



TOWN OF CORTLANDT ZONING BOARD OF APPEALS

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
914-734-1080

Michael Fleming
Chairman

Wai Man Chin
Vice-Chairman

Chris Beloff
Frank Franco
Michelle Piccolo Hill
Benito Martinez
Thomas Walsh

Town Supervisor
Richard H. Becker, MD

Town Board
James F. Creighton
Francis X. Farrell
Cristin Jacoby
Robert Mayes

You are invited to a Zoom webinar.
When: Dec 21, 2023 06:45 PM Eastern Time (US and Canada)
Topic: 2023 December 21 Zoning Board Meeting

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/83142647236?pwd=V1phU1hhSXF5T3FyREVtdXVjM05Wdz09>

Passcode: 250197

Or One tap mobile:

+16469313860,83142647236#, *250197# US
+19292056099,83142647236#, *250197# US (New York)

Or Telephone:

Dial (for higher quality, dial a number based on your current location):

+1 646 931 3860 US
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+1 301 715 8592 US (Washington DC)
Webinar ID: 831 4264 7236
Passcode: 250197

AGENDA.....ZONING BOARD OF APPEALS
Town Hall – 1 Heady Street
Cortlandt Manor, NY 10567

Work Session – Thursday, December 21, 2023 at 6:30 PM

1. Discuss Agenda for the Regular Meeting

Regular Meeting – Thursday, December 21, 2023 at 6:45 PM

1. Pledge to the Flag and Roll Call
2. Adoption of the Meeting Minutes for November 16, 2023
3. Adopt 2024 Meeting Schedule
4. **New Public Hearing**

A. Case No. 2023-16 Application of Martin Stejskal, for the property of David and Nancy Levin, for an area variance for building height from the eave line to underside of the roof ridge for an accessory building, a garage, for property located at 63 Kent Dr.

NEXT REGULAR MEETING THURSDAY, JANUARY 18, 2024

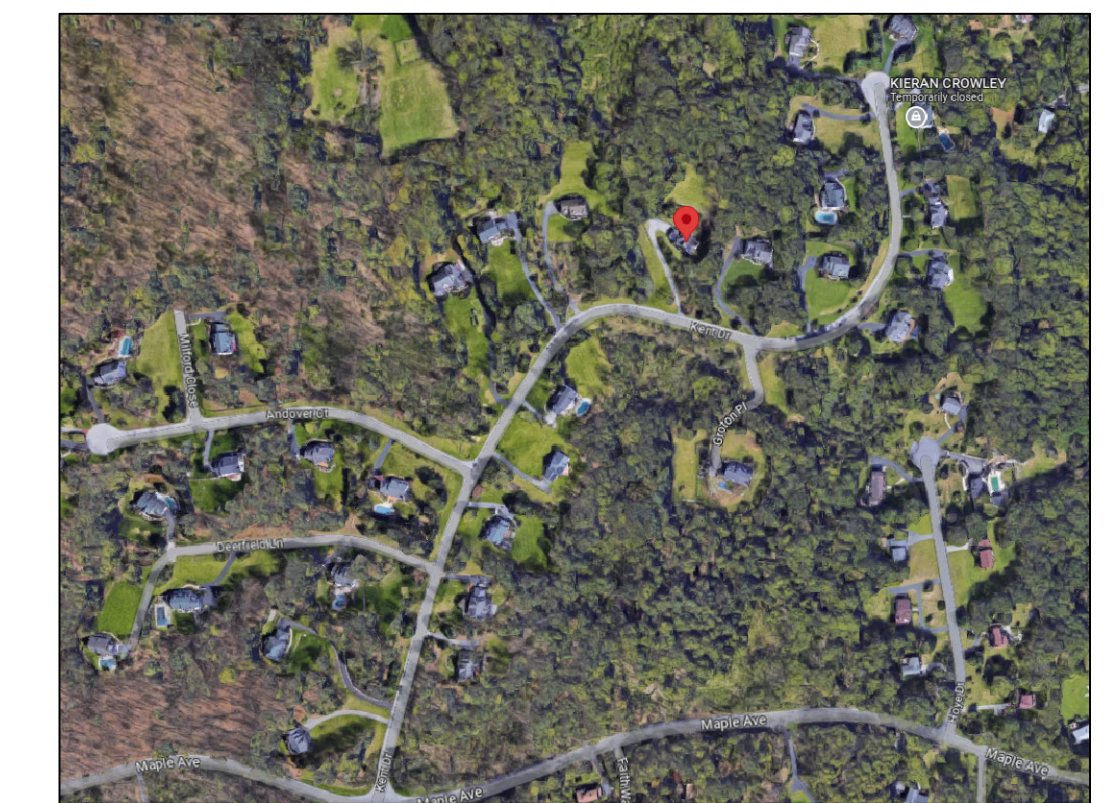
NEW DETACHED GARAGE

63 KENT DRIVE,
CORTLANDT MANOR,
NY 10567

DRAWING LIST:

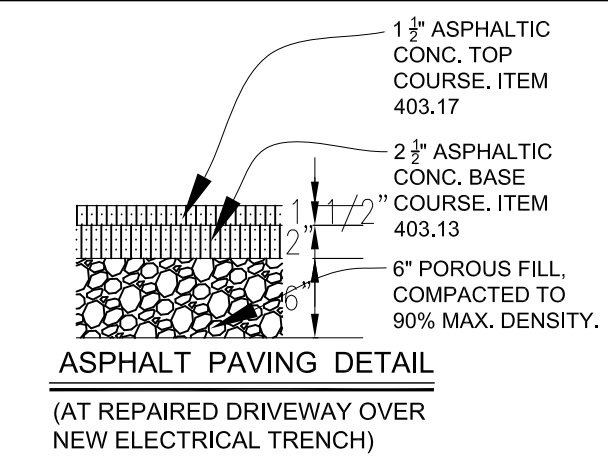
PAGE NUMBER	TITLE
Architectural: Plans	
C-100	COVERSHEET, LOCATION PLAN & PLOT PLAN & DETAILS
A-100	GARAGE PLANS
A-200	GARAGE ELEVATIONS
A-300	GARAGE SECTIONS
A-301	GARAGE DETAILS

PROJECT BUILDING CODE: 2020 RESIDENTIAL CODE OF NEW YORK STATE



LOCATION PLAN

NO SCALE



ASPHALT PAVING DETAIL
(AT REPAIRED DRIVEWAY OVER NEW ELECTRICAL TRENCH)

ARCHITECTURAL VISIONS
A GREENBERG DESIGN GROUP

2 MUSCOOT ROAD NORTH P: 845-628-6613
MAHOPAC NY, 10541 F: 845-628-2807
JOEL.GREENBERG@ARCHVISIONS.COM

PROJECT: DAVID LEVIN

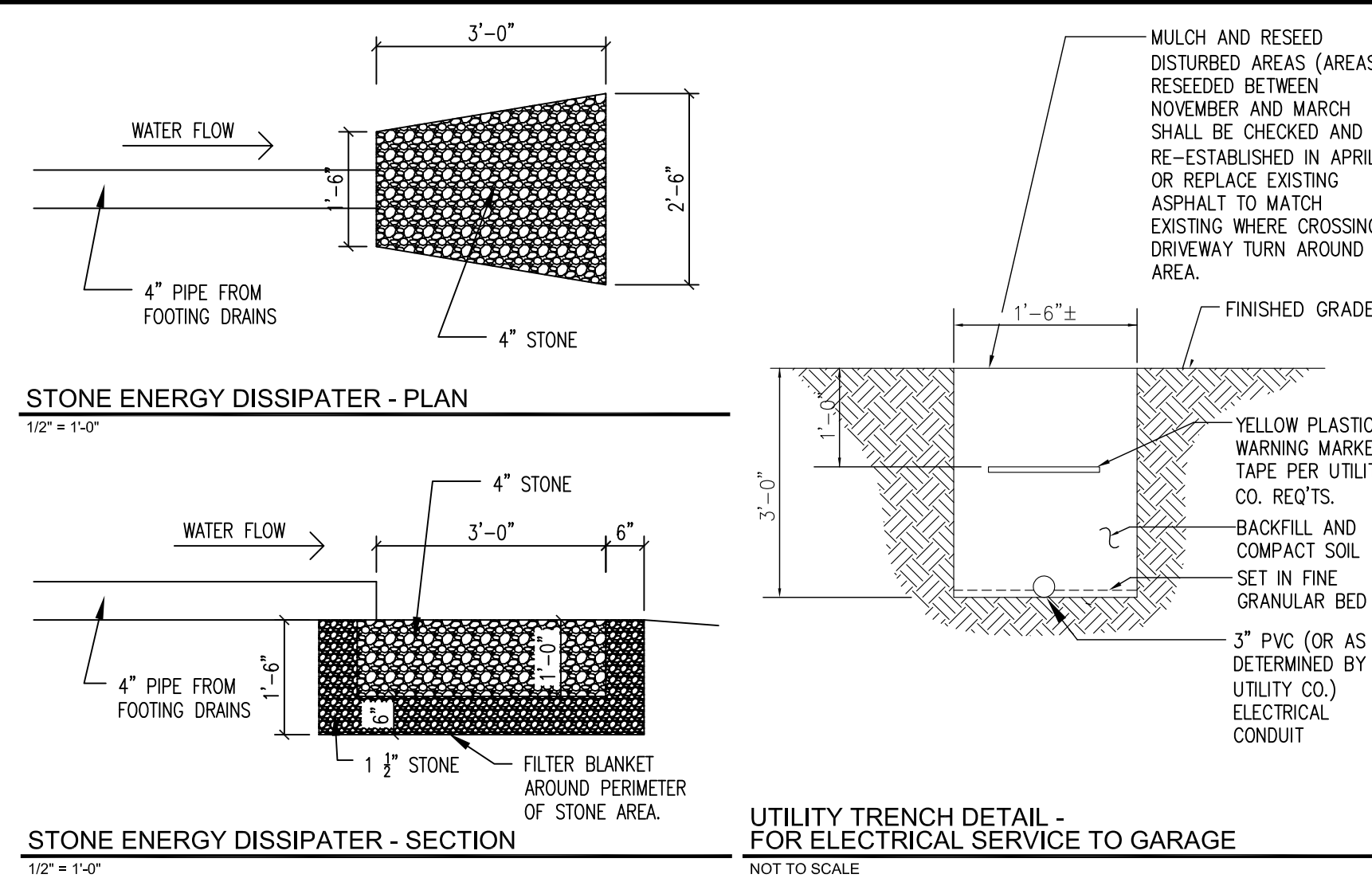
PROJECT ADDRESS: 63 KENT DRIVE, CORTLANDT MANOR, NY 10567
MAILING ADDRESS: SAME AS PROJECT ADDRESS
TAX MAP NO. 45.7-1-23

