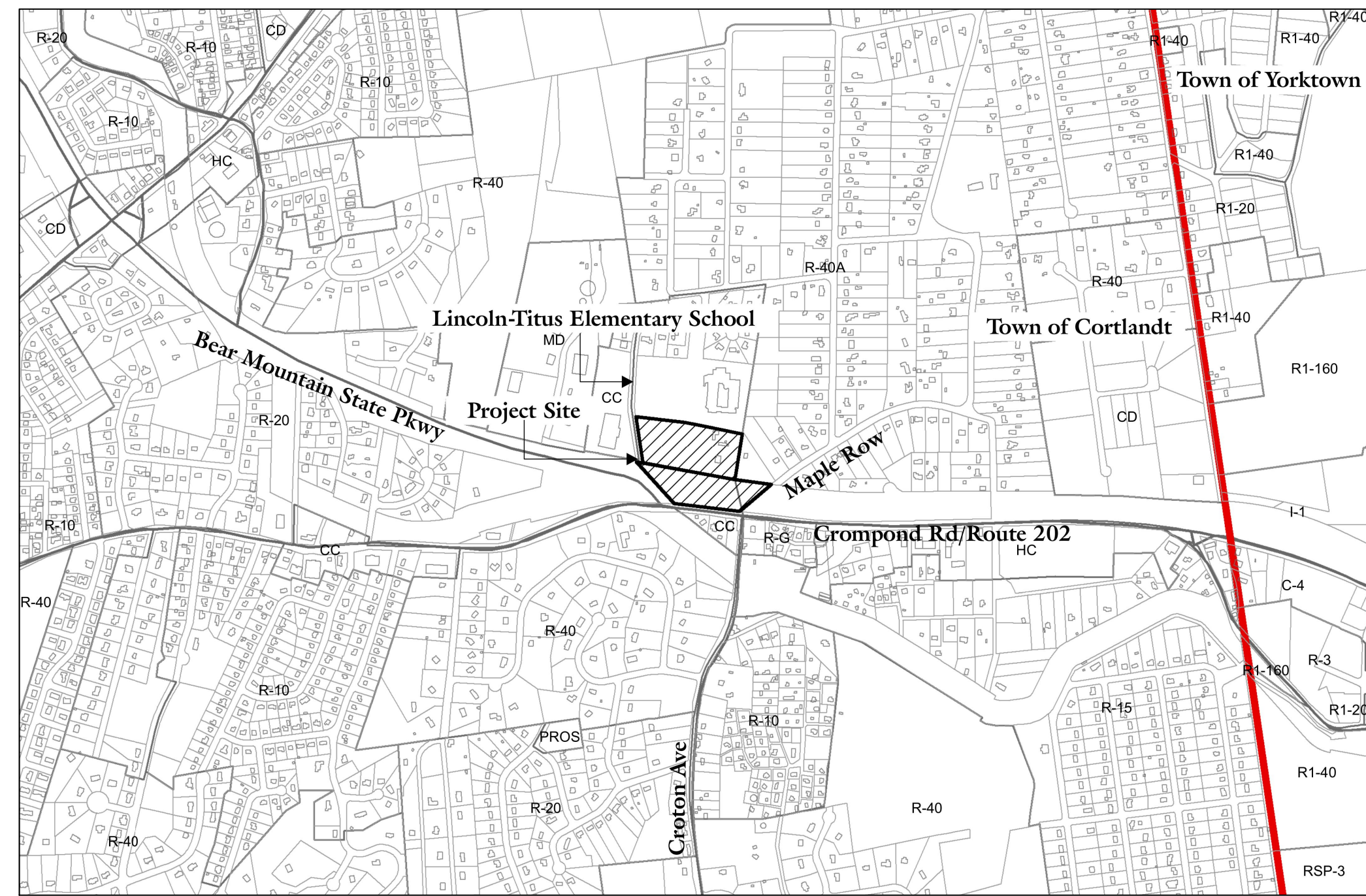
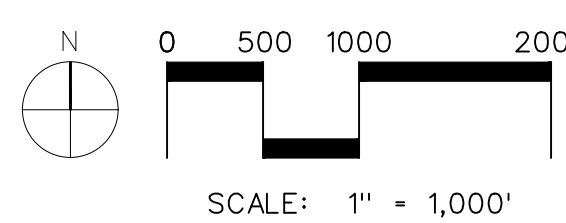


SITE LOCATION MAP



Parcel ID: Section 34.6, Block 1, Lot 20



TOWN NOTES:

- No deviation to the plans as approved is permitted without written authorization by the Town of Cortlandt. Violation of this provision shall be means to issue an immediate "Stop Work Order".
- 48 hour minimum notice shall be given to the Town of Cortlandt and Westchester Joint Water Works prior to the modification or installation of any water main, hydrant or appurtenance associated with the 24 inch interconnect which runs parallel to Route 202 / Crompond Road and as shown on the plans.
- Prior to the any site work, a clearing and grading stakeout sketch prepared by a licensed professional land surveyor shall be submitted to the Director of Technical Services for approval. The stakeout sketch shall be used to clearly identify the limits of disturbance and to establish all erosion controls.
- Prior to the commencement of construction, an owner or operator shall have each contractor and subcontractor, that has been identified as being responsible for implementation of the Stormwater Pollution Prevention Plan (SWPPP), identify at least one employee from their company (Trained Contractor) that has received 4 hours of endorsed E&SC training. The Trained Contractor must be on site on a daily basis when soil disturbance activities are being performed and will be responsible for implementation of the practices included in the SWPPP.
- An owner or operator of a regulated construction project, with some exceptions, shall have a Qualified Inspector conduct specific site inspections. Certain Qualified Inspectors who work on these sites (i.e., individuals working under direct supervision of, and at the same company as, a licensed Professional Engineer or Registered Landscape Architect of NYS) are required to complete 4 hours of E&SC training under the General Permit.
- Prior to the placement of any pavement on the access driveway a centerline profile of the base course (in intervals not to exceed 100-ft) shall be prepared by a licensed professional land surveyor to confirm that all grades as shown on the approved plans are in general conformance. Spot elevations along the centerline shall be provided in 20-ft intervals within the first 100-ft from Route 6 / Cortlandt Boulevard.
- Prior to backfilling any infiltration or storm water retention/detention areas, the Town of Cortlandt and its inspector shall be notified for inspection.
- At the completion of construction (not prior to final stabilization including pavement restoration) all catch basins, drain inlets, manholes, storm water infrastructure and hydrodynamic separators shall be flushed, vacuumed and cleaned of all debris.
- A Notice of Termination shall be filed prior to the issuance of any Certificate of Occupancy for storm water discharges authorized under the SPDES General Permit for Construction Activity. The Owner will have a mechanism in place that requires operation and maintenance of the practice(s) in accordance with the operation and maintenance plan, such as a deed covenant in the owner or operator's deed of record.
- A comprehensive as-built survey shall be submitted upon completion of the project. The survey shall conform to ALTA standards. All easements, utilities, rims, inverts, surface improvements (including striping) shall be submitted to the satisfaction of the Director of the Department of Technical Services.
- A digital copy in both .pdf and .dwg format in the NYS State Plane NAD-83 and NAVD-88 datum shall be submitted.
- A certification that all storm water infrastructure including a summary and comparison of proposed versus as-built hydraulic and hydrological conditions shall be submitted by a licensed New York State Professional Engineer. The Engineer shall certify that as-built conditions meet or exceed the approved design mitigating storm water impacts.

