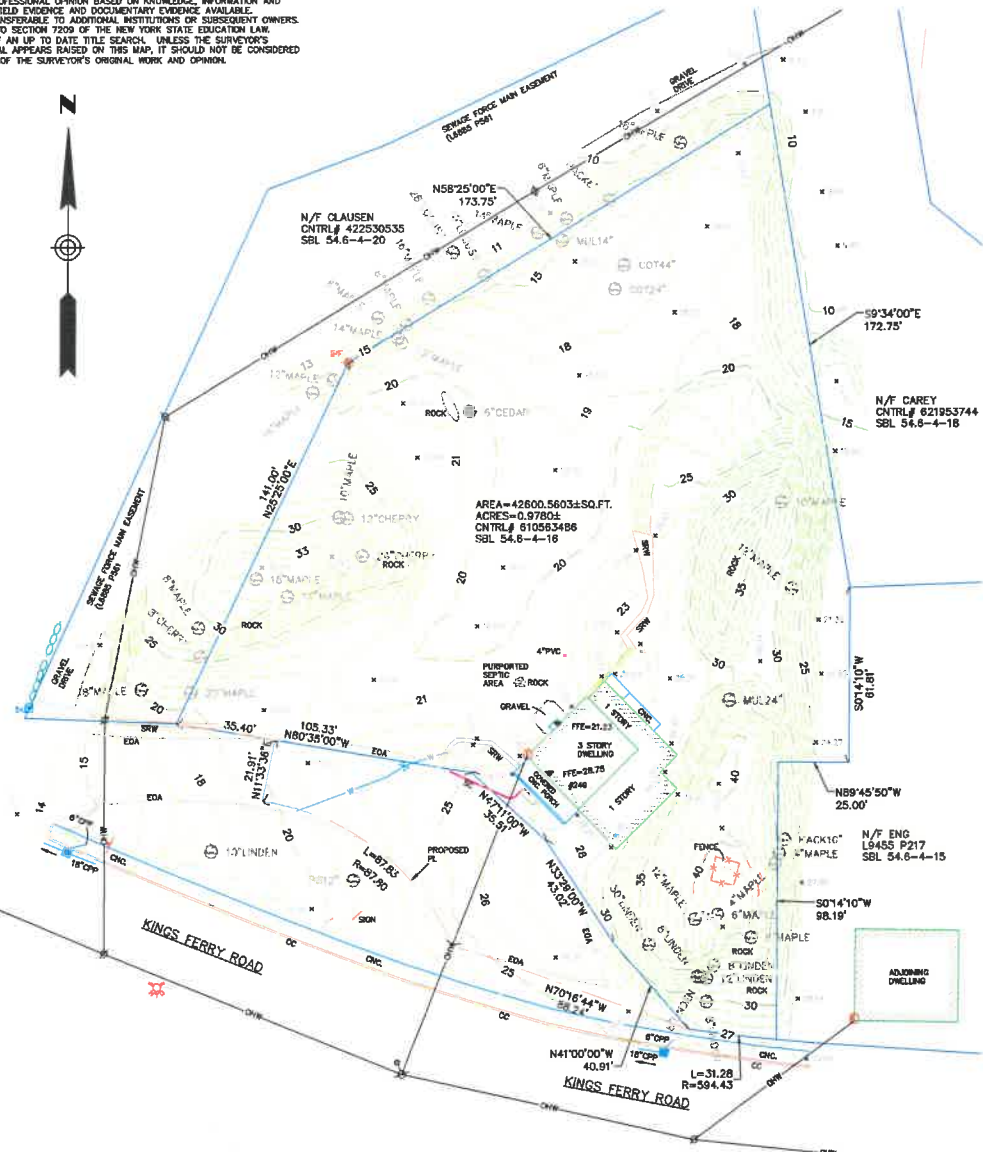


NO.	DATE	DESCRIPTION
1	05-14-2023	SCHEMATIC APPROVAL
2	05-22-2023	SCHEMATIC APPROVAL
3	05-22-2023	SCHEMATIC APPROVAL
4	05-24-2023	PERMIT SET

EXTERIOR ELEVATIONS

Sheet Number
A302

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. PLANS PREPARED PURSUANT TO SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW ARE SUBJECT TO THE FINDINGS OF AN UP TO DATE TITLE SEARCH. UNLESS THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL APPEARS RAISED ON THIS MAP, IT SHOULD NOT BE CONSIDERED A TRUE AND CORRECT COPY OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.