COVER SHEET & PLOT PLAN & DETAILS

ISSUANCE	DATE
FOR PERMIT	07-13-2023
FOR REVIEW	08-15-2023
FOR REVIEW	08-15-2023
FOR REVIEW	08-15-2023
FOR REVIEW	08-15-2023
FOR REVIEW	08-15-2023

SCALE: AS NOTED
DRAWN BY/CHKD BY: VTP / JLG
PROJECT NO.: 01-23-010

C-100



Town of Cortlandt
CODE ENFORCEMENT DIVISION
1 HEADY STREET, CORTLANDT MANOR, NY 10567
(914) 734-1010

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 5/12/2020)

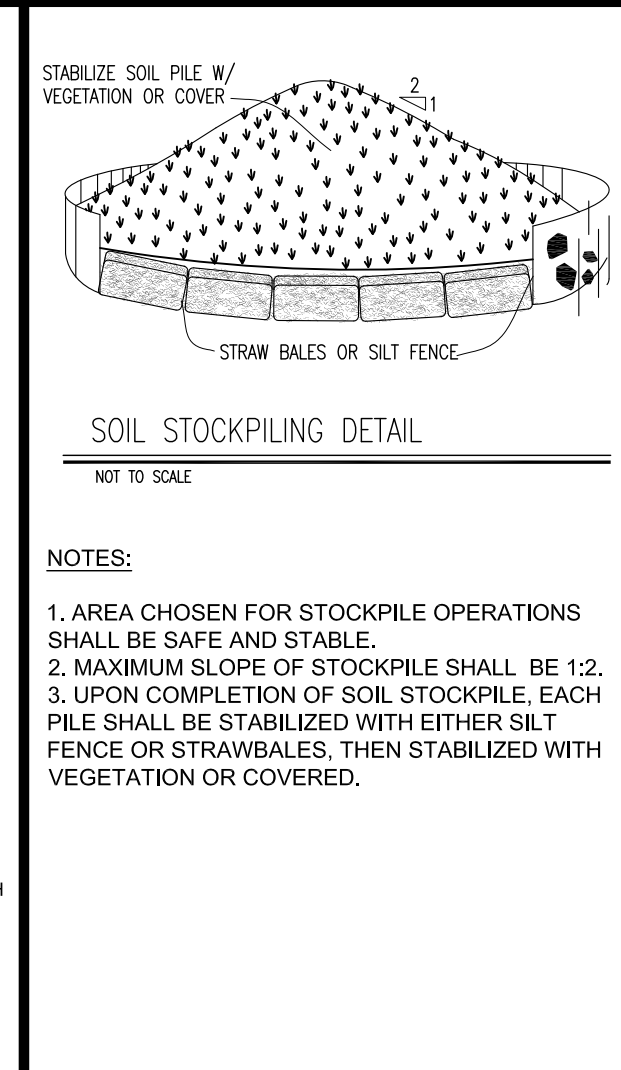
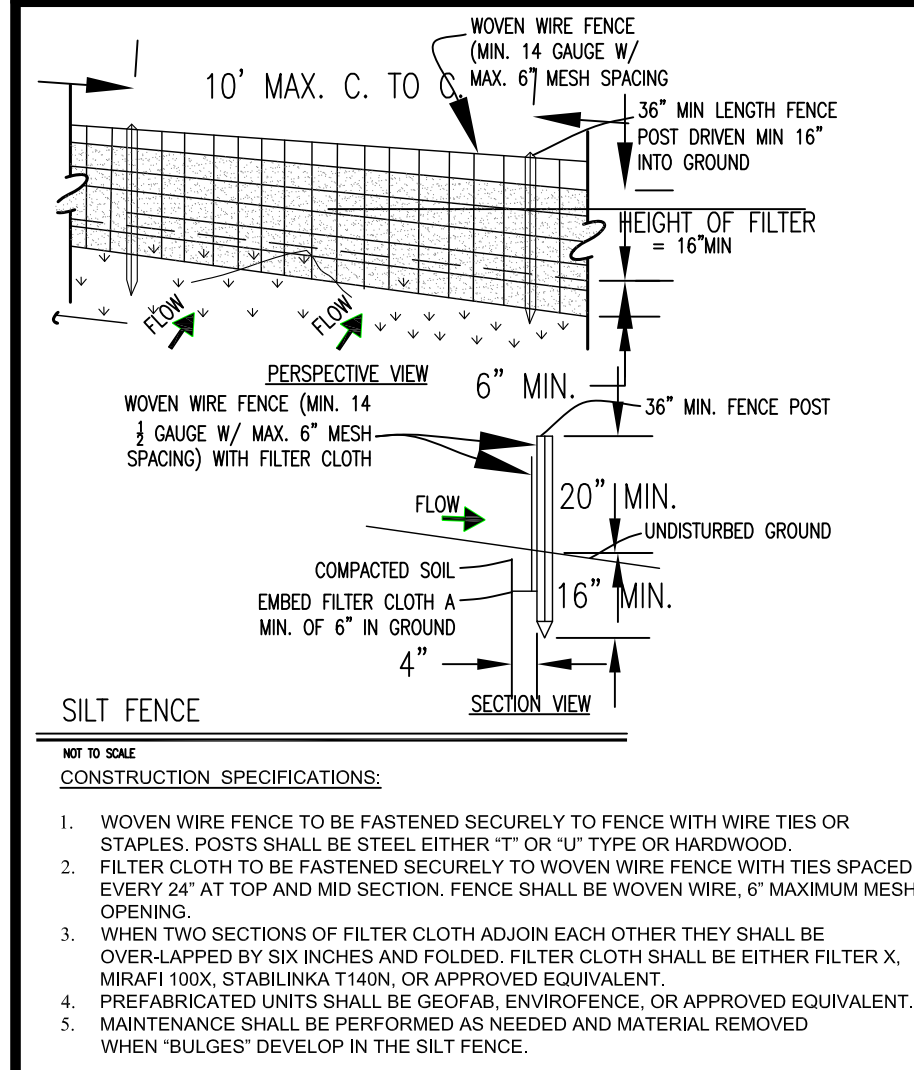
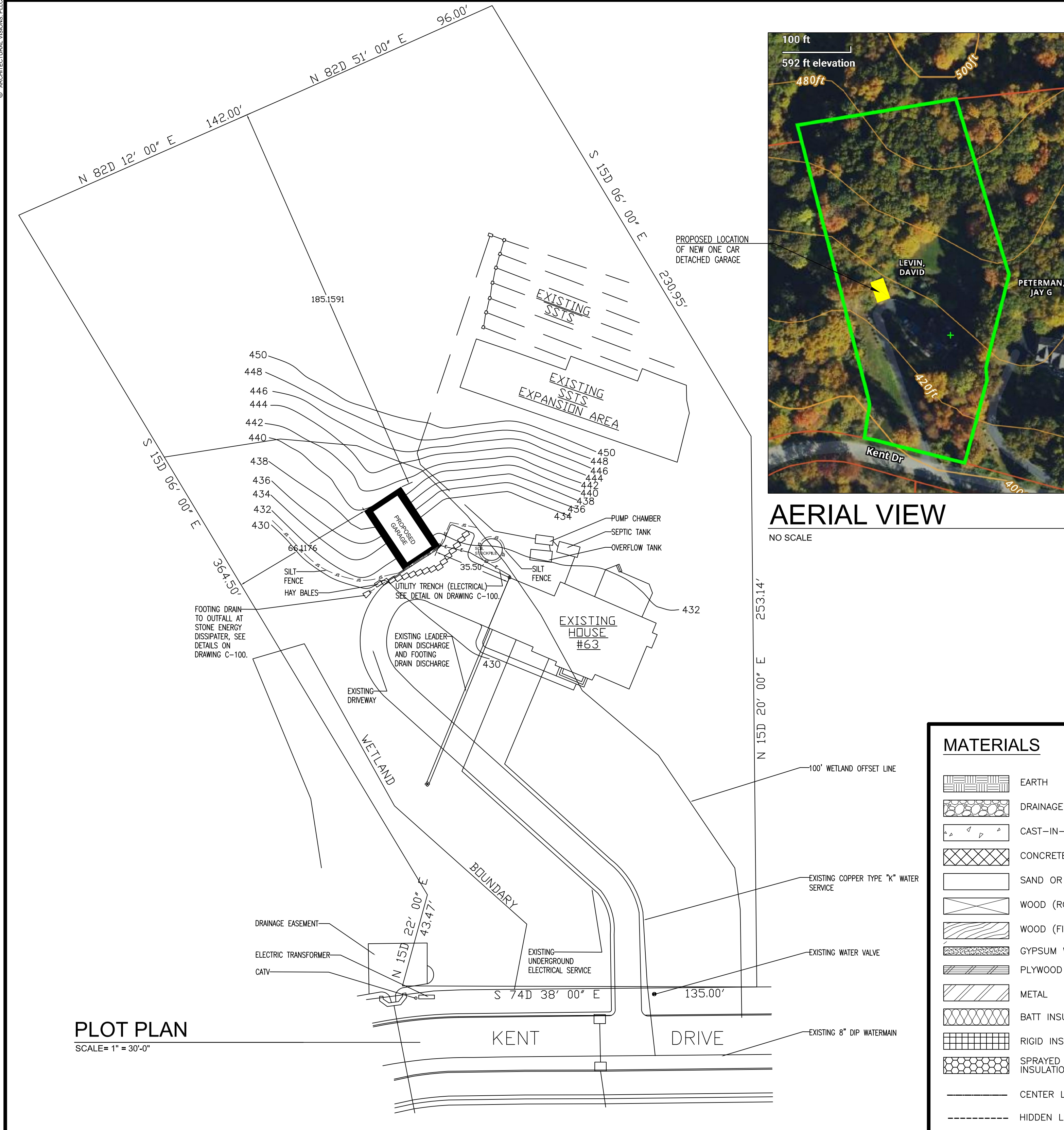
Location: Town of Cortlandt										Zip Code: 10567			
Ground Snow Load	Wind Design			Subject to Damage From									
	Speed (mph)	Topo Effects	Special Wind Region	Weathering	Frost Depth	Winter Design Temp	Ice Barrier Underlayment Req'd	Flood Hazards	Air Freezing Index	Mean Annual Temp			
30	30	No	Yes	No	C	Severe	42"	Moderate to Heavy	7	YES	**	1500 or less	51.8

MANUAL J DESIGN CRITERIA

Elevation	Latitude	Winter heating	Summer cooling	Altitude correction factor	Indoor design temperature	Design temperature cooling	Heating temperature difference
436	41	7	87	1	68	75	61

Cooling temperature difference	Wind velocity heating	Wind velocity cooling	Coincident wet bulb	Daily range	Winter humidity	Summer humidity
12	20.4	7.5	72	M	30	55

* 115 MPH to 120 MPH. The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Chapter 16 of the Building Code and Chapter 3 of the Residential Code are likely to occur and should be considered in the design.
** State if applicable. For Flood Hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available in the Engineering Department for review. If any additional information is required.