CORTLANDT PITCH

2226 CROMPOND ROAD

TOWN OF CORTLANDT, NEW YORK

PRELIMINARY SITE PLAN DRAWINGS FOR

SITE PLAN APPLICATION

SEPTEMBER 17, 2018

LIST OF DRAWINGS

		SCALE	DATE
SITE DRAWINGS			
	COVER SHEET	-	9/17/18
SP-1.0	SITE GEOMETRY PLAN	1"=40'	9/17/18
SP-2.0	SITE GRADING, DRAINAGE & UTILITY PLAN	1"=40'	9/17/18
SP-3.0	SUBSURFACE SEWAGE TREATMENT SYSTEM	1"=30'	9/17/18
SP-4.1	LANDSCAPE PLAN	1"=30'	9/17/18
SP-4.2	SITE SECTIONS	1"=20'	9/17/18
SP-5.1	EROSION AND SEDIMENT CONTROL PLAN	1"=40'	9/17/18
SP-5.2	EROSION AND SEDIMENT CONTROL DETAILS AS SHOWN		9/17/18
SP-6.0	ROAD PROFILES	AS SHOWN	9/17/18
SP-7.1	SITE DETAILS	AS SHOWN	9/17/18
SP-7.2	SITE DETAILS	AS SHOWN	9/17/18
SP-7.3	SITE DETAILS	AS SHOWN	9/17/18
SP-8.0	SITE LIGHTING PHOTOMETRIC PLAN	1"=20'	9/17/18
	TOPOGRAPHY OF PROPERTY	1"=30'	8/29/16
ARCHITECTURAL DRAWINGS			
A-1.0	FIRST FLOOR PLAN	3/32"=1'-0"	6/14/17
A-1.1	SECOND FLOOR PLAN	3/32"=1'-0"	6/14/17
A-2.0	ROOF PLAN	3/32"=1'-0"	6/14/17
A-3.0	BUILDING ELEVATIONS	1"=10'-0"	3/2/18

ZONING COMPLIANCE TABLE

Code Section ⁽¹⁾	Existing District R-20	Proposed District Community Commercial (CC)	Proposed Development 2226 Crompond Rd
Article VI: Dimensional Regulations			
<i>§§307 Attach. 3 & 307 Attach. 5 - Tables of Dimensional Regulations</i>			
Minimum Lot Area (sf)	20,000 sf	15,000 sf	±275,212 sf
Minimum Lot Width (ft)	100	100	815
Maximum Height (stories/ft)	2-1/2 / 35	2-1/2 / 35	2 / 35
Minimum Yards (ft)	--	--	--
Front	40	30	75
Side	10 ⁽²⁾	10	130
Rear	30	10	100
Maximum Building Coverage (%)	--	25%	21%
Minimum Landscape Coverage (%)	50% ⁽³⁾	30%	57%
Maximum Building Floor Area (sf)	26,012 ⁽⁴⁾	12,000	68,074 ⁽⁷⁾
Article VII: Landscaping, Screening, & Buffering Regulations			
<i>§§307-21 through 307-23</i>			
Buffer adjacent to residential district (ft)	n/a	25	
Eastern Property Line			25
Northern Property Line			25
Southern Property Line			25 / 10 ⁽⁸⁾
Landscaped areas in parking lots (%)	5%	5%	7.5%
Article VIII: Off-Street Parking Requirements			
<i>§307-29 - Table of Required Off-Street Parking Spaces</i>			
Facility other than listed	1 sp/300 sf (225 spaces)	1 sp/300 sf (225 spaces)	175 spaces ⁽⁹⁾
Article V: Use Regulations			
<i>§§307-14 & 307-15 - Tables of Permitted Uses⁽⁵⁾</i>			
Physical Fitness Facilities ⁽⁶⁾	Not Permitted	Permitted	Permitted
Footnotes:			
(1) Town of Cortlandt Town Code Chapter 307: Zoning, November 8, 1993, as amended.			
(2) Per 307 Attach 3 - Lot width of 70 feet or more: 20% of width to a maximum of 10 feet. Lot width less than 70 feet: 15% of width to a minimum of 5 feet.			
(3) 50% for a non-dwelling use.			
(4) Max. Floor Area is based on lot size pursuant to 307 Attachment 4 - Table of Dimensional Regulations, Maximum Floor Area in Residential Districts.			
(5) Refer to Section 307-14 and 307-15 Table of Permitted Uses for complete list of permitted principal and accessory uses including specific restrictions.			
(6) Definition of "Physical Fitness Facility" per proposed amendment to §307-4, "Definitions": A privately owned and operated indoor and/or outdoor recreation facility for physical fitness and sports activities, including, but not limited to, group and private instruction or training, as well as competitions or games. Customary accessory uses incidental to a Physical Fitness Facility may include: a) a snack bar; b) the sale of items such as sports apparel and/or equipment; c) physical therapy and/or sports treatments; d) party or general recreation and assembly space; e) baby-sitting services for use solely by patron or employee children; and f) arcade games and vending machines.			
(7) Proposed zoning amendment would address Physical Fitness Facility greater than 12,000 sf.			
(8) 10' adjacent to parking, otherwise 25'. While the southern property line is adjacent to a residential district, the adjacent property is within the NYS DOT ROW and does not contain any residential use.			
(9) Includes 104 paved spaces and 71 land-banked spaces. Applicant will seek a waiver of required parking based on comparison of proposed parking demand and data sets from surveys conducted at Hudson Valley Sportsdome by Town's Traffic Consultant and ITE Parking Generation Manual 4th Ed. for Soccer Complex, which indicated that the facility would have a peak parking demand of 175 spaces.			

REFERENCE INFORMATION:

- Base survey information obtained from topographic survey prepared by TC Merritts Land Surveyors dated last revised 08/29/16.
- Elevation based on North American Vertical Datum 83.
- Existing utilities shown herein taken from field data prepared by New York Leak Detection, Inc. on 01/08/16.
- Wetland delineated by Paul J. Jaehnig; wetland report completed 01/08/16 and amended 06/02/16.
- Off site water main improvements proposed by the Town of Cortlandt obtained by the Town of Cortlandt's Department of Technical Services (DOTS).
- Off site mapping source obtained from Westchester County GIS, Municipal-wide base planimetrics and Municipal tax parcel data. <http://GISWWW.WESTCHESTERGOV.COM> Dated 2013

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Ridgefield, CT 06877

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AGENCY APPROVALS			
Agency	Status	Approval Date	Proposed/Approved Activities
Westchester County Dept. of Health (WCDOH)	Pending	Pending	On-site Wastewater Treatment System, Backflow Devices
State of New York (NYS)			
NYS Dept. of Transportation (NYSDOT)	Pending	Pending	Highway Work Permit
NYS Dept. of Environmental Conservation (NYSDEC)	Pending	Pending	SPDES Permit
Office of Parks, Recreation and Historic Preservation (OPRHP)	Complete	5/5/2016	Letter of NO EFFECT issued
Army Corps of Engineers (ACOE)	Pending	Pending	Wetland Permit for Wetland C adjacent to Maple Ave
New York City Dept. of Environmental Protection (NYCDEP)	Pending	Pending	Review of final plans for stormwater and disturbance to verify activities below permit threshold

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 Town of Cortlandt, NY
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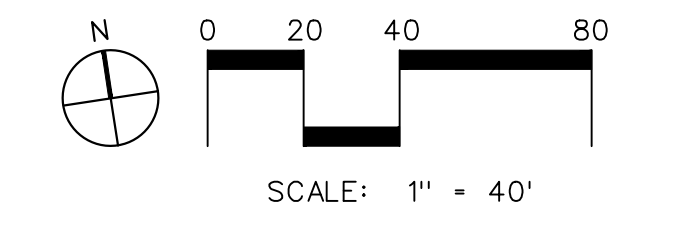
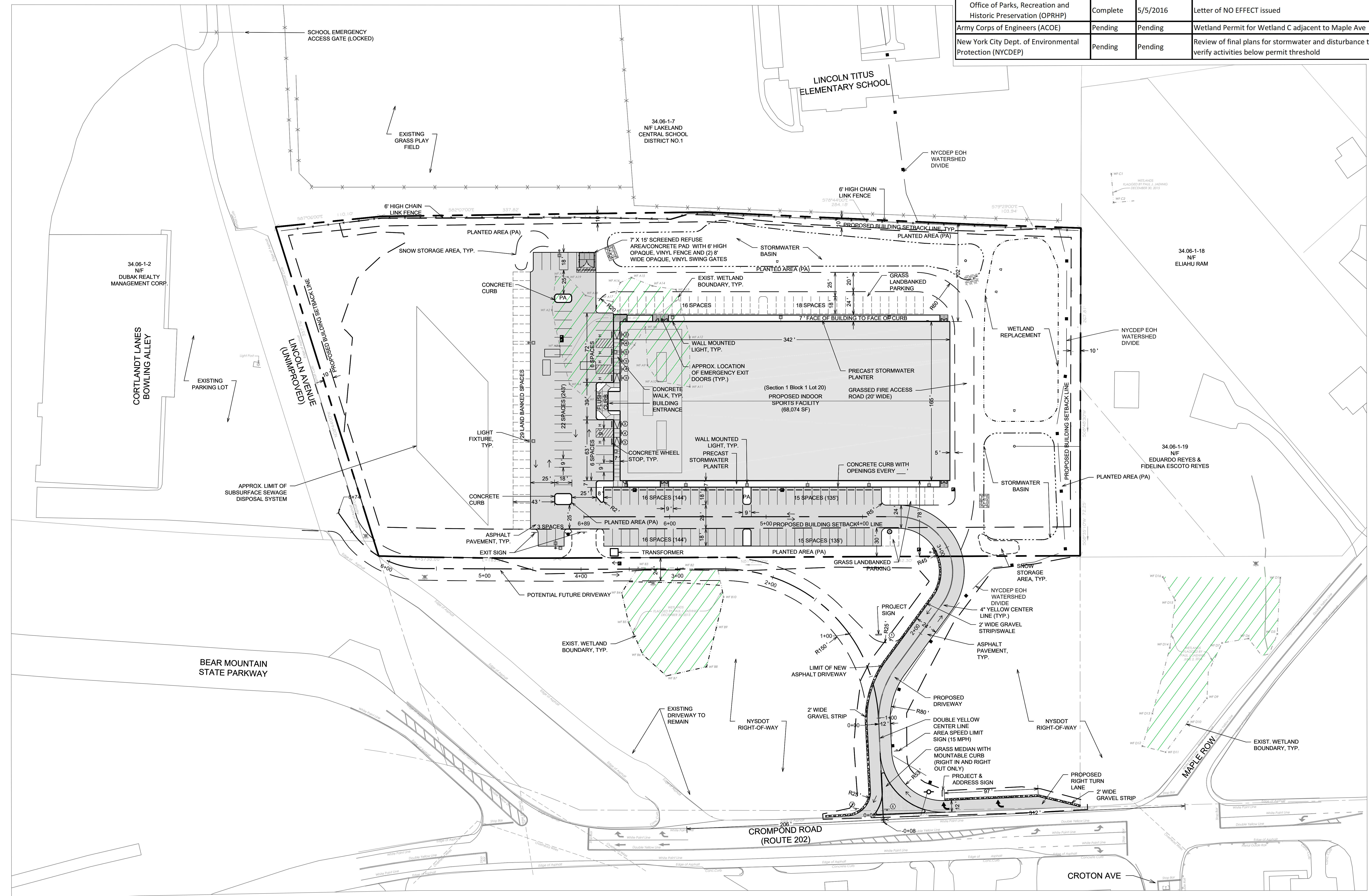
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NOTES:
 1. WETLAND FLAGGED BY PAUL J. JAEHNIG JUNE 2, 2016