LOCUS MAP (N.T.S.)

SURVEY NOTES

- THIS PLAN WAS PREPARED FROM AN ON THE GROUND FIELD SURVEY CONDUCTED BY RLS ON AUGUST 5, 2021 AND ON THE FOLLOWING DATUM-
 MERIDIAN: CNTRL# 610563486
 HORIZONTAL: ASSUMED
 VERTICAL: SCALED AS PER WESTCHESTER GIS (NAVD 88)
- REFERENCES
 STREET NAMES, R.O.W. WIDTHS, PROPERTY IDENTIFICATION NUMBERS, OWNER NAMES, EASEMENTS, AND ANY ADDITIONAL INFORMATION SHOWN HEREON ARE REFERENCED FROM THE FOLLOWING MAPS AND DOCUMENTS-
 A. LAND CONVEYED TO CHRISTOPHER MORGAN BY CNTRL# 610663486, FILED IN THE WESTCHESTER CO. CLERK'S OFFICE ON FEBRUARY 26, 2021.
- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE INFORMATION SHOWN HEREON. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AN ACCURATE AND CURRENT TITLE REPORT.
- THE LOCATION OF THE UTILITIES AS SHOWN HEREON HAVE BEEN COMPILED FROM VISIBLE STRUCTURES AND INFORMATION OBTAINED FROM VARIOUS SOURCES. THE ACTUAL LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE OWNER PRIOR TO ANY CONSTRUCTION.
- WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT. (DK) WERE LOCATED AS MARKED AT THE TIME OF THE SURVEY.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
- CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. THIS PLAN NOT VALID UNLESS ORIGINAL STAMP AND SIGNATURE OF A LICENSED SURVEYOR ARE LOCATED HEREON.
- OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES ARE SURVEY REFERENCES ONLY, AND NOT INTENDED TO MONUMENT THE PROPERTY LINES, NOR ARE THEY TO BE USED IN OR GUIDE CONSTRUCTION OF ANY TYPE.

LEGEND

IRON PIPE	PROPERTY LINE	MUL MULBERRY
CATCH BASIN	PROPOSED PL/EASEMENT	COT COTTONWOOD
ELECTRIC METER	WATER LINE	RB RED BUD
WATER VALVE	OVERHEAD WIRES	HACK HACKBERRY
FIRE HYDRANT	STONE WALL	CPP CORRUGATED PLASTIC PIPE
UTILITY POLE	MINOR CONTOURS	PVC POLYVINYL CHLORIDE
UTILITY POLE WITH LIGHT	MAJOR CONTOURS	
DECIDUOUS TREE		
CONIFER TREE		

Paul Rowan

PROPERTY SURVEY
 249 KINGS FERRY ROAD
 TOWN OF CORTLANDT, NEW YORK
 PREPARED FOR
 FABIAN NIETO
 ROWAN LAND SURVEYING, PLLC
 330 OLD ALBANY POST ROAD
 GARRISON, NY 10524
 914 815 3986
 rowanlandsurveying@outlook.com

Drawn By PR	Date AUGUST 7, 2021	Job No. 023-069
Surveyed By PR	Scale 1" = 30'	Sheet No. 1 OF 1

AREA VARIANCE REQUEST

Explanation and overview, of the matter before the ZBA:

Requesting an additional 145 sq ft in order to build our home according to design. The resulting change will have a multi-faceted positive impact to both the local community and the environment overall. Key improvements include an Increase to solar capacity to offset carbon footprint and reduce strain on the electric grid, an Increase to the visual appeal of the home, an Increase to capacity to future proof for family growth, an Increase to maneuverability for the mobility compromised, and an overall Increase to property values in the surrounding area.

ZBA Consideration Factors:

(1) Whether an undesirable change will be produced in the character of the neighborhood, or if a detriment to nearby properties will occur;

No undesirable change will be produced in the character of the neighborhood, or be a detriment to nearby properties. Rather the change will improve visual appeal of the home and ultimately increase property values in the surrounding area.