- PLAN NOTES:**
- SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONED OVERALL LAYOUT AND DIMENSIONED LOCATIONS OF PARTITIONS. DO NOT SCALE DRAWINGS.
 - ALL CONCRETE TO BE 3,500 PSI. SEE CONCRETE NOTES ON DRAWING A-100.
 - MINIMUM 3'-6" FROST DEPTH TO BE MAINTAINED FOR ALL FOOTINGS. FOOTINGS SHALL BEAR ON NATURAL, NON-DISTURBED, COMPACT NON-ORGANIC SOILS.
 - CONTRACTOR TO COORDINATE EMBEDMENT OF ANCHOR BOLTS, ETC. INTO CONCRETE.
 - 5" CONCRETE SLAB ON GRADE. REIN. SLAB W/6X6-W2,0XW2,0 WWF. PLACE SLAB ON 6MIL VAPOR BARRIER OVER 6" MIN COMPACTED COARSE GRANULAR FILL.
 - ALL POSTS AND JAMBS TO BE FULLY SPIKED. PROVIDE DOUBLE JACK STUDS AND A FULL HEIGHT STUD UNDER ALL BEAMS SPANNING 6'-0" OR GREATER AND UNDER ALL LVL BEAMS UNLESS NOTED OTHERWISE.
 - PROVIDE 2X4 BLOCKING UNDER ALL POSTS AND JAMBS OF WINDOW AND DOOR OPENINGS EXCEEDING 6'-0" IN WIDTH.
 - ALL FRAMING LUMBER SHALL BE DRY (19% MAXIMUM MOISTURE CONTENT) DOUGLAS FIR No.2 GRADE WITH A BASE VALUE FB OF 850 PSI.
 - A.P.A. RATED SHEATHING SYSTEM 3/4" T&G PLYWOOD DECKING GLUED WITH PL400 ADHESIVE AND SCREWED AT 12" O.C. INTERMEDIATE SUPPORTS, 6" O.C. ABOUT PERIMETER.
 - ALL OPENINGS SHALL BE FRAMED WITH DOUBLE MEMBERS UNLESS SHOWN OTHERWISE.
 - ALL LAMINATED VENEER LUMBER AND COMPOSITE LUMBER SHALL BE MICROLAM, TRUSS JOISTS OR PARALLAMS AS PRODUCED BY TRUSS JOIST MACMILLAN, OR AN APPROVED EQUIVALENT. BOLT ALL LVL BEAMS PER MANUFACTURER'S SPECIFICATIONS.
 - ALL METAL FRAMING CONNECTIONS SHALL BE FULLY NAILED AS PER MANUFACTURER'S RECOMMENDATIONS.
 - CONTRACTOR TO SUBMIT FOR REVIEW EXACT CONNECTION MANUFACTURER'S DATA SHEETS FOR EACH TYPE OF CONNECTION SPECIFIED.
 - ALL NAILED CONNECTIONS SHALL BE SECURED IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE NAILING SCHEDULE.

MATERIALS

	EARTH
	DRAINAGE GRAVEL
	CAST-IN-PLACE CONCRETE
	CONCRETE MASONRY UNIT
	SAND OR MORTAR
	WOOD (ROUGH)
	WOOD (FINISH)
	GYPSUM WALL BOARD
	PLYWOOD
	METAL
	BATT INSULATION
	RIGID INSULATION
	SPRAYED IN FOAM INSULATION
	CENTER LINE
	HIDDEN LINE

TOWN OF CORTLANDT ZONING REQUIREMENTS

Basic Data: Owner: David Levin
Address: 63 Kent Drive, Cortlandt Manor, NY 10567
Sheet: Section: 45.7 Block: 1 Lots: 23
Zoning District: R-40 Proposed Use: New Detached Garage

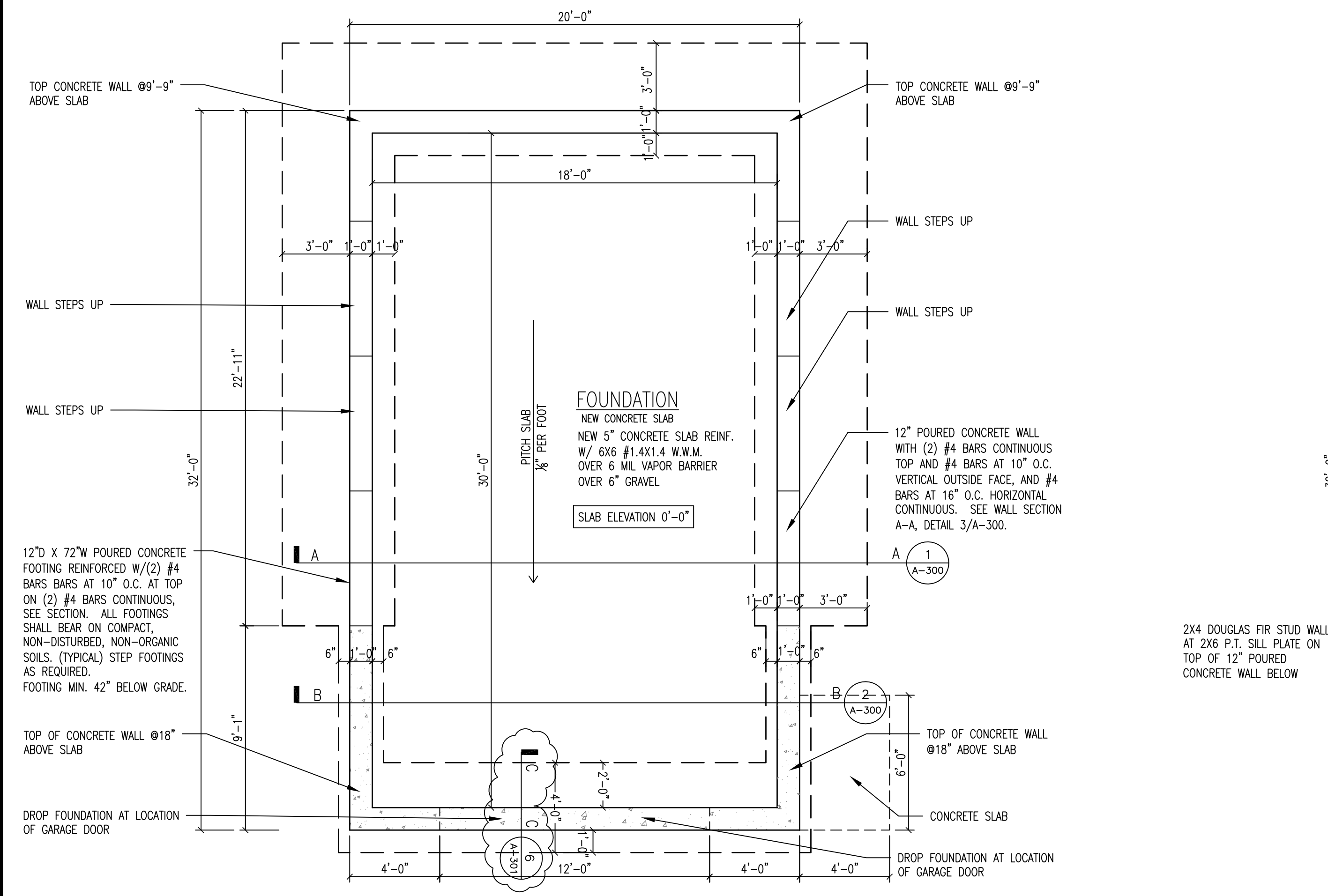
Bulk Regulations:	Required/ Allowable:	Existing/ Proposed	Variance Required
Lot Area:	40,000 SF	92,547 SF	NONE
Max. Building Coverage:	8,827 SF	5,125 SF	NONE
Max. Building Floor Area: (House)	8,827 SF	4,954 SF	NONE
Accessory Buildings: (Detached Garage)			
Height:	10 FT & 4 FT	10 FT & 3.91 FT	NONE
Max Area:	2,297 SF	640 SF	NONE
Side Yard:	6 FT	66.12 FT	NONE
Rear Yard:	6 FT	185.1 FT	NONE

Calculations:

