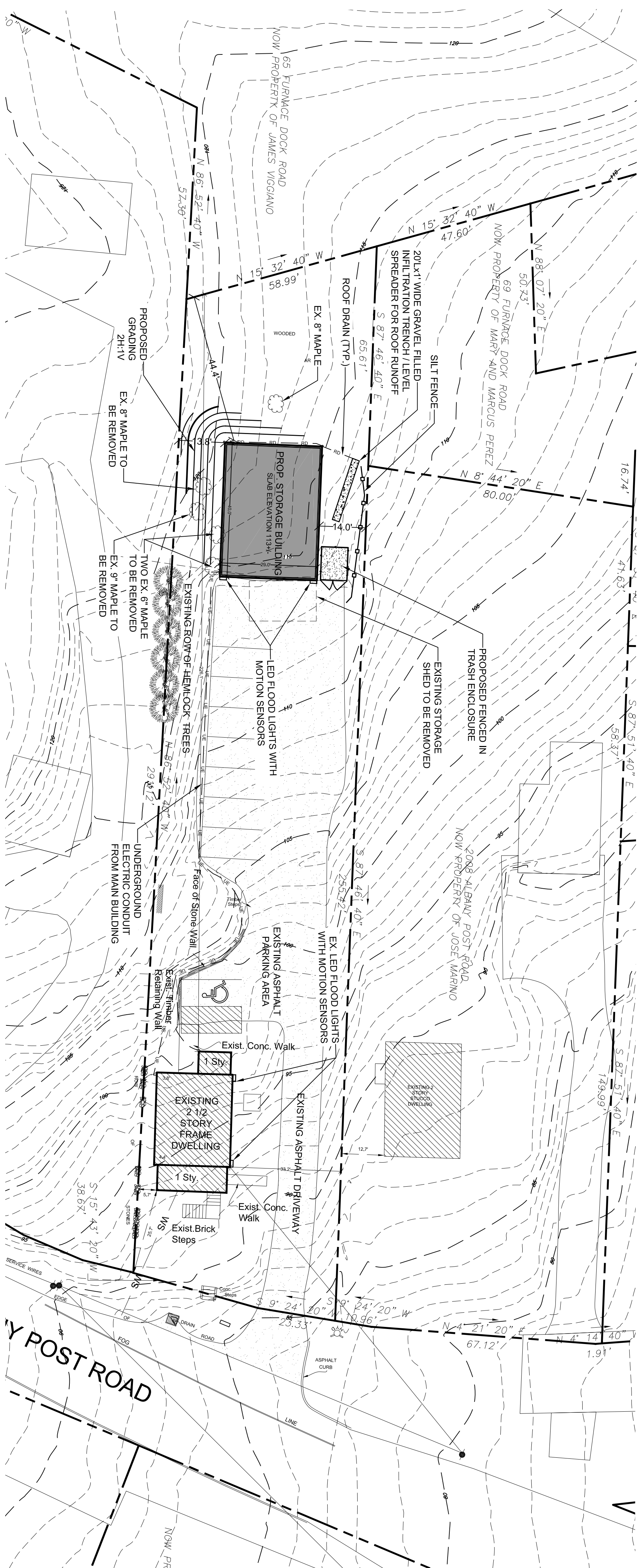
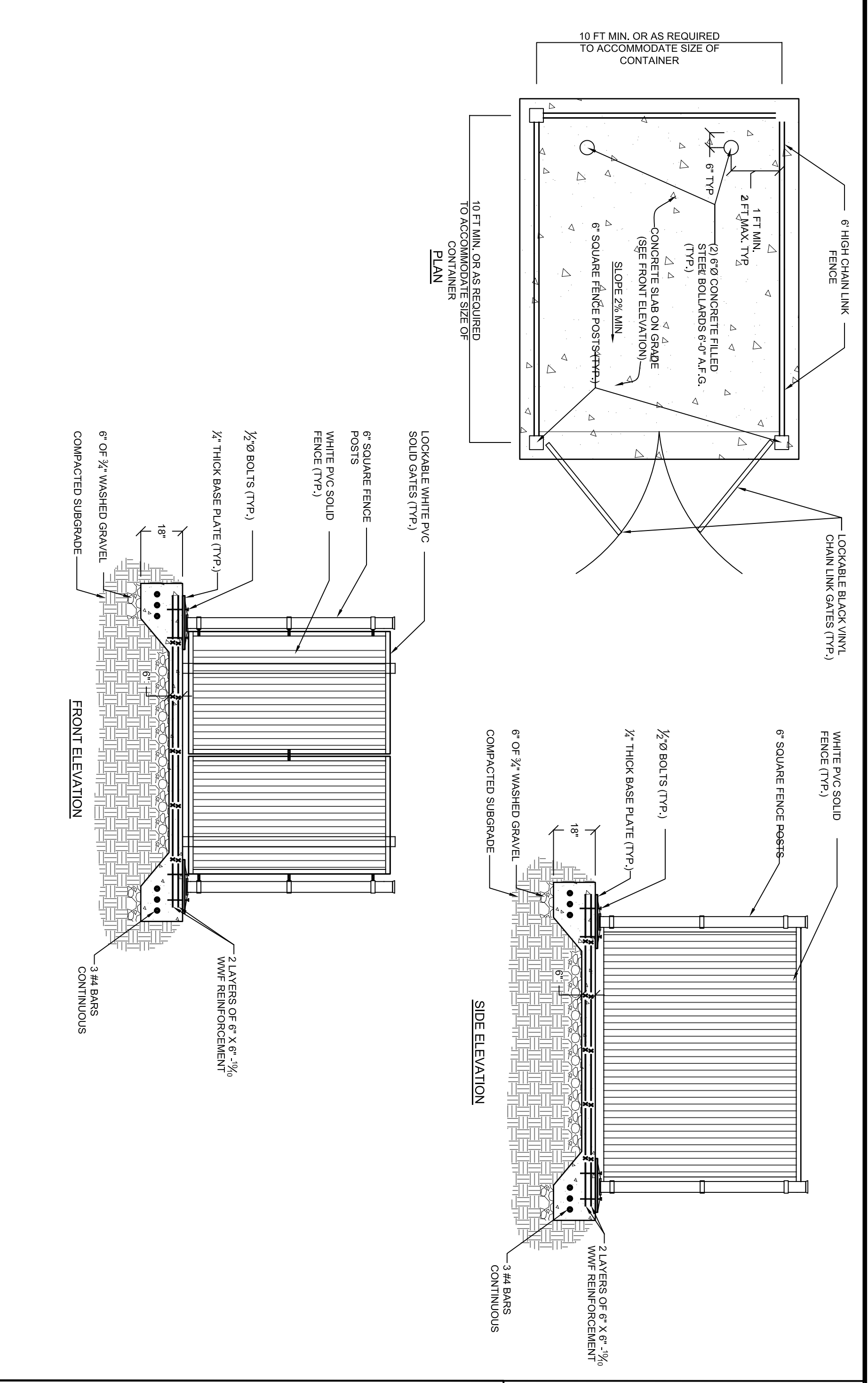