(2) Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;

The current footprint of the home is limited by:

A.) East facade - by a 15' rock hill that spans the length of the existing footprint

B.) North facade - by a 9' rock hill that is already having to be minimally disturbed to achieve rear expansion. Further push on this hill could compromise the stability of the hill

C.) West facade - by septic system and applicable setbacks

D.) South facade - is the only remaining facade where we can expand to create the applicable bedroom.

(3) Whether the requested variance is substantial;

The 145 square feet request is not substantial, especially when taking into consideration the 725.44 square feet that is being discounted off of our lot area as the practice is to round down to the allotted 47,000 coverage limitation despite being closer to the 48,000 square feet allowance.

(4) Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district;

The requested variance will not have a negative environmental impact, rather it will have a positive environmental impact by providing a larger front roof area that increases our solar panel capacity. As a result of adding additional solar panels we will reduce our electric supply consumption, add back to the grid through increased solar gains, and improve overall carbon footprint on the environment

(5) Whether the alleged difficulty was self-created;

The difficulty was not self created.

Intent is to allow for full solar panel capacity as designed along the roof, to future proof the front bedroom for a growing family that would allow for a full adult size bed, and leave enough room for standard access around the bed.

Additionally, Fabio Nieto has a history of spinal surgeries that have lead to, albeit brief, periods of time where he was wheelchair bound. With this condition being congenital, there is a possibility that another such surgery could be necessary in the future. Having the added space through the garage entryway, the living space on the first floor, and if confined to the second floor, the ability to maneuver around the bed and other furniture - would be necessary.

Regarding use variances and “unnecessary hardship” to the applicant:

In order to prove such unnecessary hardship, the applicant must demonstrate, for each and every permitted use under the zoning regulations for the particular district where the property is located, that:

(1) The applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence;

N/A

(2) The alleged hardship relating to the property in question is unique, and does not apply to a substantial portion of the district or neighborhood;

The hardship is unique to this property due to the rock formations and location of the septic tank and field setback requirements.

(3) The requested use variance, if granted, will not alter the essential character of the neighborhood; and

The current approved expansion design plans are almost identical to the proposed variance request.

The variance request quite simply establishes a more uniform and visually appealing frontage by creating equal width construction to the rear and fronts of the home.

(4) The alleged hardship has not been self-created.

The hardship is not self-created, but rather the result of natural obstructions from all sides except the front facade.

The request is simply based on a desire to establish a comfortable living and bedroom space that simultaneously provides for greater solar capacity and environmental impact offsets.

FIELDWORK COMPLETED: May 11, 2022

DEED REFERENCE:
 Liber Control No. 523563341
 Recorded: December 31, 2012
 Grantor: Ira Alpert
 Grantee: Kim Alpert Popolizio

PREMISES NOTE:
 Premises shown herein being Parcel A and Parcel B, recorded in Control Number 523563341 filed in the Westchester County Clerk's Office on December 31, 2012.

Parcels A and B were combined to form one Tax Lot designated as Section 67.8, Block 1, Lot 7, as filed in the Town of Cortlandt Assessor's Office on May 27, 2011.

GENERAL NOTES:
 To date, no Title Report or Abstract of Title has been provided. This survey is subject to a current, up to date Title Report.

This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain title insurance for any subsequent or future grantees.

Unauthorized alteration or addition to this survey is a violation of Section 7209, subdivision 2 of the New York State Education Law.

The alteration of survey maps by anyone other than the original preparer is misleading, confusing and not in the general welfare and benefit of the public. Licensed Land Surveyors shall not alter survey maps, survey plans, or survey plats prepared by others.