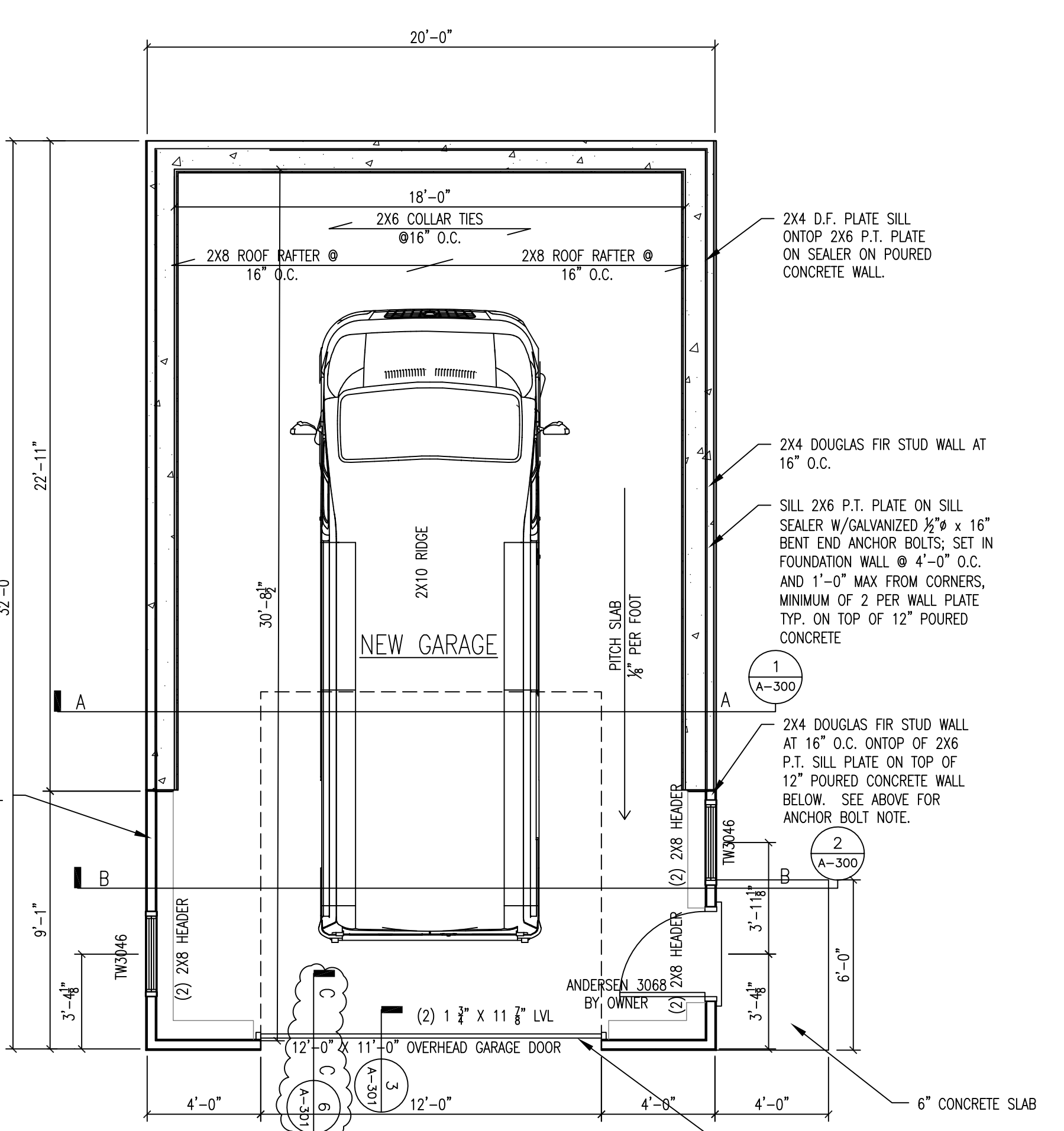
	Footprint SF	Total SF
Primary Structure:	1,740	4,954
Accessory Structures:		
Garage (Proposed)	640	640
Subtotal:	640	640
Impervious Surfaces:		
Driveway (Existing)	4,250	
Driveway (New)	15	
Walkways (Existing)	220	
Subtotal:	4,485	
Total:	5,125	



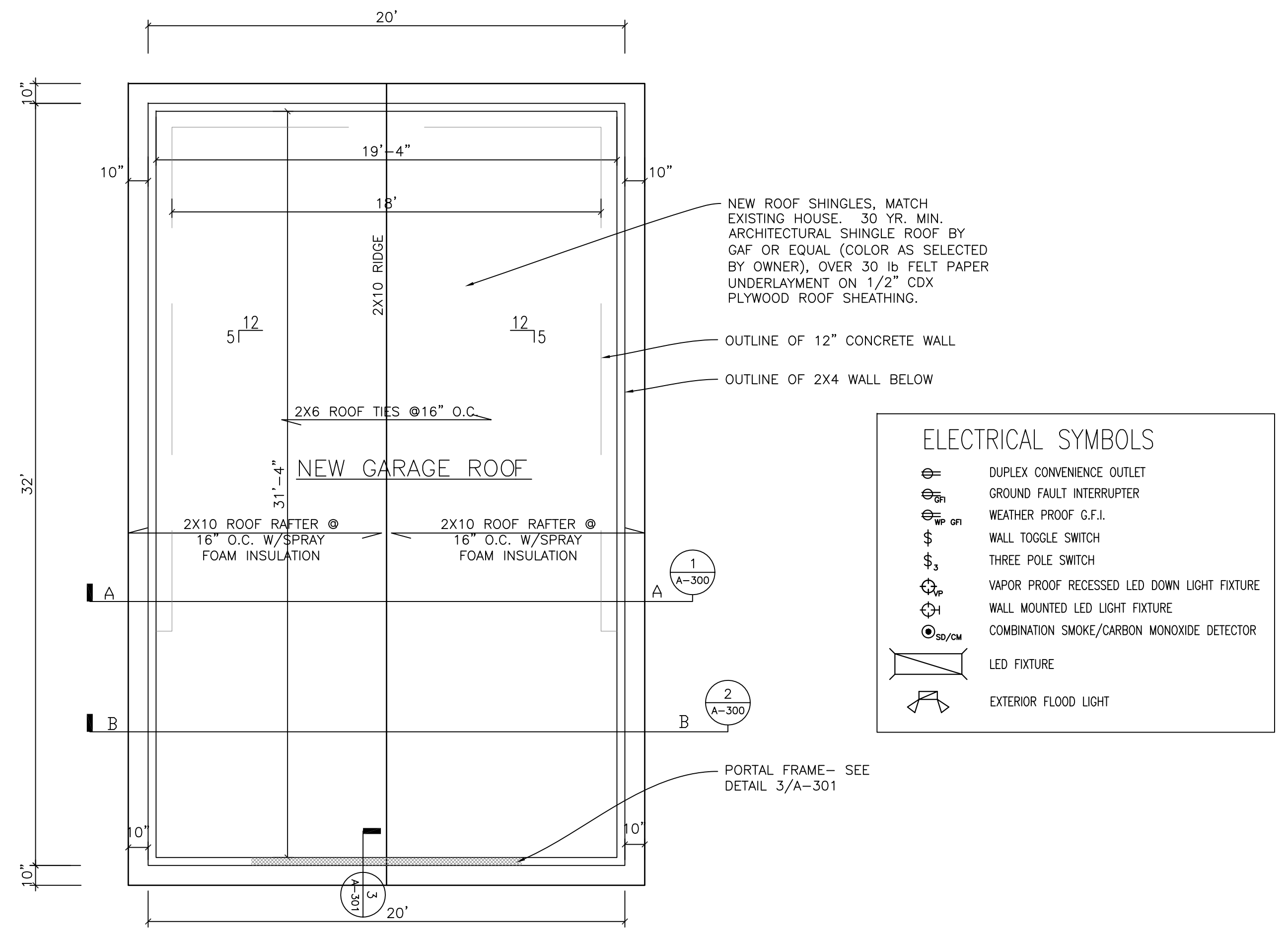
© ARCHITECTURAL VISIONS LLC



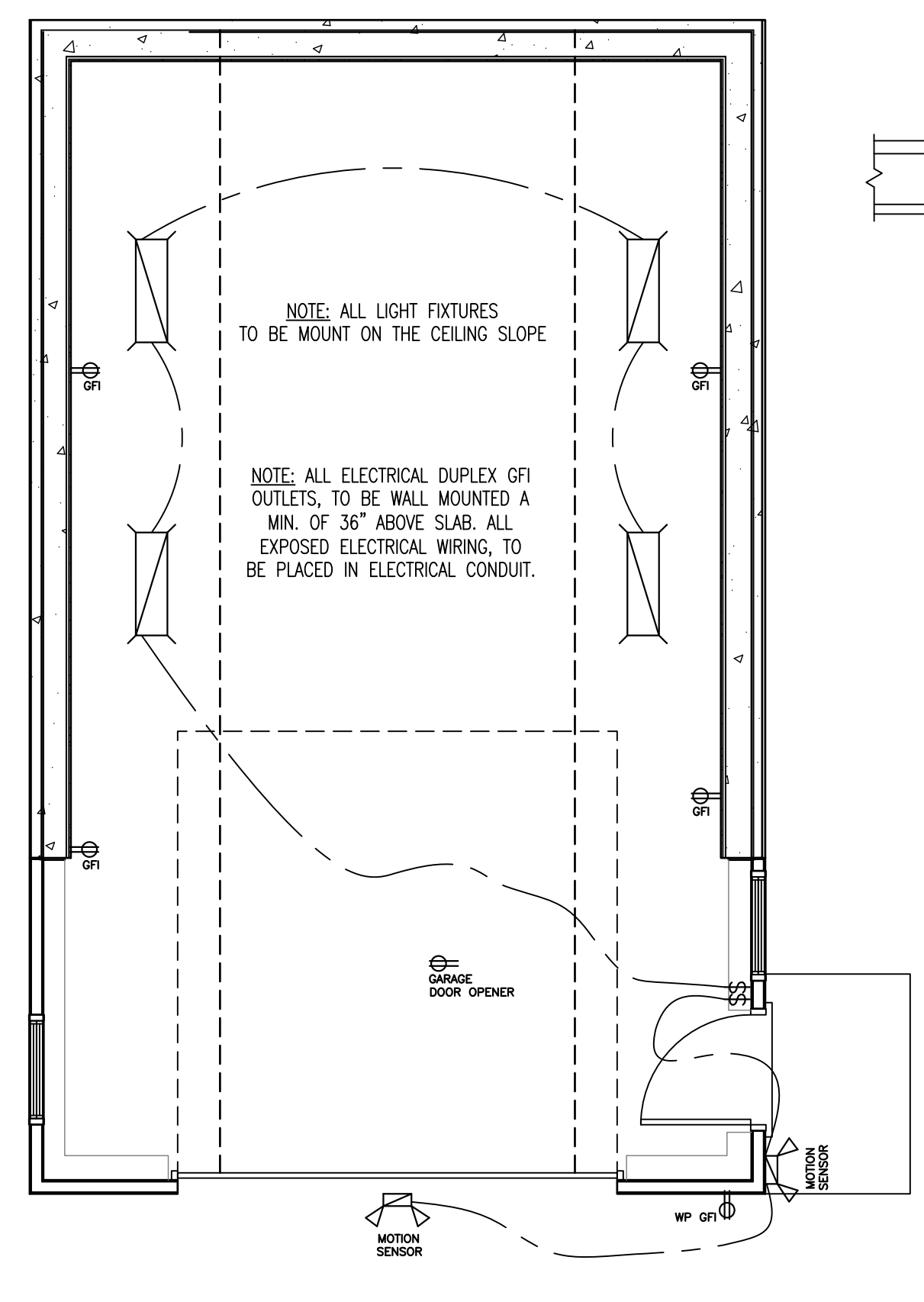
1 PROPOSED GARAGE FOUNDATION PLAN
1/4"=1'-0"