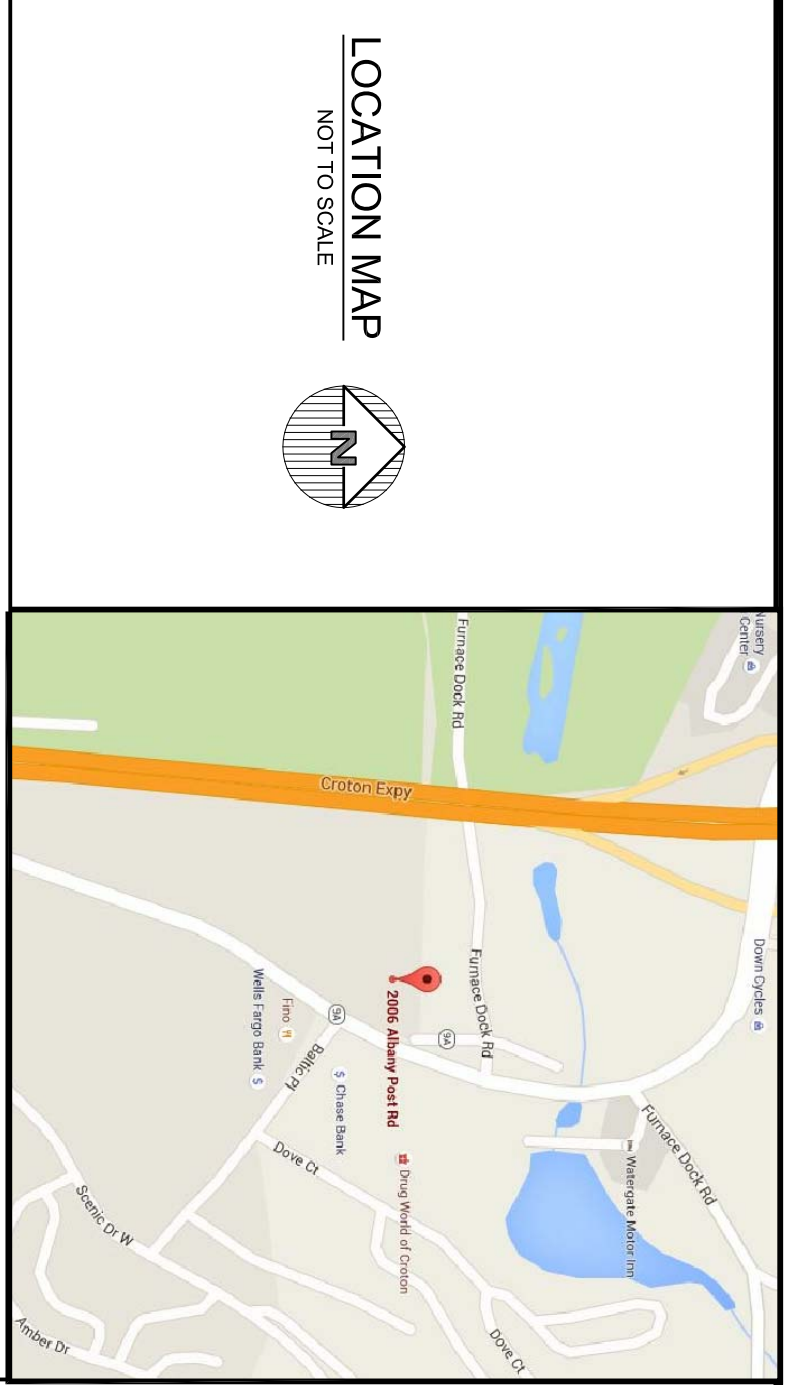
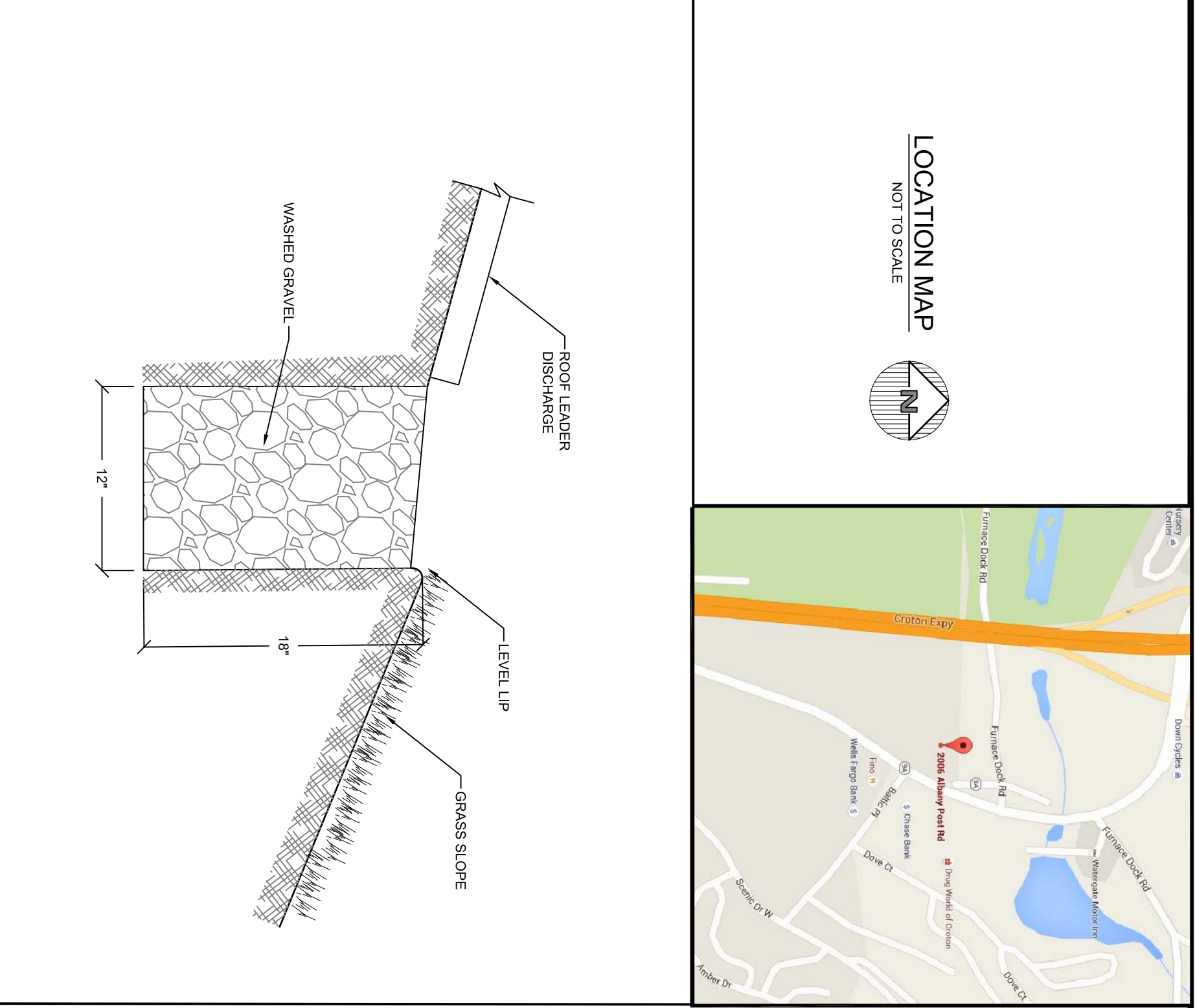
NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JRL LAND SURVEYING P.C., DATED 05/07/16. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
 2. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