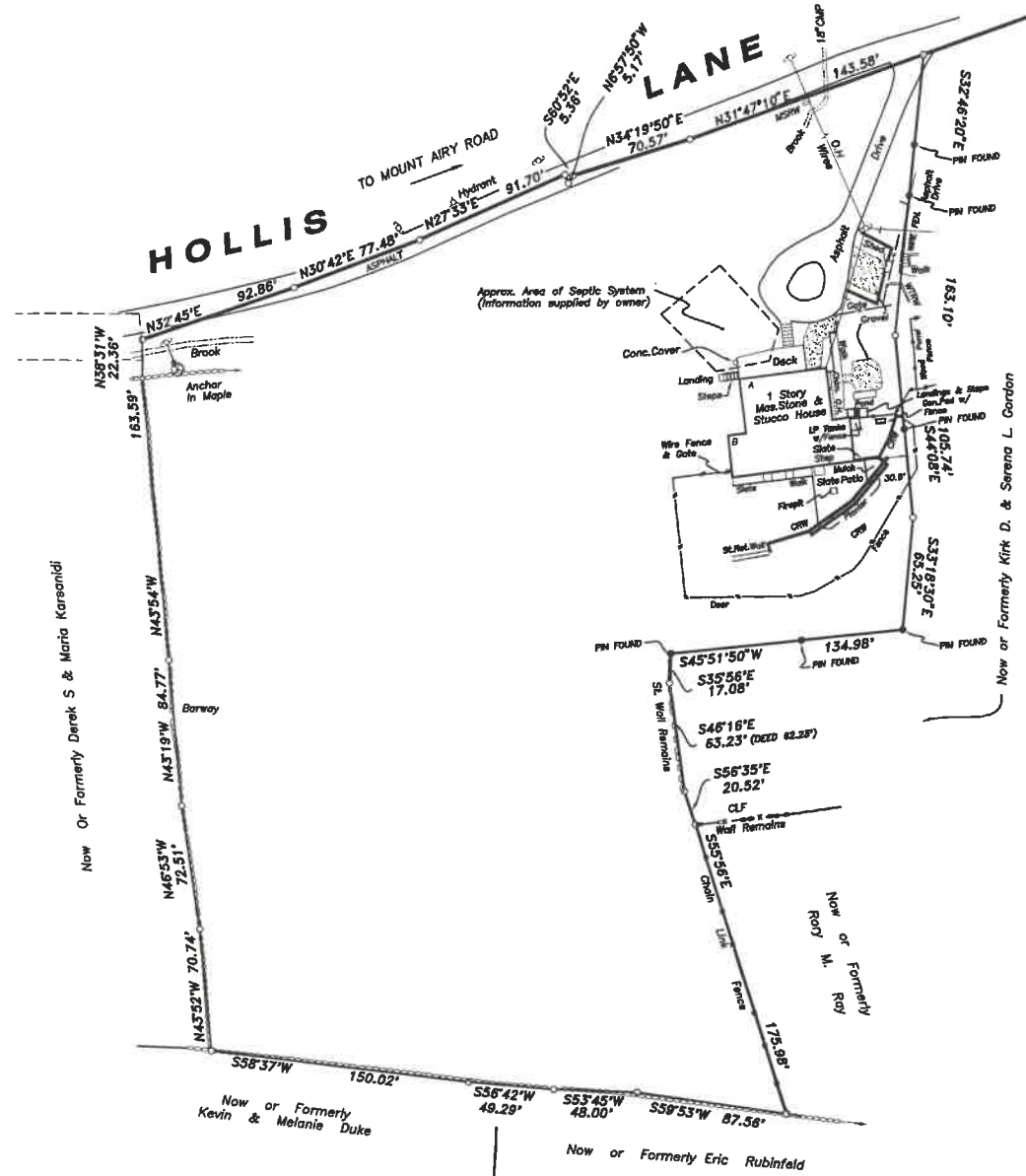
Underground structures, if any exist, are not shown herein, except as noted. The location of underground improvements or encroachments are not always known and often must be estimated. If underground improvements, easements, or encroachments exist and are neither visible during normal field survey operations nor described in instruments provided to this surveyor, they may not be shown on this map and are not certified.

Certifications indicated herein signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Said certifications shall run only to the person or entity for whom this survey was prepared and on their behalf to the title company, governmental agency and/or lending institution listed herein, and to the assignee thereof.

Certifications are not transferable to additional lending institutions or subsequent owners.

This property may be affected by instruments which have not been provided to this surveyor. Users of this map should verify title with their attorney or a qualified title examiner.