2 PROPOSED GARAGE
1/4"=1'-0"

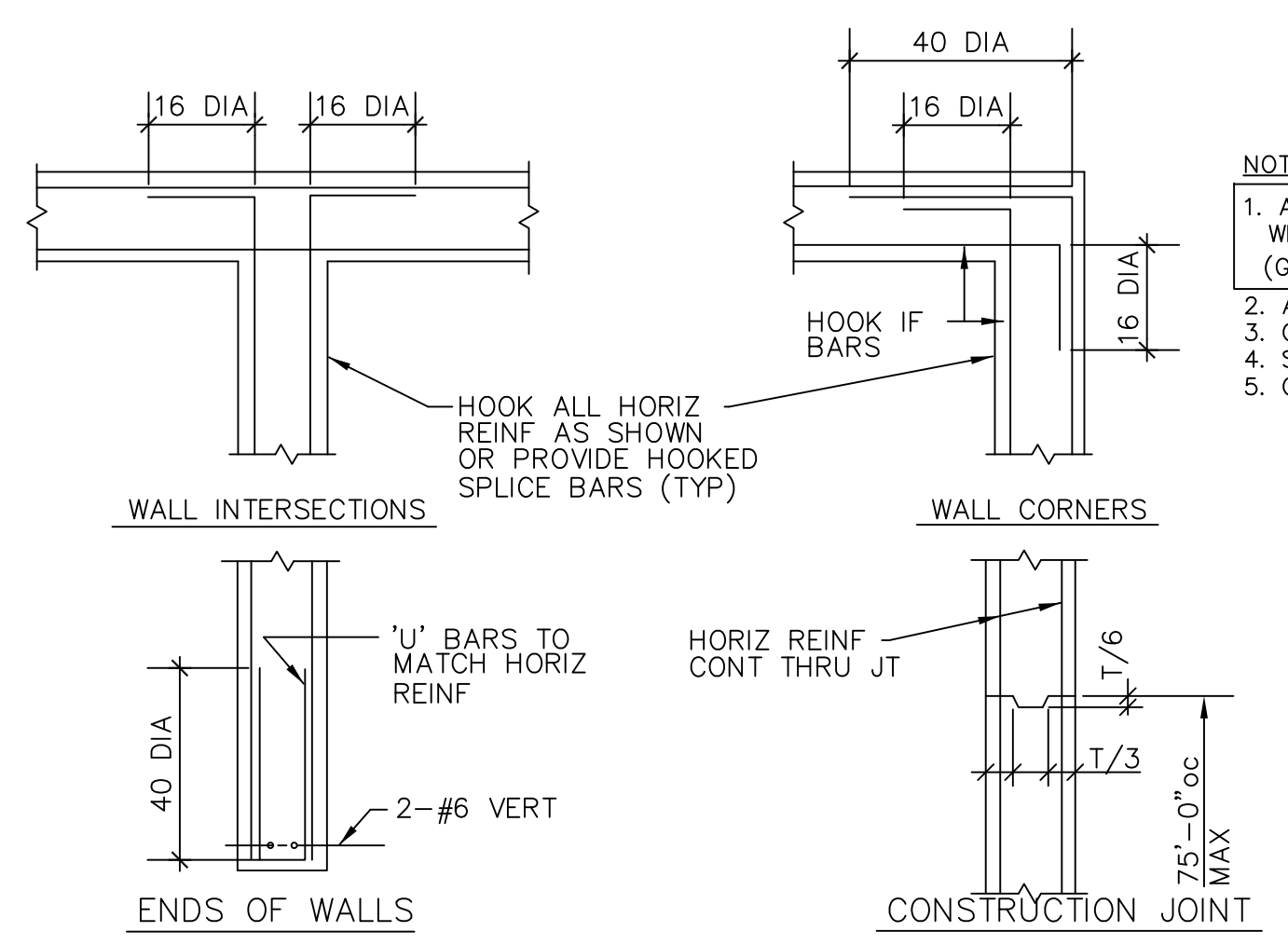


3 PROPOSED GARAGE ROOF
1/4"=1'-0"

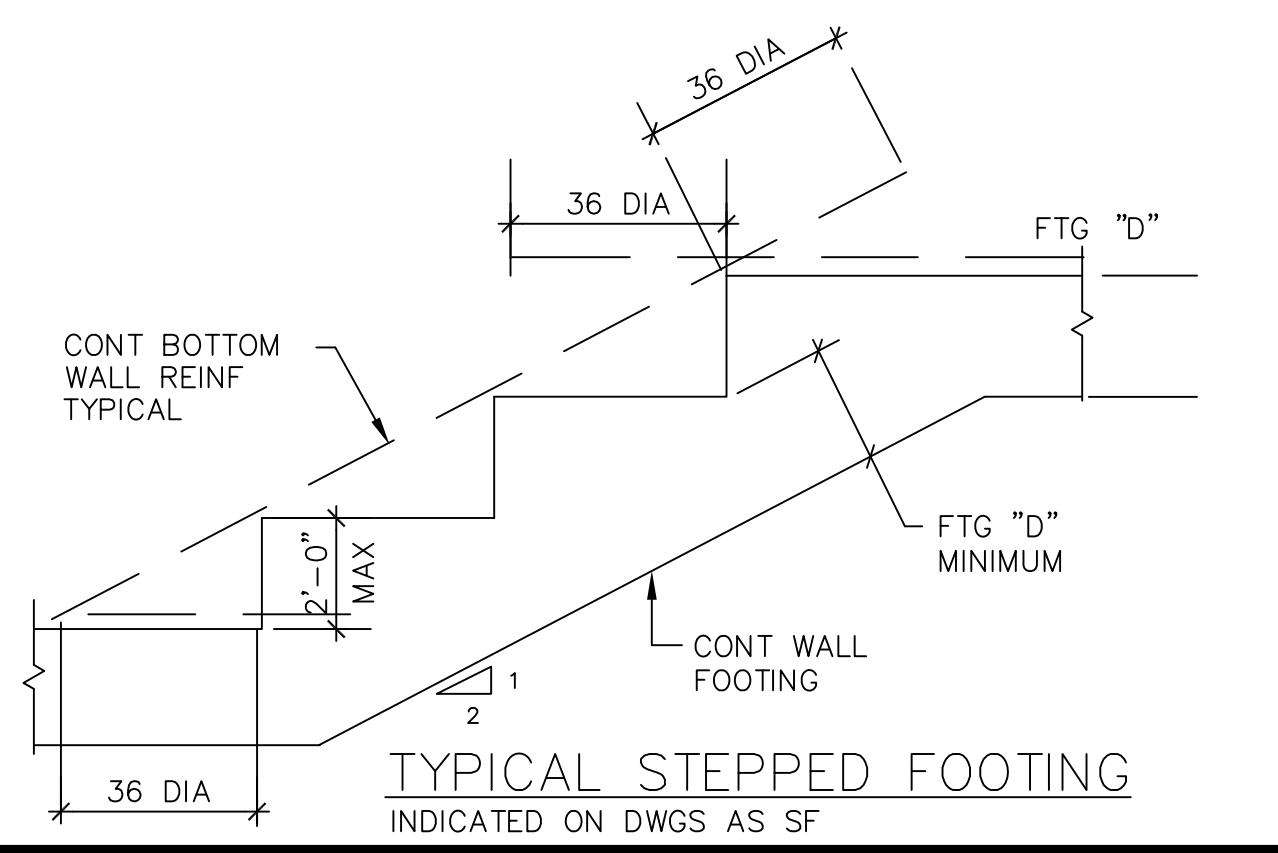


4 PROPOSED ELECTRICAL PLAN
1/4"=1'-0"

ELECTRICAL SYMBOLS	
	DUPLEX CONVENIENCE OUTLET
	GROUND FAULT INTERRUPTER
	WEATHER PROOF G.F.I.
	WALL TOGGLE SWITCH
	THREE POLE SWITCH
	VAPOR PROOF RECESSED LED LIGHT FIXTURE
	WALL MOUNTED LED LIGHT FIXTURE
	COMBINATION SMOKE/CARBON MONOXIDE DETECTOR
	LED FIXTURE
	EXTERIOR FLOOD LIGHT



TYPICAL WALL DETAILS



TYPICAL STEPPED FOOTING
INDICATED ON DWGS AS SF

GENERAL STRUCTURAL NOTES
DESIGN LIVE LOADS
ROOF 40 P.S.F. + DRIFT

GENERAL:
1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
2. DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST ARCHITECTURAL DRAWINGS.
3. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES. OPENINGS NOT SPECIFICALLY SHOWN SHALL BE APPROVED BY THE ARCHITECT.
4. FOUNDATION WALLS SHALL BE TEMPORARILY BRACED UNTIL FRAMED SLABS AND SLABS ON GRADE BRACING THESE WALLS' LATERALLY AGAINST EARTH PRESSURE, WIND AND OTHER LATERAL FORCES ARE IN PLACE.
5. EXPLANATION OF SECTION DIAGRAM USED:

SECTION MARK
 STRUCTURAL SHEET WHERE SECTION DRAWN

FOUNDATIONS
1. ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL MATERIAL HAVING AN ALLOWABLE BEARING VALUE OF 2.0 TONS PER SQUARE FOOT TOTAL.
OVER SOLID LEDGE BROUGHT TO WITHIN 15 DEGREES OF HORIZONTAL.
2. ELEVATIONS OF BOTTOM OF FOOTING SHALL BE LOWERED IF NECESSARY TO THE REQUIRED BEARING MATERIAL AS FOUND UPON EXCAVATION. IF THE REQUIRED BEARING MATERIAL IS NOT ENCOUNTERED AT ELEVATIONS SHOWN, NOTIFY ENGINEER IMMEDIATELY.