ON-SITE IMPERVIOUS AREAS	
TYPE	ACREAGE
BUILDING	1.30
ASPHALT PAVEMENT	1.15
CONCRETE PAVEMENT	0.05
TOTAL	2.50

DRAWING TITLE
SITE GEOMETRY PLAN

DRAWN BY: MBG
 PROJECT NO.: 802
 DATE: 09/17/18
 CHECKED BY: GMS
 DRAWING NO.: 084405

SP-1.0

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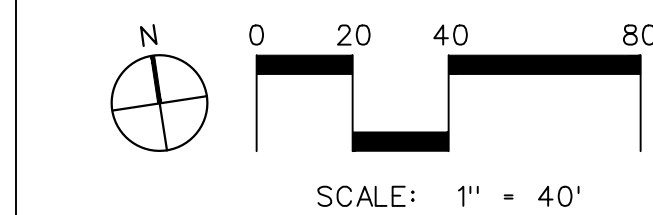
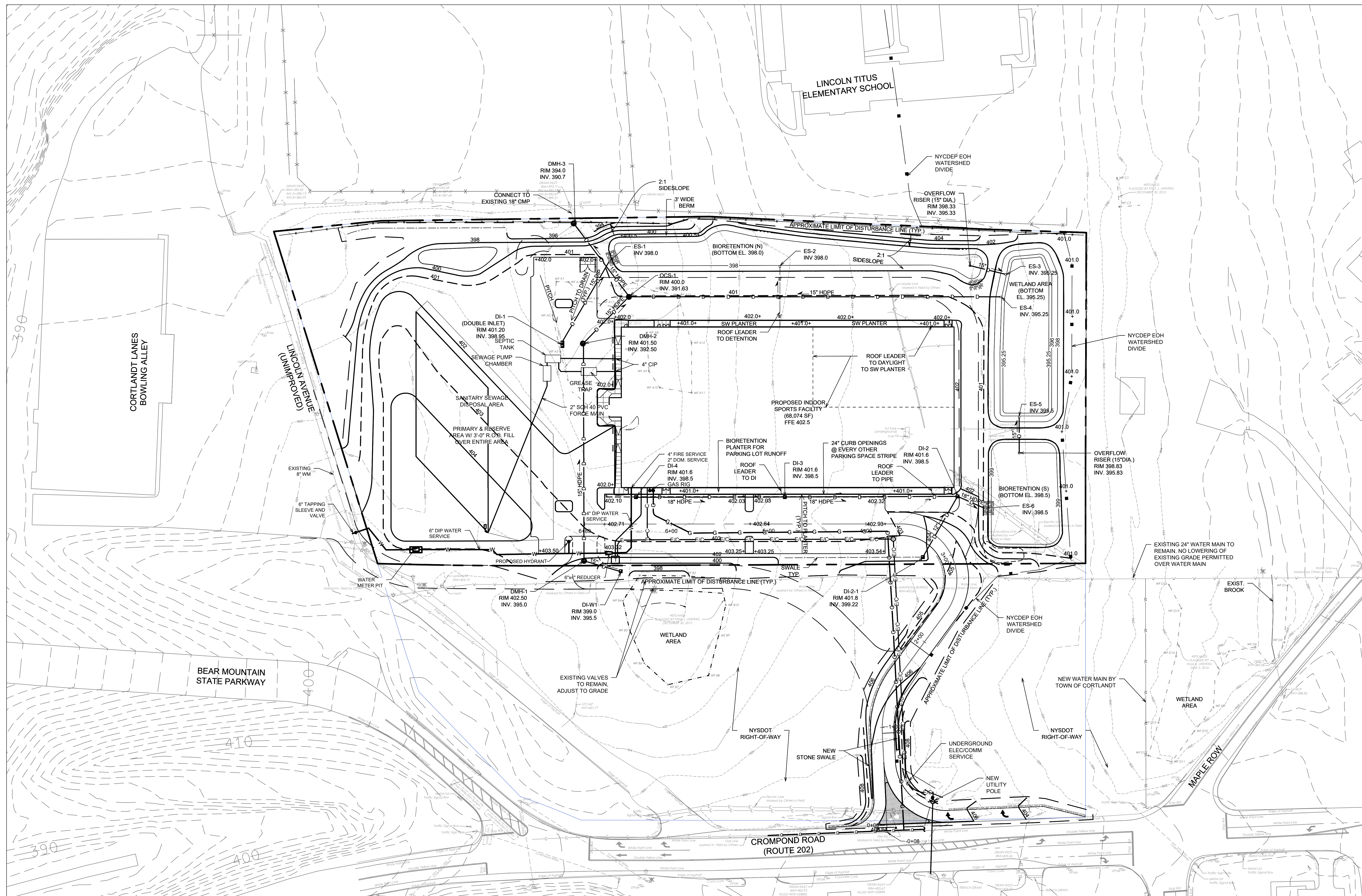
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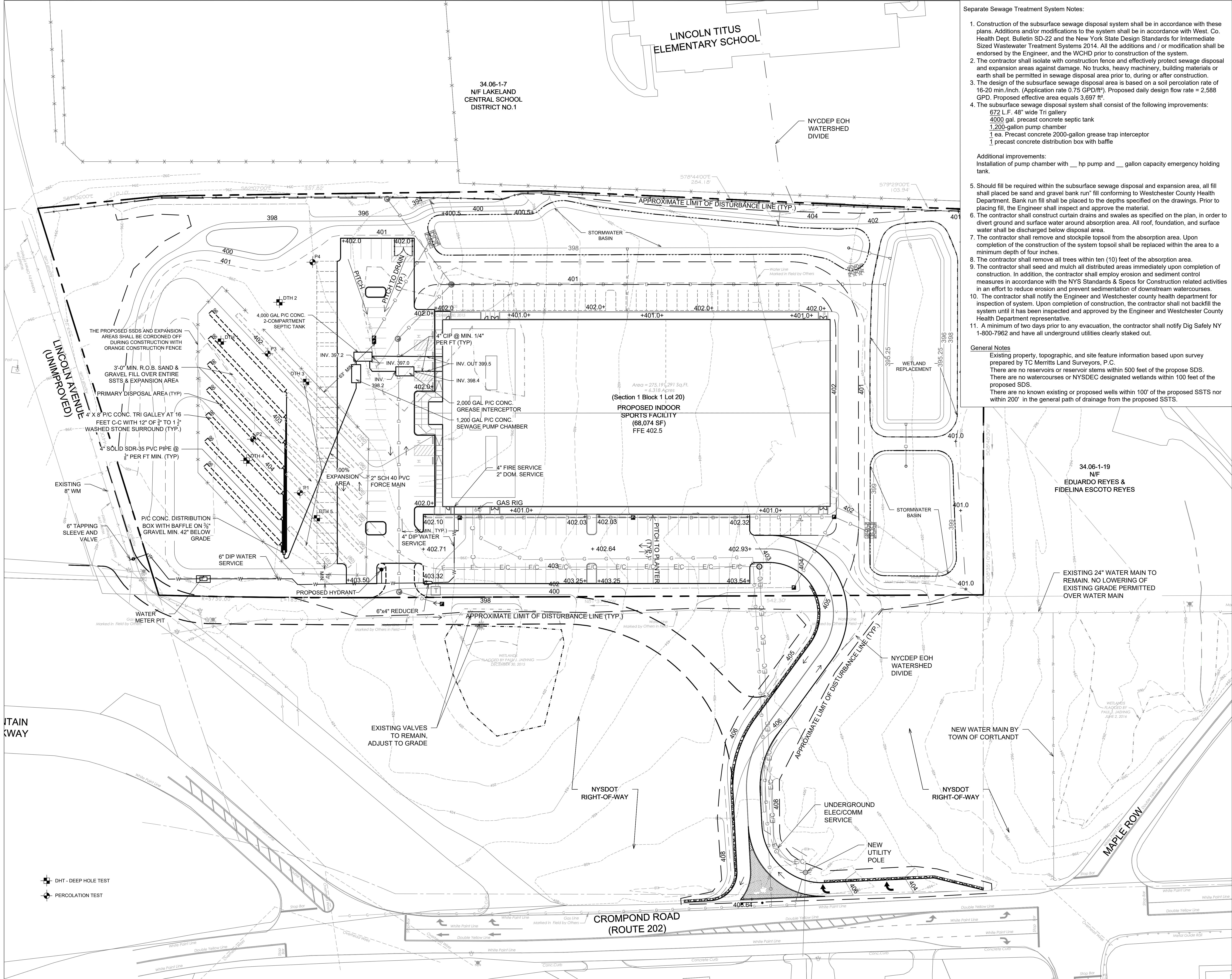
- NOTES:**
1. ALL IMPORTED FILL MATERIAL SHALL BE A NATURAL PROCESSED MATERIAL. THE USE OF ANY TYPE OF RECYCLED FILL MATERIAL FROM ANY OFF SITE SOURCE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TESTING OF ANY IMPORTED FILL MATERIAL WHICH SHALL BE TESTED AND CERTIFIED CLEAN IN ACCORDANCE WITH THE TOWN OF CORTLANDT CODE AND TESTING PROTOCOL.