Only copies from the original of this survey marked with the surveyor's embossed seal are genuine, true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed seal should be assumed to be an unauthorized copy.



LEGEND

	DEER FENCE
	CHAIN LINK FENCE
	MASONRY STONE RETAINING WALL
	STONE WALL
	WOOD TIE RETAINING WALL
	PIN SET
	OVERHEAD WIRES
	UTILITY POLE & ANCHOR

Survey of Property
 Prepared for
Kim Alpert Popolizio
 Situate in the
Town of Cortlandt
Westchester County, New York
 Scale 1" = 50' Date: June 8, 2022

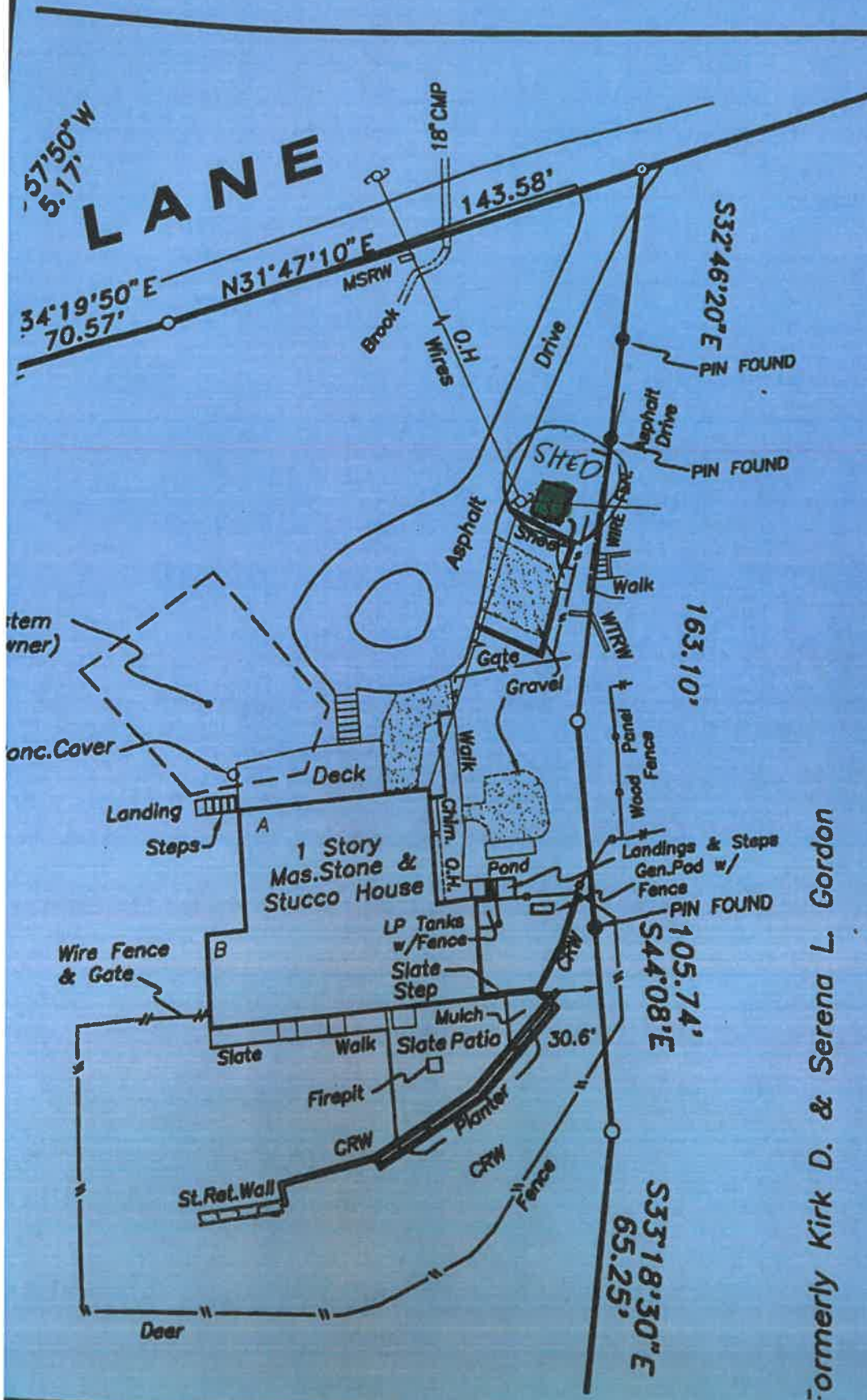
AREA = 4.339 AC.