REINFORCED CONCRETE
1. ALL CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTES SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301-95)
2. ALL CONCRETE IS DESIGNED BY ULTIMATE STRENGTH METHODS AND SHALL BE NORMAL WEIGHT AIR ENTRAINED WITH A 28 DAY COMPRESSIVE STRENGTH OF 3500 P.S.I.
3. ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS ASTM A 615- GRADE 60.
4. MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT WHEN NOT OTHERWISE INDICATED SHALL BE:
CONCRETE POURED AGAINST EARTH 3"
CONCRETE POURED IN FORMS BUT EXPOSED TO EARTH OR WEATHER. 1-1/2"

5. PROVIDE 2 - #4 (1 EACH FACE) WITH 2'-0" PROJECTION AROUND ALL OPENINGS IN CONCRETE.
6. WALLS SHALL HAVE NO JOINTS IN A HORIZONTAL PLANE.
7. WIRE MESH REINFORCEMENT MUST LAP ONE FULL MESH AT SIDE AND END LAPS, AND SHALL BE WIRED TOGETHER. PROVIDE ADEQUATE SUPPORTS FOR MESH TO INSURE ITS LOCATION AS SHOWN ON DRAWINGS.

WOOD
1. ALL FRAMING LUMBER SHALL BE DRY (19% MAXIMUM MOISTURE CONTENT) DOUG-FIR No. 2 WITH THE FOLLOWING ALLOWABLE UNIT BASE STRESSES:

BENDING, SINGLE USE	850 PSI
TENSION PARALLEL TO GRAIN	575 PSI
COMPRESSION PARALLEL TO GRAIN	1300 PSI
HORIZONTAL SHEAR	625 PSI
COMPRESSION PERPENDICULAR TO GRAIN	625 PSI

2. PROVIDE FULL DEPTH 2x CROSS-BRIDGING FOR ALL WOOD JOISTS AT 8'-0"oc. MAXIMUM SPACING AND 2x SOLID BLOCKING BETWEEN JOISTS AT ALL SUPPORTS AND PARTITIONS.
3. WHERE FRAMING CLIPS OR JOISTS HANGERS ARE USED, NAILING SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
4. PLYWOOD NAILED TO FRAMING SHALL BE SPACED 4"oc AT EDGES, 8"oc AT INTERMEDIATE SUPPORTS UNLESS SHOWN OTHERWISE.
5. ALL OPENINGS SHALL BE FRAMED WITH DOUBLE MEMBERS UNLESS OTHERWISE NOTED ON PLANS.
6. CONTRACTOR TO SUBMIT EXACT CONNECTION MANUFACTURER'S DATA SHEETS.

MICROLAM OR PARALLAM MEMBERS AS PRODUCED BY THE TRUSS JOIST MACMILLAN WITH THE FOLLOWING DESIGN PROPERTIES:
BENDING 2600 PSI
TENSION 285 PSI
HORIZONTAL SHEAR 1,900,000 PSI
MODULES OF ELASTICITY 1,900,000 PSI

- NOTES:**
1. ALL CONNECTORS, BOLTS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER TO BE GALVANIZED. (G185 HDG-ASTM 653)
 2. ALL HANGERS TO BE FULL DEPTH, WIDTH AND FULLY NAILED (UNO).
 3. CONTRACTOR TO COORDINATE ALL SKEW/SLOPE REQUIREMENTS.
 4. SIMPSON HANGER OR APPROVED EQUIVALENT.
 5. CONNECTORS SHALL BE INSTALLED CONCURRENT WITH FRAMING.

ARCHITECTURAL VISIONS LLC
A GREENBERG DESIGN GROUP

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PROJECT: DAVID LEVIN
PROJECT ADDRESS: 63 NIENT DRIVE
CORTLAND MANOR, NY 10567
MAPPING ADDRESS: SAME AS PROJECT ADDRESS
TAX MAP NO. 45.7-1-23

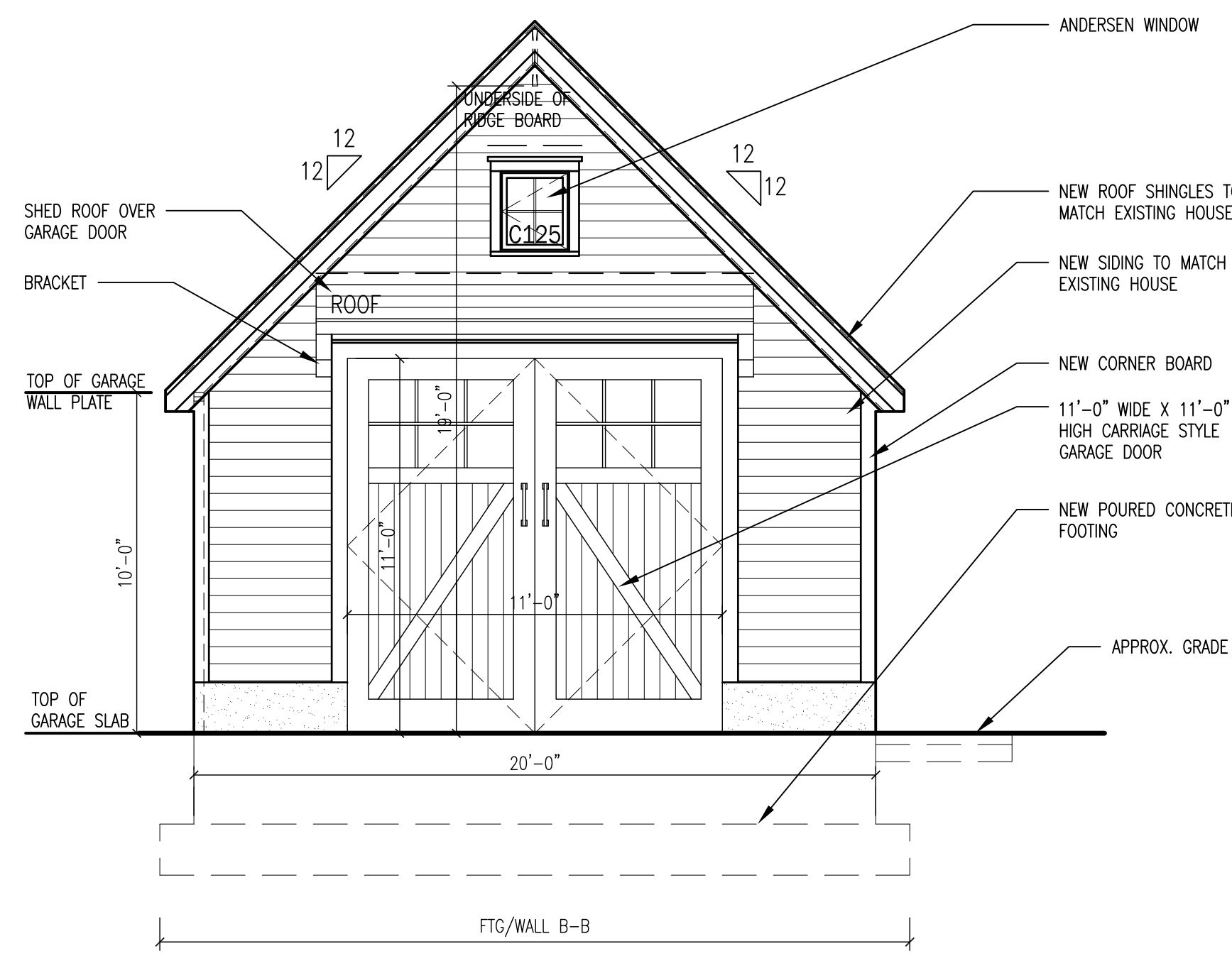
GARAGE PLANS

ISSUANCE	DATE
FOR REVIEW	03/20/23
FOR REVIEW	04/26/23
FOR REVIEW	05/10/23
FOR REVIEW	05/10/23
FOR REVIEW	07/13/23
FOR REVIEW	07/13/23
FOR REVIEW	08/22/23
FOR REVIEW	08/22/23
FOR REVIEW	10/20/23
FOR REVIEW	10/20/23

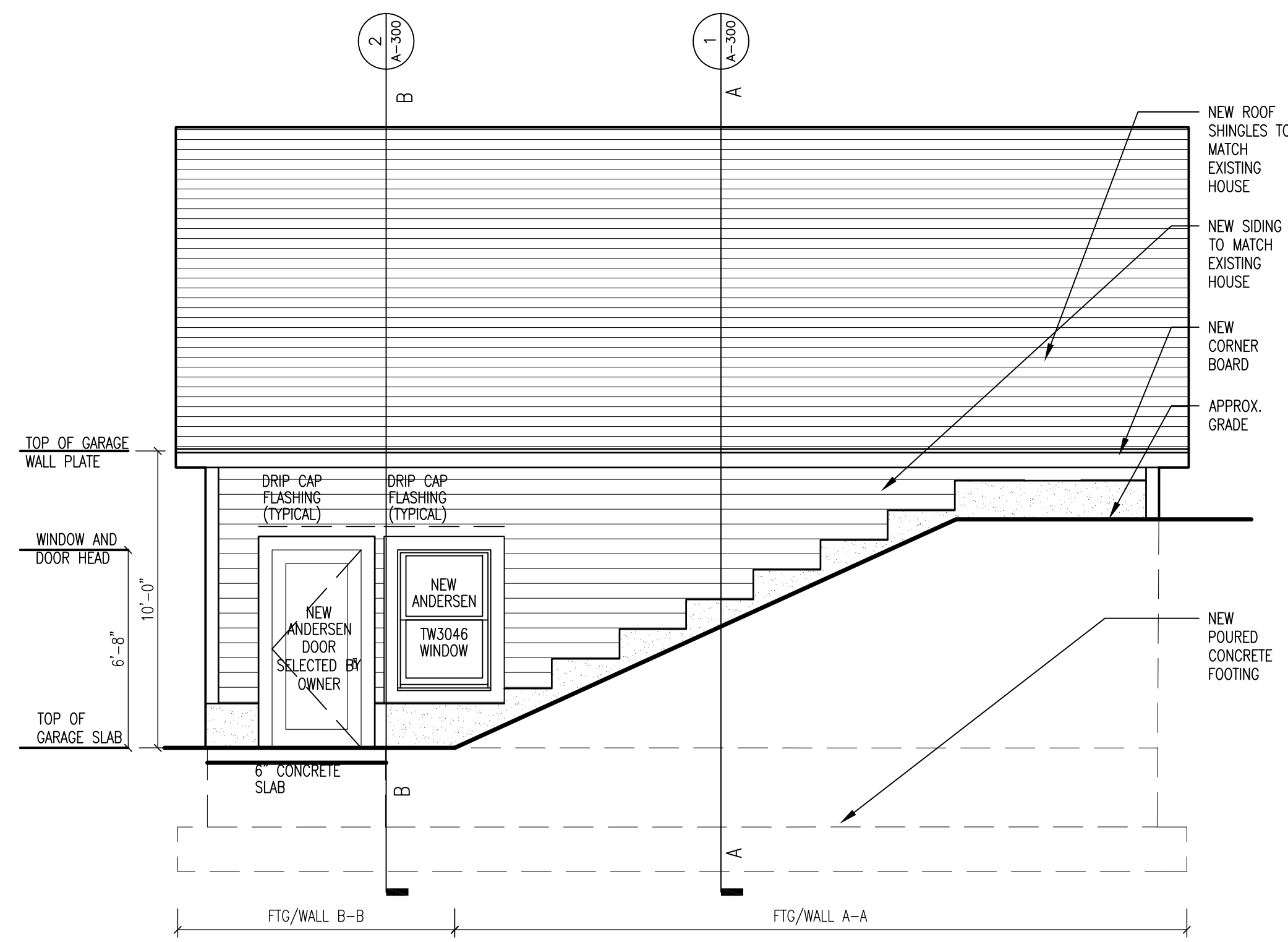
SCALE AS NOTED
DRAWN BY/CHKD BY VTP / JLG
PROJECT NO. 01-23-010