DRAWING TITLE:
**SITE GRADING,
DRAINAGE, &
UTILITY PLAN**

DRAWN BY: RCC/MBG	CHECKED BY: GMS
PROJECT NO. 802	DATE: 09/17/18
DRAWING NO.	

SP-2.0





- Separate Sewage Treatment System Notes:
- Construction of the subsurface sewage disposal system shall be in accordance with these plans. Additions and/or modifications to the system shall be in accordance with West. Co. Health Dept. Bulletin SD-22 and the New York State Design Standards for Intermediate Sized Wastewater Treatment Systems 2014. All the additions and / or modification shall be endorsed by the Engineer, and the WCHD prior to construction of the system.
 - The contractor shall isolate with construction fence and effectively protect sewage disposal and expansion areas against damage. No trucks, heavy machinery, building materials or earth shall be permitted in sewage disposal area prior to, during or after construction.
 - The design of the subsurface sewage disposal area is based on a soil percolation rate of 16-20 min./inch. (Application rate 0.75 GPD/ft²). Proposed daily design flow rate = 2,588 GPD. Proposed effective area equals 3,697 ft².
 - The subsurface sewage disposal system shall consist of the following improvements:
 - 672 L.F. 48" wide Tri gallery
 - 4000 gal. precast concrete septic tank
 - 1,200-gallon pump chamber
 - 1 ea. Precast concrete 2000-gallon grease trap interceptor
 - 1 precast concrete distribution box with baffle
- Additional improvements:
Installation of pump chamber with ___ hp pump and ___ gallon capacity emergency holding tank.
- Should fill be required within the subsurface sewage disposal and expansion area, all fill shall be placed by sand and gravel bank run" fill conforming to Westchester County Health Department. Bank run fill shall be placed to the depths specified on the drawings. Prior to placing fill, the Engineer shall inspect and approve the material.
 - The contractor shall construct curtain drains and swales as specified on the plan, in order to divert ground and surface water around absorption area. All roof, foundation, and surface water shall be discharged below disposal area.
 - The contractor shall remove and stockpile topsoil from the absorption area. Upon completion of the construction of the system topsoil shall be replaced within the area to a minimum depth of four inches.
 - The contractor shall remove all trees within ten (10) feet of the absorption area.
 - The contractor shall seed and mulch all distributed areas immediately upon completion of construction. In addition, the contractor shall employ erosion and sediment control measures in accordance with the NYS Standards & Specs for Construction related activities in an effort to reduce erosion and prevent sedimentation of downstream watercourses.
 - The contractor shall notify the Engineer and Westchester county health department for inspection of system. Upon completion of construction, the contractor shall not backfill the system until it has been inspected and approved by the Engineer and Westchester County Health Department representative.
 - A minimum of two days prior to any evacuation, the contractor shall notify Dig Safely NY 1-800-7962 and have all underground utilities clearly staked out.

General Notes

Existing property, topographic, and site feature information based upon survey prepared by TC Merritts Land Surveyors, P.C.

There are no reservoirs or reservoir stems within 500 feet of the proposed SDS.

There are no watercourses or NYSDEC designated wetlands within 100 feet of the proposed SDS.

There are no known existing or proposed wells within 100' of the proposed SSTS nor within 200' in the general path of drainage from the proposed SSTS.

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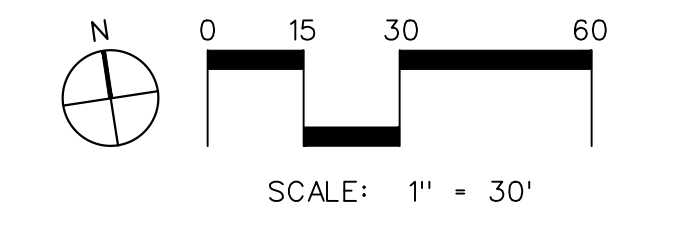
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	8	6/05/18	SPEDES PERMIT SUBMISSION