T702B-8 P31-1
 22131.200 Popolizio.dwg

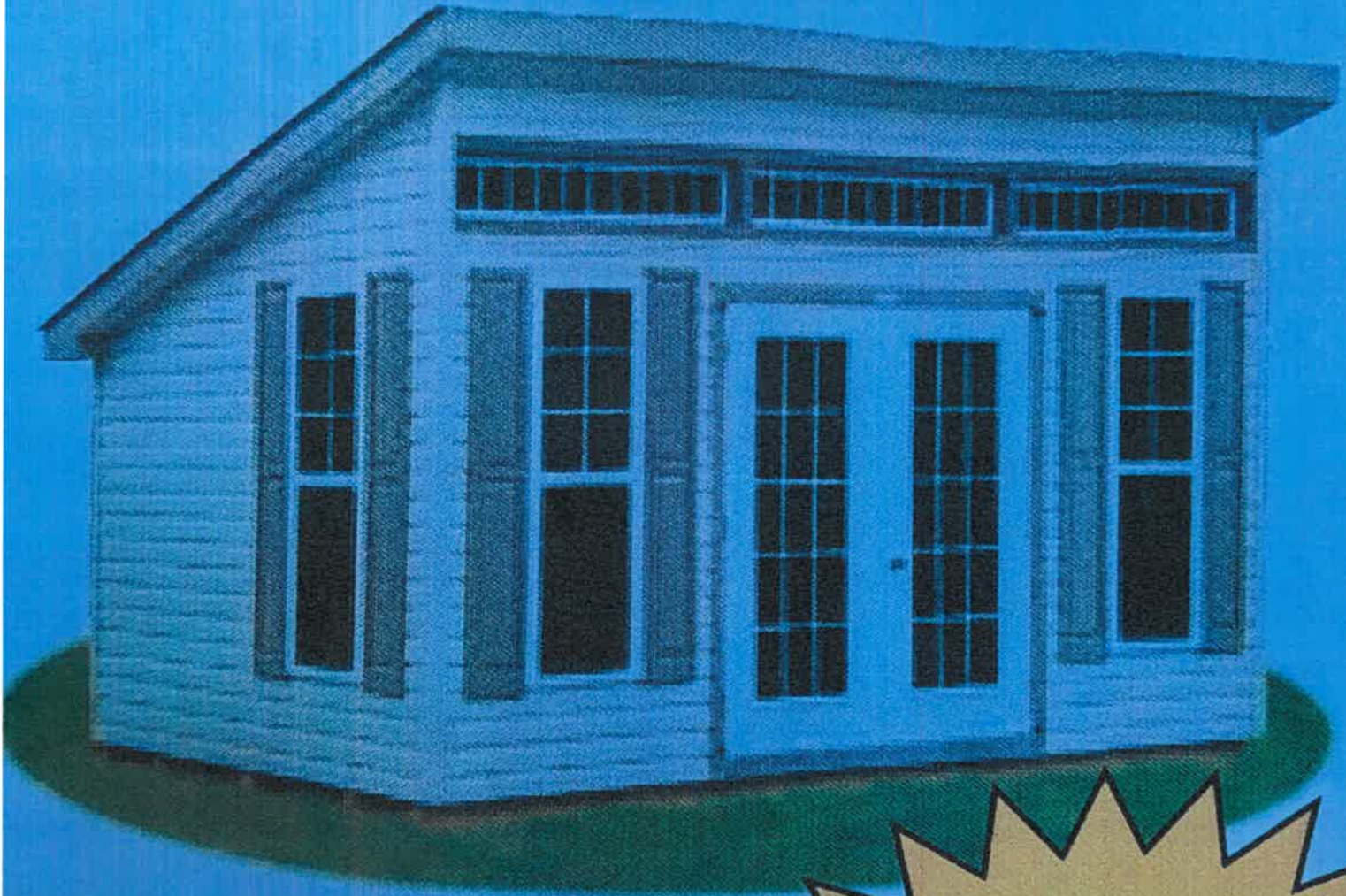


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