S-1 TRASH ENCLOSURE DETAIL
 NOT TO SCALE



D-1 ROOF LEADER DISCHARGE DETAIL
 NOT TO SCALE



SITE DATA:
 OWNER / DEVELOPER: MCAS ROOFING & CONTRACTING INC.
 2006 ALBANY POST ROAD
 YORKTOWN HEIGHTS, NY 10598
 PROJECT LOCATION: 2006 ALBANY POST ROAD
 CORTLANDT, NY 10520
 EXISTING TOWN ZONING: HC - HIGHWAY COMMERCIAL (SPECIALTY TRADE)
 PROPOSED USE: HC - HIGHWAY COMMERCIAL (SPECIALTY TRADE)
 TOWN TAX MAP DATA: SECTION 67.06, BLOCK 2, LOT 15
 SITE AREA: 4117 ACRES (17,935 SF)
 SEWER FACILITIES: PUBLIC WATER FACILITIES
 WATER FACILITIES: PUBLIC WATER FACILITIES

ZONING SCHEDULE:

ZONING DISTRICT:		HC - HIGHWAY COMMERCIAL			
DIMENSIONAL REGULATIONS:	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED	
MINIMUM SIZE OF LOT:	20,000 SF.	17,935 SF. (3)	---	NONE	
MINIMUM LOT AREA:	100 FT.	56 FT. (3)	---	NONE	
MINIMUM LOT WIDTH:	100 FT.	291 FT.	---	NONE	
MINIMUM LOT DEPTH:	---	---	---	NONE	
MINIMUM YARD DIMENSIONS:	---	---	---	NONE	
PRINCIPAL BUILDING:	30 FT.	25.7 FT.*	---	NONE	
FRONT YARD SETBACK:	30 FT.	226.1 FT.	---	NONE	
REAR YARD SETBACK:	30 FT.	5.7 FT.*	---	NONE	
ONE SIDE YARD SETBACK:	---	---	---	NONE	
ACCESSORY BUILDINGS:	---	---	---	NONE	
FRONT YARD SETBACK:	30 FT.	---	202 FT.	NONE	
REAR YARD SETBACK:	30 FT.	---	86 FT.	NONE	
ONE SIDE YARD SETBACK:	---	---	13.7 FT. (3)	NONE	
MAXIMUM % OF LOT TO BE OCCUPIED:	55%	4.7%	---	NONE	
PRINCIPAL BUILDING COVERAGE:	---	---	6.1%	---	
ACCESSORY BUILDING COVERAGE:	---	---	34.2%	---	
DRIVEWAY COVERAGE:	---	---	---	---	
TOTAL IMPERVIOUS COVERAGE:	---	54.0% (4)	---	NONE	
MAXIMUM HEIGHT:	---	---	---	---	
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT. MAX	35 FT. MAX	NONE	
PRINCIPAL BUILDING - STORES:	2 1/2	2 1/2 MAX	2 1/2 MAX	NONE	

* BUILDING SETBACKS ARE PER EXISTING CONDITION. THERE ARE NO PROPOSED CHANGES TO THE BUILDING ON SITE.