SUBSURFACE SEWAGE TREATMENT SYSTEM

DRAINING TITLE

STATE OF NEW YORK
 PROFESSIONAL ENGINEER

PROJECT NO. 802
 DATE: 09/17/18
 DRAWING NO. SP-3.0

DRAIN BY: DM
 CHECKED BY: GMS

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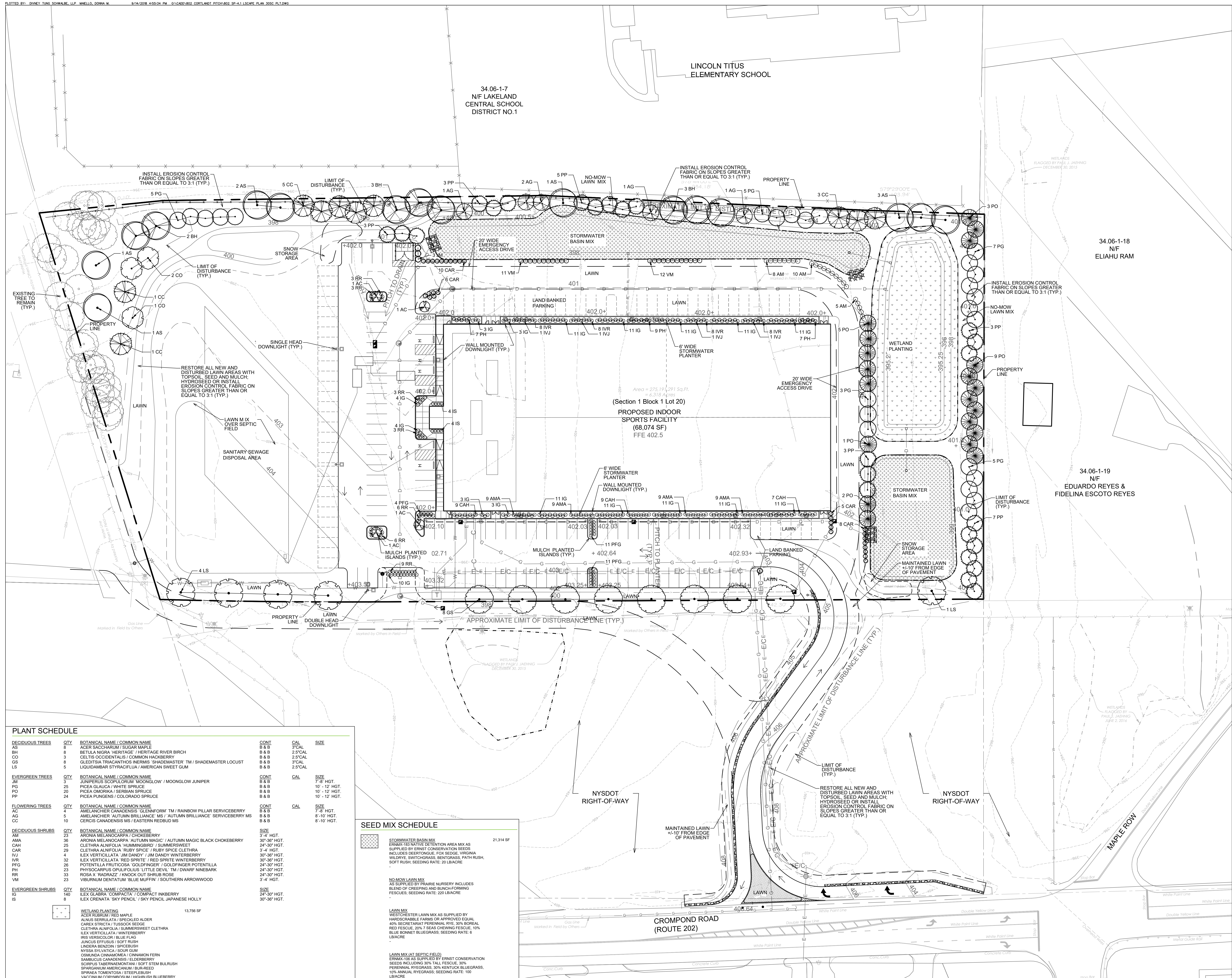
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PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
AS	8	ACER SACCHARUM / SUGAR MAPLE	B & B	3" CAL	3" CAL
BH	8	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH	B & B	2.5" CAL	2.5" CAL
CO	3	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	3" CAL	3" CAL
GL	5	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST	B & B	2.5" CAL	2.5" CAL
LS	5	LIQUIDAMBAR STYRACIFLUA / AMERICAN SWEET GUM	B & B	2.5" CAL	2.5" CAL

EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
JN	3	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER	B & B	7-8" HGT	7-8" HGT
PG	25	PICEA GLAUCA / WHITE SPRUCE	B & B	10" - 12" HGT	10" - 12" HGT
PO	20	PICEA OMORICA / SERBIAN SPRUCE	B & B	10" - 12" HGT	10" - 12" HGT
PP	24	PICEA PUNGENS / COLORED SPRUCE	B & B	10" - 12" HGT	10" - 12" HGT

FLOWERING TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
AC	4	AMELANCHIER CANADENSIS 'GLENFORM' TM / RAINBOW PILLAR SERVICEBERRY	B & B	7-8" HGT	7-8" HGT
AG	5	AMELANCHIER AUTUMN BRILLIANCE' MS / AUTUMN BRILLIANCE' SERVICEBERRY MS	B & B	8-10" HGT	8-10" HGT
CC	10	CERCIS CANADENSIS MS / EASTERN REDBUD MS	B & B	8-10" HGT	8-10" HGT

DECIDUOUS SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE
AM	23	ARONIA MELANOCARPA / CHOKEBERRY	3-4" HGT
AMA	36	ARONIA MELANOCARPA 'AUTUMN MAGIC' / AUTUMN MAGIC BLACK CHOKEBERRY	30"-36" HGT
CAH	25	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / HUMMINGBIRD	24"-30" HGT
CAR	29	CLETHRA ALNIFOLIA 'RUBY SPICE' / RUBY SPICE CLETHRA	3-4" HGT
IVJ	4	ILEX VERTICILLATA 'JIM DANDY' / JIM DANDY WINTERBERRY	30"-36" HGT
IVR	32	ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY	30"-36" HGT
PFG	26	POTENTILLA FRUTICOSA 'GOLDFINGER' / GOLDFINGER POTENTILLA	24"-30" HGT
PH	23	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF NINEBARK	24"-30" HGT
RR	33	ROSA 'RADIAZZ' / KNOCK OUT SHRUB ROSE	24"-30" HGT
VM	23	VIBURNUM DENTATUM 'BLUE MUFFIN' / SOUTHERN ARROWWOOD	3-4" HGT

EVERGREEN SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE
IG	140	ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY	24"-30" HGT
IS	8	ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY	30"-36" HGT

WETLAND PLANTINGS 13,756 SF

- ACER RUBRUM / RED MAPLE
- ALNUS SERULATA / SPICED ALDER
- CAREX STRICTA / TUSSOCK SEDGE
- CLETHRA ALNIFOLIA / SUMMERSWEET CLETHRA
- ILEX VERTICILLATA / WINTERBERRY
- IRIS EFFUSUS / SOFT TUSH
- JUNCEA SYLVATICA / SOFT GUM
- LINDERA BENZON / SPICEBUSH
- NYSSA SYLVATICA / SOFT GUM
- OSMUNDA CINNAMOMEA / CINNAMON FERN
- SAMBUCUS CANADENSIS / ELDERSBERRY
- SCIRPUS TABERNAMONTANI / SOFT STEM BULRUSH
- SPIRANDELLA AMERICANA / BLUE BELLS
- SPARGANGLUM AMERICANA / STEELHEAD
- SPARGANGLUM AMERICANA / STEELHEAD
- VACCINIUM CORYMBOSUM / HIGHBUSH BLUEBERRY
- VERONICA NOVICAENSIS / COMMON IRONWEED

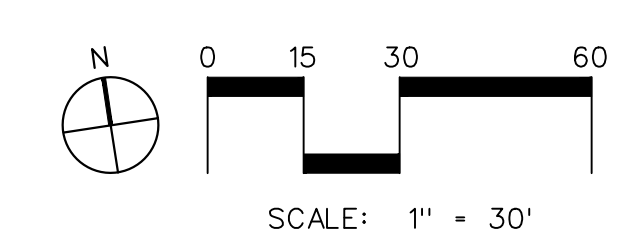
SEED MIX SCHEDULE

STORMWATER BASIN MIX	AREA
ERNA-15 NATIVE DETENTION AREA MIX AS SUPPLIED BY ERNST CONSERVATION SEEDS INCLUDES DEERTONGUE, FOX SEDGE, VIRGINIA WILDOYE, SWITCHGRASS, BENTGRASS, PITH RUSH, SOFT RUSH; SEEDING RATE: 20 LBS/ACRE	21,314 SF

NO-MOW LAWN MIX	AREA
AS SUPPLIED BY PRAIRIE NURSERY INCLUDES BLEND OF CREeping AND BUNCHFORMING FESCUES; SEEDING RATE: 220 LBS/ACRE	

LAWN MIX	AREA
WESTCHESTER LAWN MIX AS SUPPLIED BY HANCOCKVILLE FARMS OR APPROVED EQUAL, 40% SECRATARIAT PERENNIAL RYE, 30% BOREAL RED FESCUE, 20% SEAS CHEWING FESCUE, 10% BLUE BONNET BLUEGRASS; SEEDING RATE: 6 LBS/ACRE	

LAWN MIX (AT SEPTIC FIELD)	AREA
ERNA-100 AS SUPPLIED BY ERNST CONSERVATION SEEDS INCLUDING 30% TALL FESCUE, 30% PERENNIAL RYEGRASS, 30% KENTUCKY BLUEGRASS, 10% ANNUAL RYEGRASS; SEEDING RATE: 100 LBS/ACRE	



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LANDSCAPE PLAN

DRAWING TITLE

STATE OF NEW YORK
 PROFESSIONAL ENGINEER
 064405

DRAWN BY: DMG
 PROJECT NO.: 802
 DATE: 09/18/18
 DRAWING NO.: SP-4.1

CHECKED BY: GMS

OWNER / APPLICANT

NY INDOOR SPORTS, INC.
 c/o Kruzhhkov Russo PLLC
 350 Fifth Avenue, Suite 7230
 New York, NY 10118