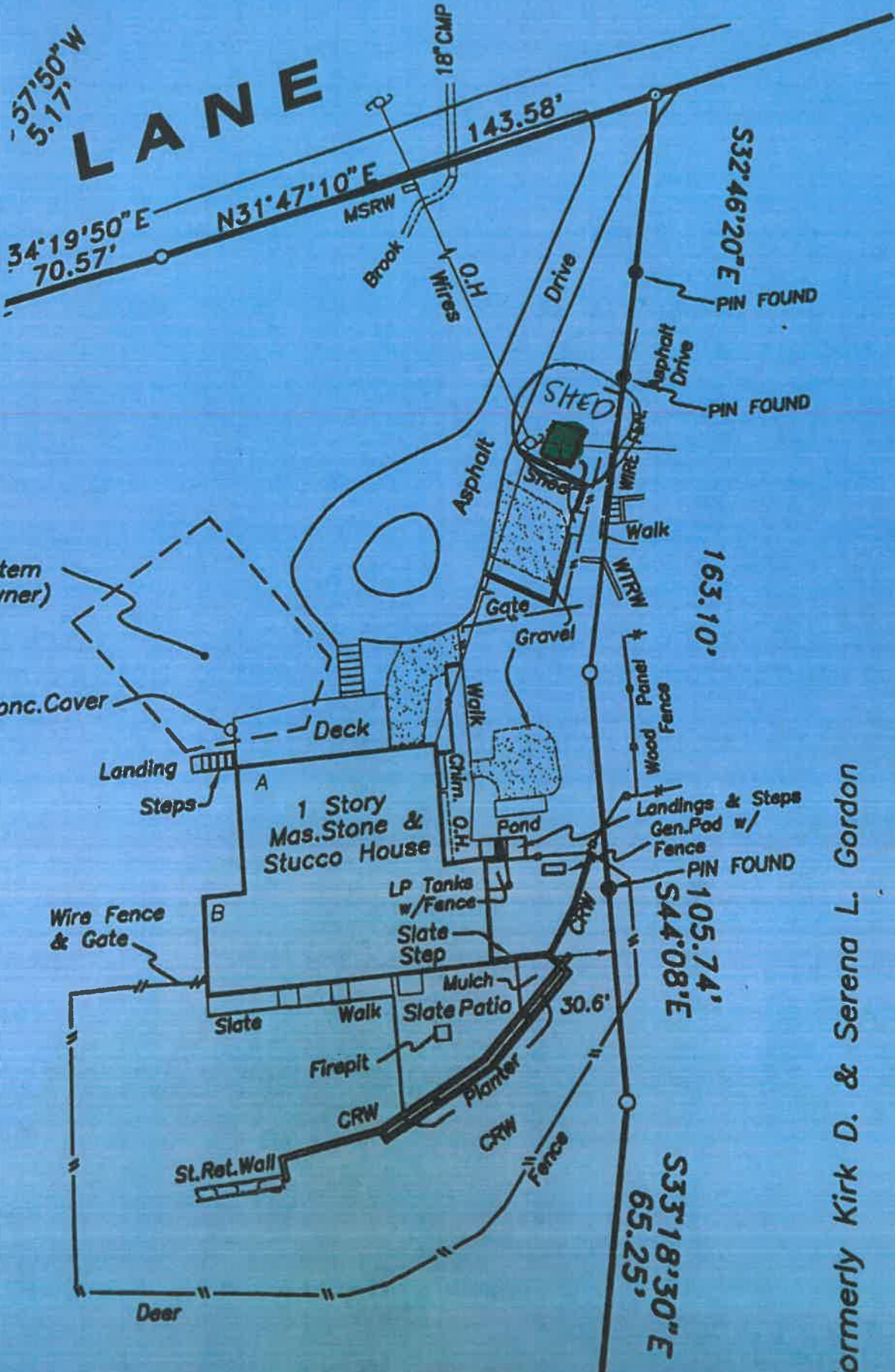
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