A-100

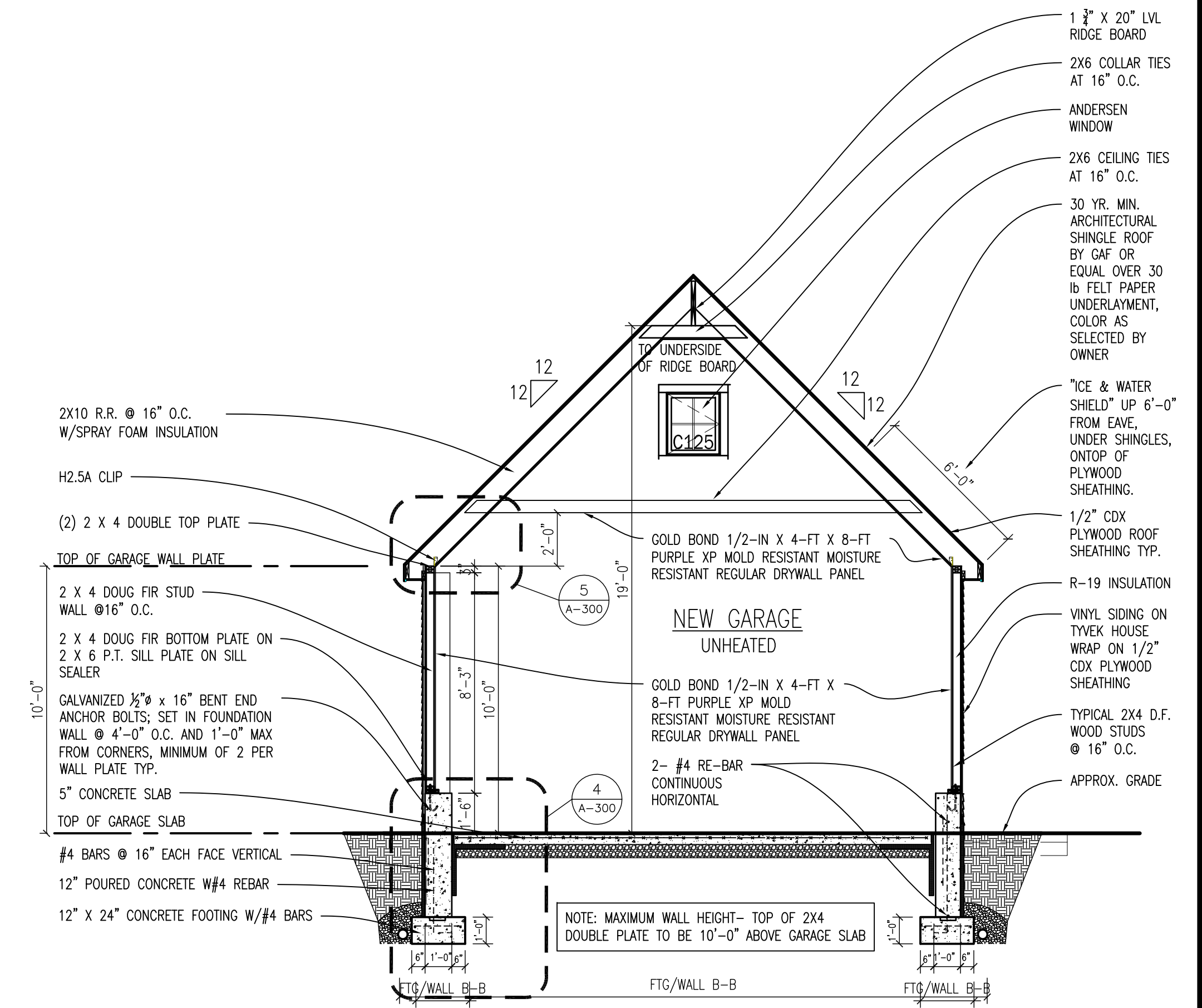
IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM ON THESE PLANS AND DOCUMENTS IN ANY WAY. PER STATE LAW, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS/HER ITEM THE SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. THIS ARCHITECT DENIES ANY AND ALL RESPONSIBILITY FOR ALTERATIONS OF THESE PLANS AND DOCUMENTS BY OTHERS AND EXPRESSLY DENIES PERMISSION TO OTHERS TO ALTER THESE PLANS AND DOCUMENTS.



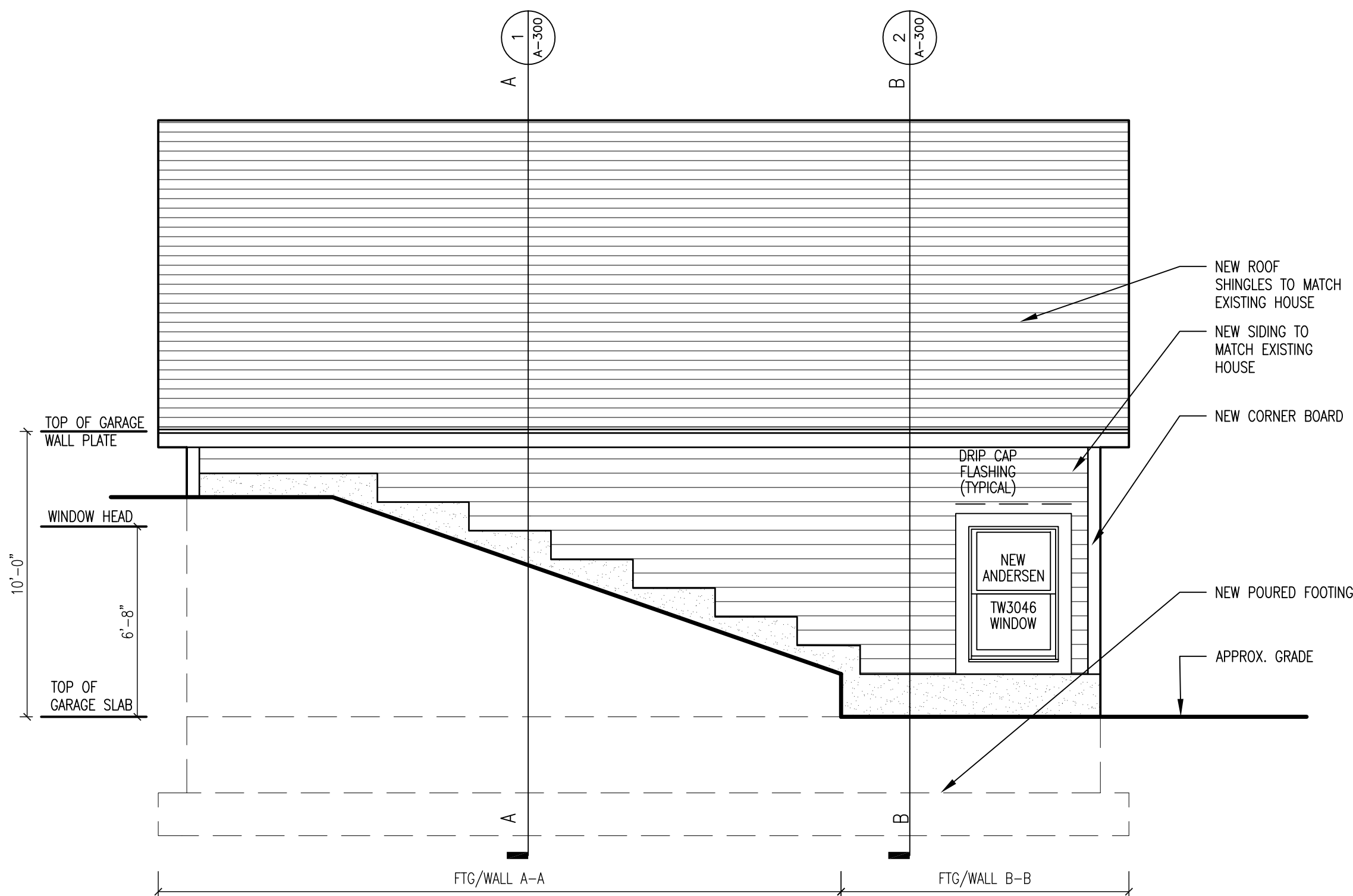
1 FRONT ELEVATION - 12 IN 12 PITCH
1/4"=1'-0"