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 LANDSCAPE ARCHITECT**

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AKRF
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 White Plains, NY 10601

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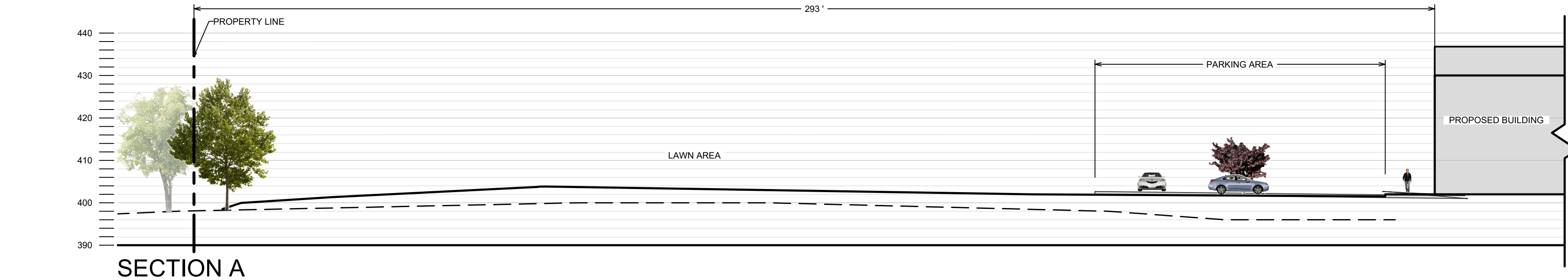
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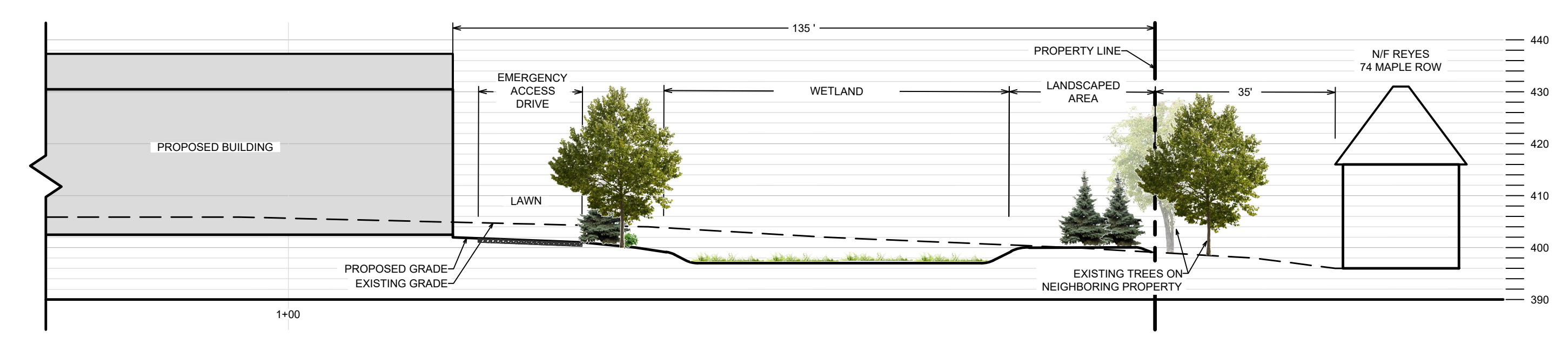
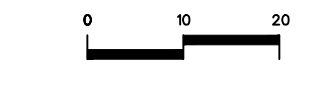
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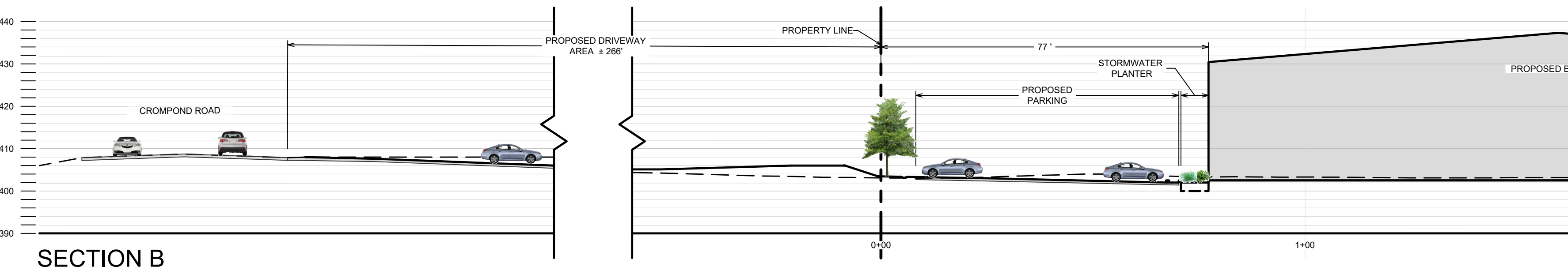
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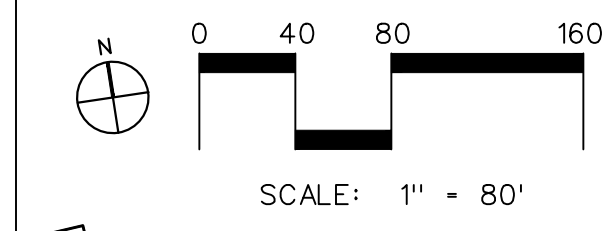
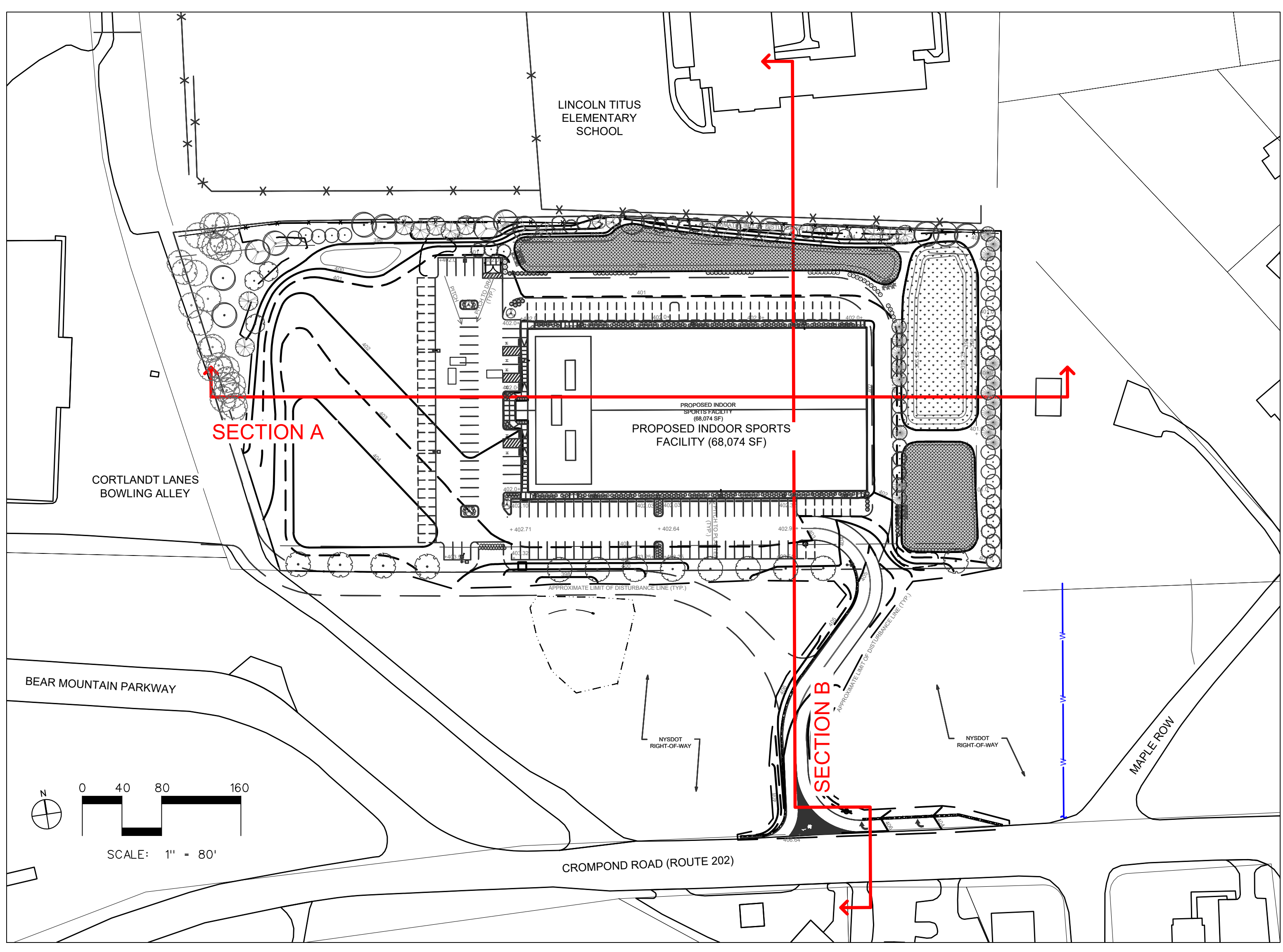
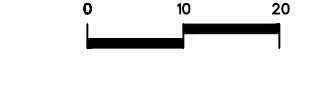
SECTION A