NOTES:
 1. THE SUBJECT SPECIAL PERMIT EXPIRES ON SEPTEMBER 6, 2019. THE APPLICANT SHALL SUBMIT A SPECIAL PERMIT RENEWAL APPLICATION TO THE TOWN PLANNING BOARD FOR RENEWAL OF THE SUBJECT SPECIAL PERMIT PRIOR TO THE EXPIRATION DATE.
 2. NO OUTSIDE STORAGE OF MATERIALS IS PERMITTED.
 3. THE ZONING BOARD HAS APPROVED THE APPLICANT'S REQUEST FOR A VARIANCE FOR THE FRONT YARD SETBACK. THE VARIANCE WAS GRANTED ON SEPTEMBER 23, 2016 WITH A CONDITION THAT THE VARIANCE BE LIMITED TO THE EXISTING HOUSE.
 4. THE TOTAL NUMBER OF SPACES INCLUDES THE AREA OF THE EXISTING HOUSE, PROPOSED ACCESSORY BUILDING, DRIVEWAY, AND TRASH ENCLOSURE.

PARKING SCHEDULE

REQUIRED PARKING:	1 SPACE PER 300 SF OF BUILDING & 1 SPACE PER 500 SF OF UPPER FLOORS = 8 SPACES
PROVIDED PARKING:	7 STANDARD 11'HANDICAP
TOTAL PROVIDED PARKING:	8 SPACES

SIGNATURE BLOCK
 Required for Subdivisions and Site Plan

The Department Head signatures indicate that this drawing or set of drawings is consistent with the Planning Board resolution of approval and with the general requirements and policies of the Town of Cortlandt for which the Department Head is responsible. The project design including all public health and safety considerations are solely the responsibility of the design professional who has signed and sealed the drawings.

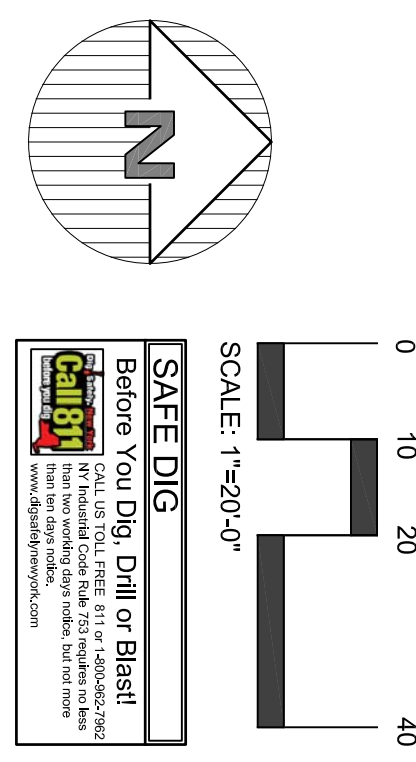
Reviewed by the Department of Environmental Services
 Director: _____ Date: _____
 Reviewed by the Department of Technical Services
 Director: _____ Date: _____

Approved by Resolution No. _____ of the Planning Board of the Town of Cortlandt, New York on the _____ day of _____, 20____, subject to all requirements and conditions of said Resolution. Any change, addition, modification or revision in this plan or site development plan, after the above date, shall void this approval.

Signed this _____ day of _____, 20____, by _____
 Chairman of the Planning Board

Stephen J. Ferrelia, P.E., Director DES
 Michael Prud'homme, P.E., Director DOTS

737-0100
 734-1080



<p>Sheet 1 of 1</p>	<p>AMENDED SITE PLAN PREPARED FOR MCAS ROOFING & CONTRACTING INC. 2006 ALBANY POST ROAD Town of Cortlandt Westchester Co., New York</p>	<p>PROPOSED STORAGE SHED SITE PLAN</p>	<p>SCALE: 1" = 20'</p> <p>DRAWN BY: MD/JR</p> <p>DATE: 5/21/19</p>	<p>Revisions:</p> <table border="1"> <tr> <th>No.</th> <th>Date</th> <th>Comments</th> </tr> <tr> <td>1.</td> <td>7-16-19</td> <td>Town Comments</td> </tr> </table>	No.	Date	Comments	1.	7-16-19	Town Comments	<p>Engineer: Joseph J. Ferrelia, P.E. NYS Lic. No. 64431</p>	<p>Site Design Consultants Civil Engineers • Land Planners 251-F Underhill Avenue, Yorktown Heights, NY 10598 (914) 962-4488 - Fax: (914) 962-7386 www.sitedesignconsultants.com</p>	<p>PROJECT # 16-19</p>
No.	Date	Comments											
1.	7-16-19	Town Comments											