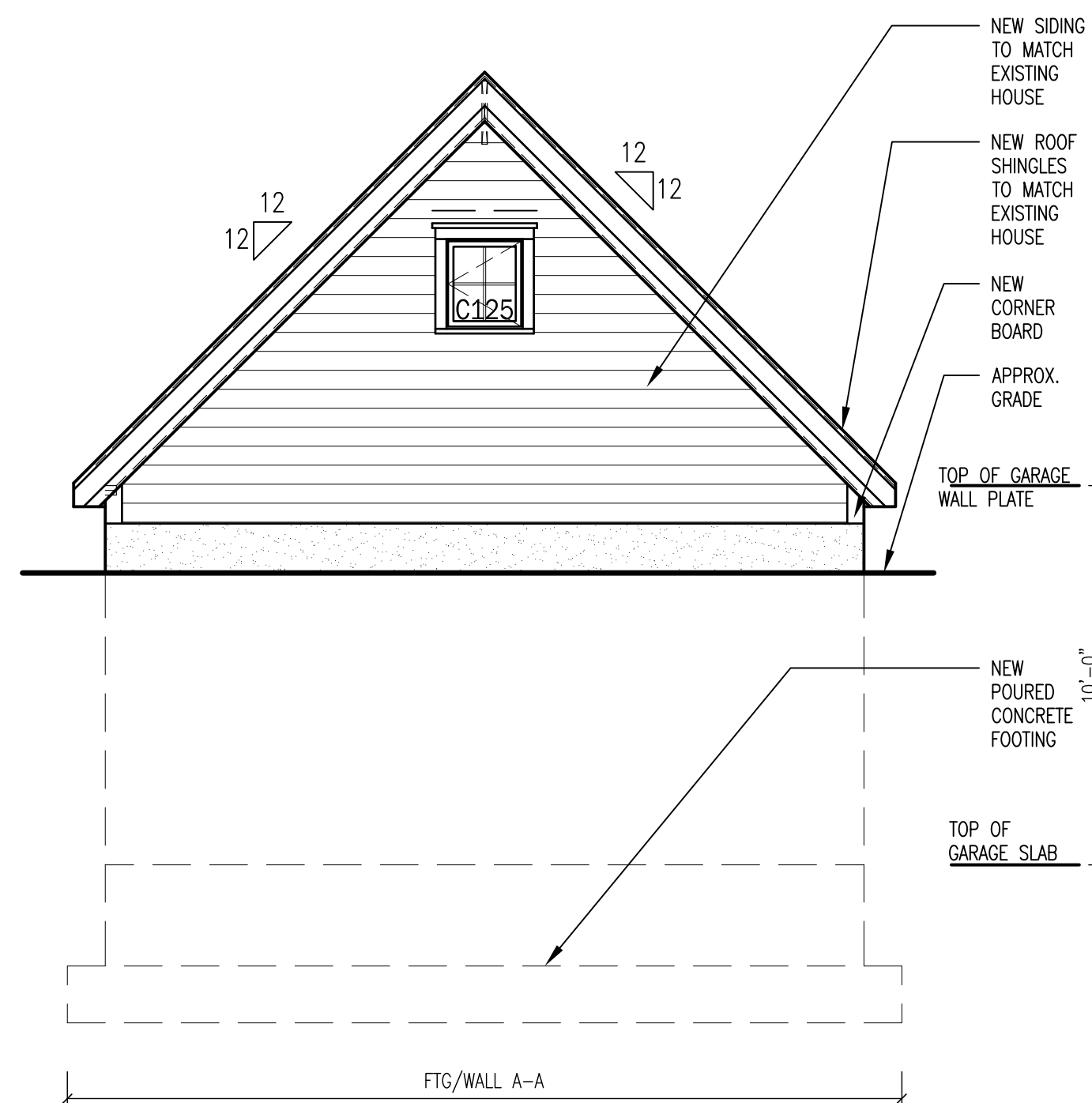
2 RIGHT ELEVATION
1/4"=1'-0"



5 SECTION B-B
1/4"=1'-0"



3 LEFT ELEVATION
1/4"=1'-0"



4 REAR ELEVATION
1/4"=1'-0"

PROJECT: DAVID LEVIN

PROJECT ADDRESS: 63 HENT DRIVE, CORTLAND MANOR, NY 10567
MAILING ADDRESS: SAME AS PROJECT ADDRESS
TAX MAP NO. 45.7-1-23

GARAGE ELEVATIONS

ISSUANCE	DATE
FOR REVIEW	03/22/2011
FOR REVIEW	04/20/2011
FOR REVIEW	04/21/2011
FOR REVIEW	05/12/2011
FOR REVIEW	07/13/2011
FOR REVIEW	07/13/2011
FOR REVIEW	08/23/2011
FOR REVIEW	08/23/2011
FOR REVIEW	11/29/2011



SCALE: AS NOTED
DRAWN BY/CHKD BY: VTP/MLS/JLG
PROJECT NO.: 01-23-010

A-200

PREMISES HEREON BEING LOT 17 AS SHOWN ON
FILED MAP NO. 25303 - SUBD. MAP STONE GATE
- FILED NOVEMBER 4, 1994.

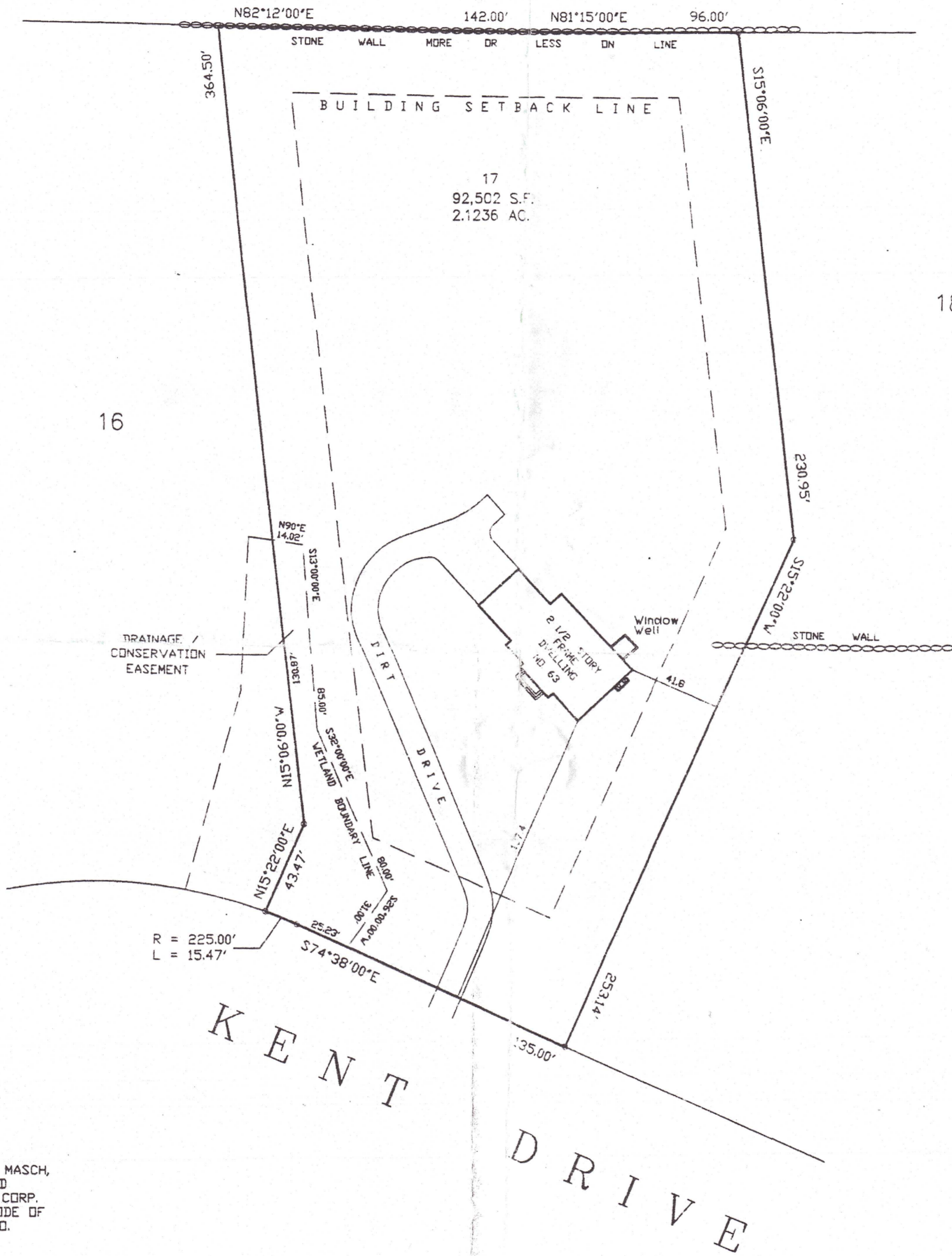
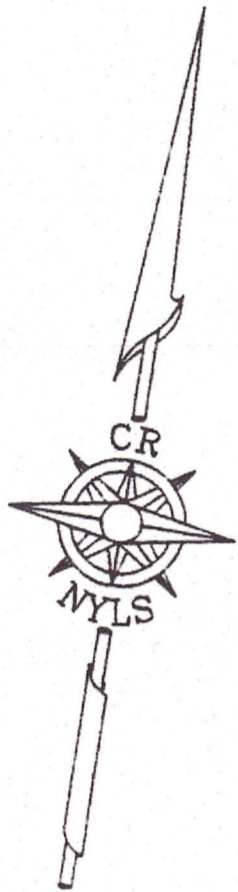
UNAUTHORIZED ALTERATION OR
ADDITION TO THIS SURVEY IS A
VIOLATION OF SECTION 7209
OF THE N.Y.S. EDUCATION LAW

CERTIFICATIONS HEREON ARE
VALID ONLY IF THE IMPRESSED
SEAL OF CHARLES RILEY, L.S.
APPEARS HEREON

CERTIFICATIONS ARE NOT TRANSFERABLE.
USE OF THIS SURVEY FOR SUBSEQUENT
TRANSACTIONS OR BY SUBSEQUENT OWNERS
VOIDS CERTIFICATIONS, SIGNATURE AND
SEAL HEREON

ACCURACY OR COMPLETENESS
OF SUBSURFACE INFORMATION
IS NOT CERTIFIED

N.O.F. NEUBERGER



CERTIFIED TO
ROBERT B & DOROTHEA MASCH,
NATWEST BANK, N.A. AND
METROPOLIS ABSTRACT CORP.
AS PER N.Y.S.A.P.L.S. CODE OF
PRACTICE FOR TITLE NO.
MAC230.10000-WC ONLY.

Charles Riley
CHARLES RILEY
LAND SURVEYOR
LAND PLANNER
69 MAIN STREET
TARRYTOWN, N.Y.

SCALE 1" = 40'

SEPTEMBER 16, 1994
DECEMBER 6, 1994
MARCH 16, 1995

SURVEY OF PROPERTY
LOT 17 ~ STONE GATE
TAX LOT 45.07 - 1 - 23

LOCATED IN THE
TOWN OF CORTLANDT
WESTCHESTER COUNTY, N.Y.

Permit # 20395