SECTION A



SECTION B



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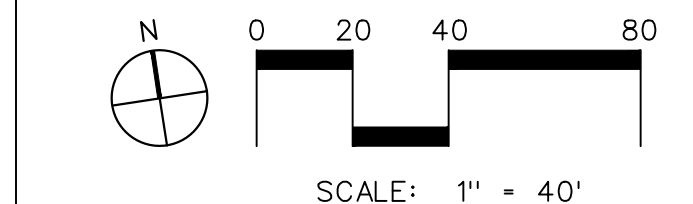
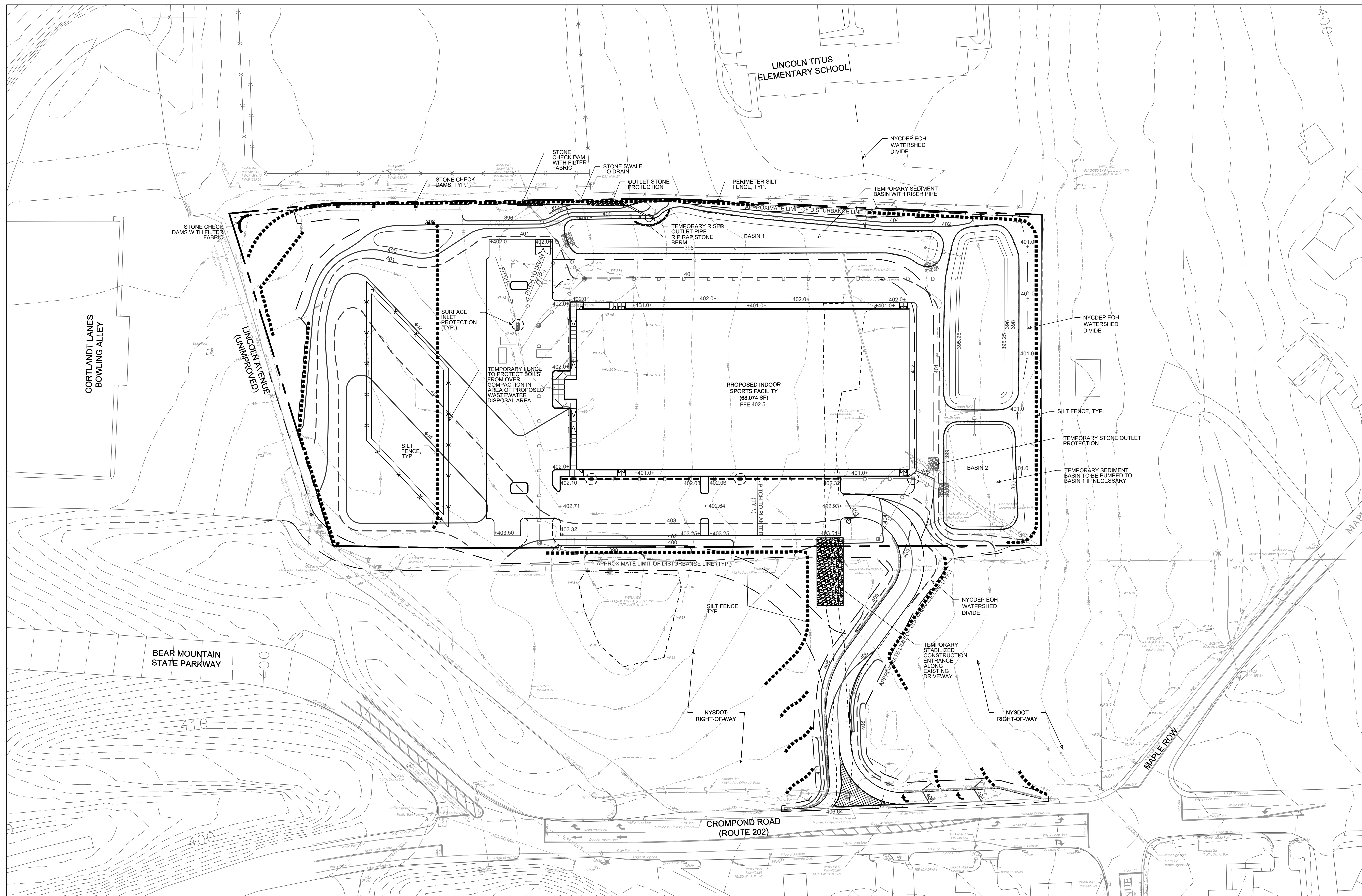
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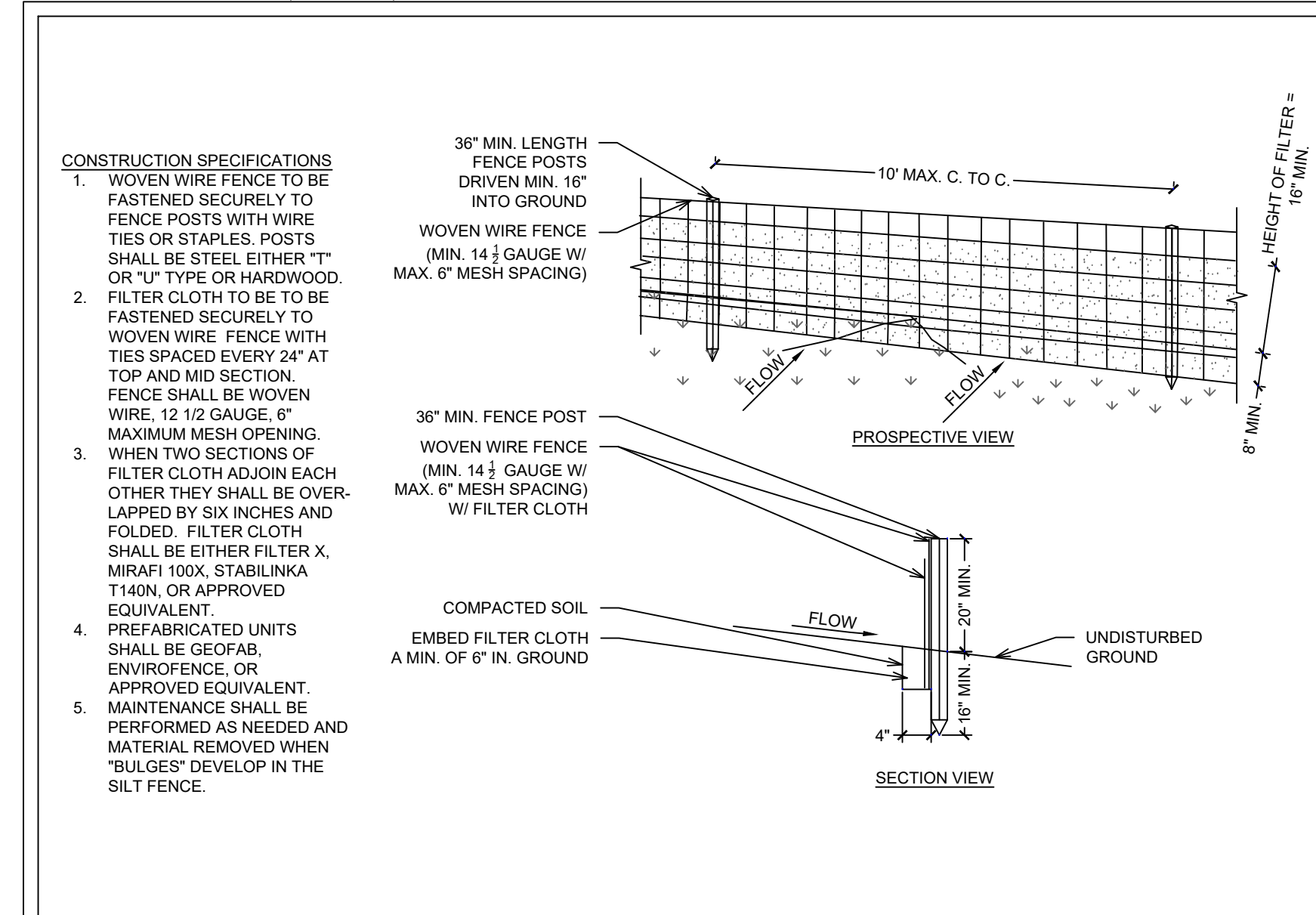
EROSION & SEDIMENT CONTROL PLAN

DRAWING TITLE:

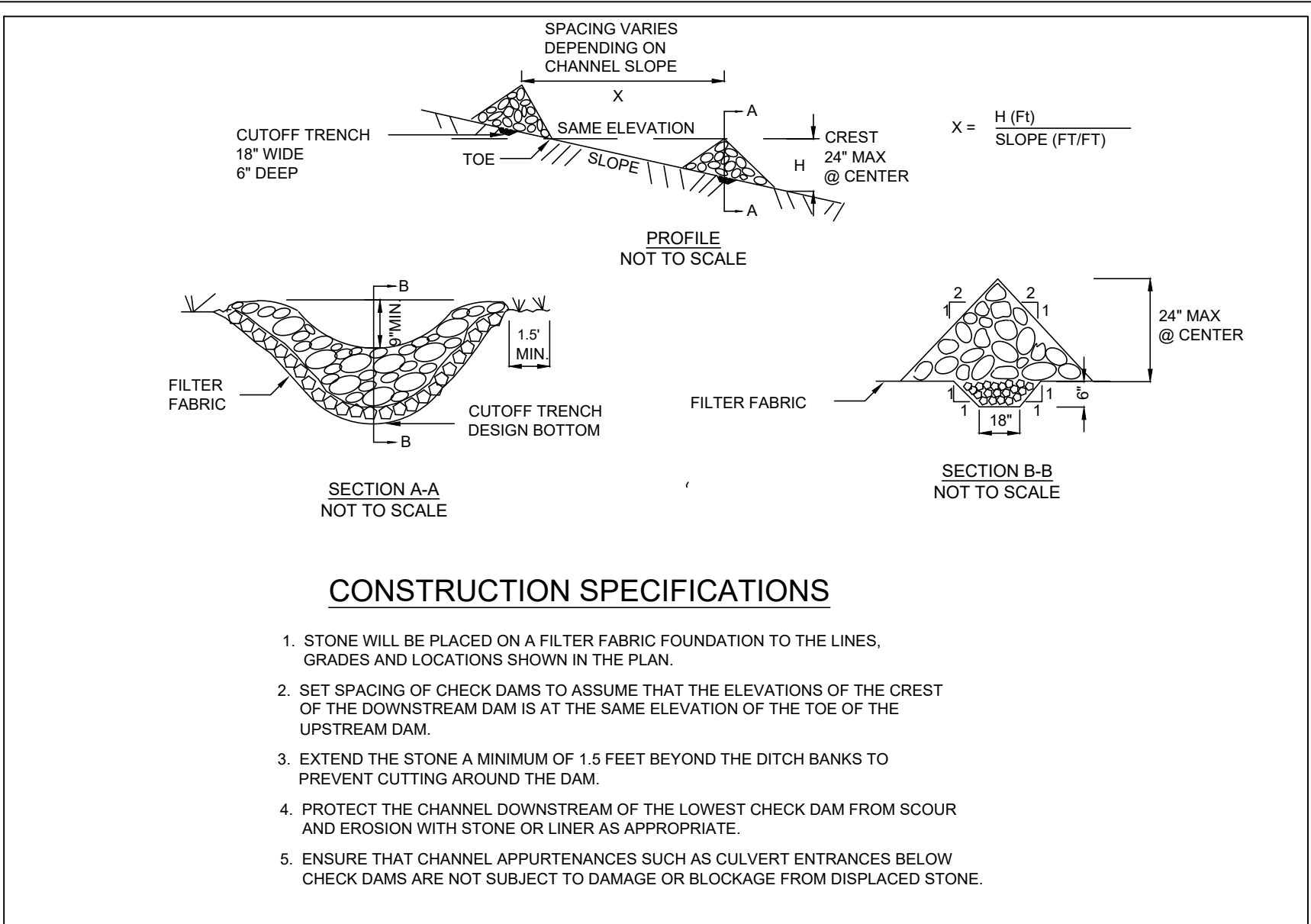
EROSION & SEDIMENT CONTROL PLAN

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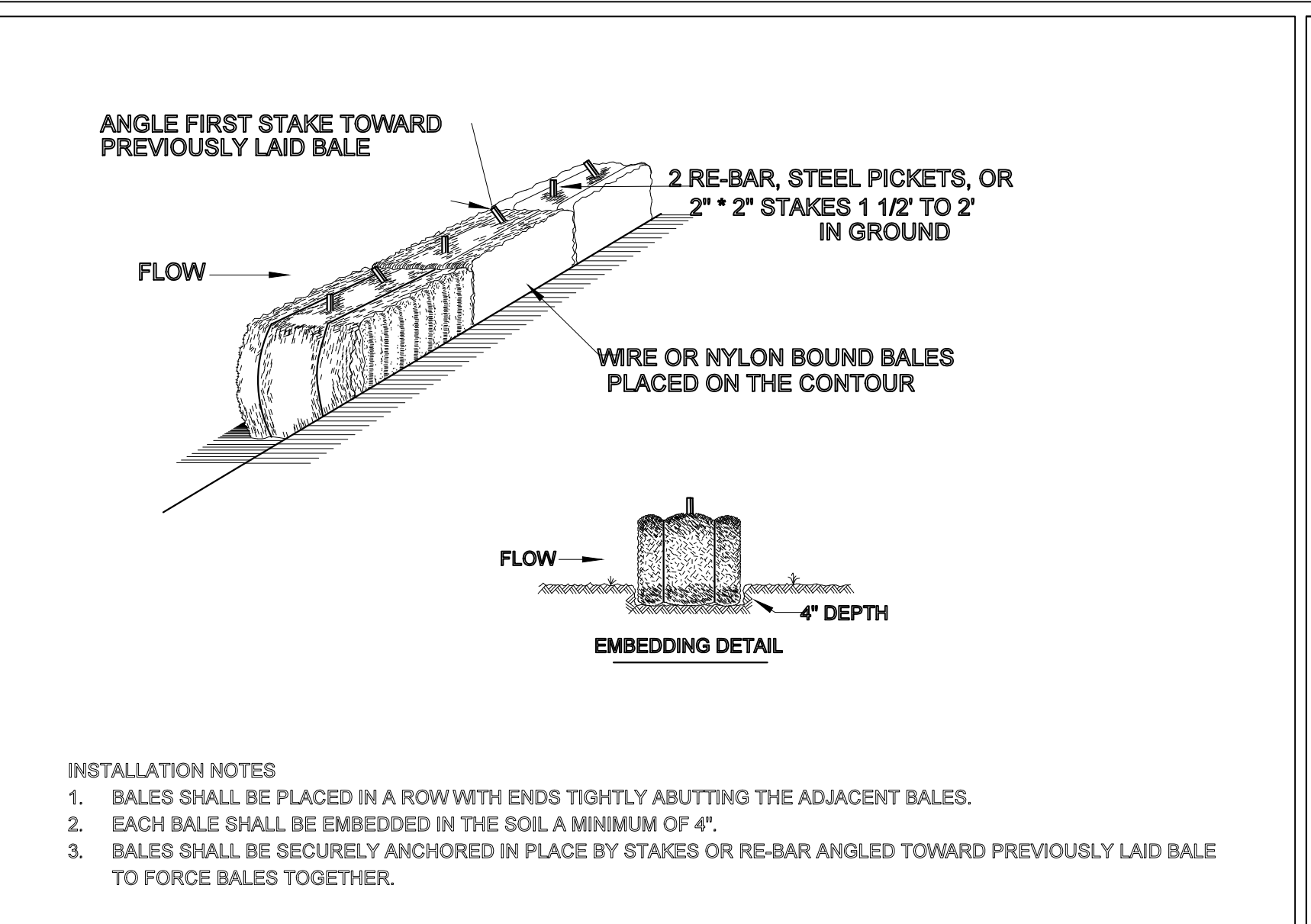
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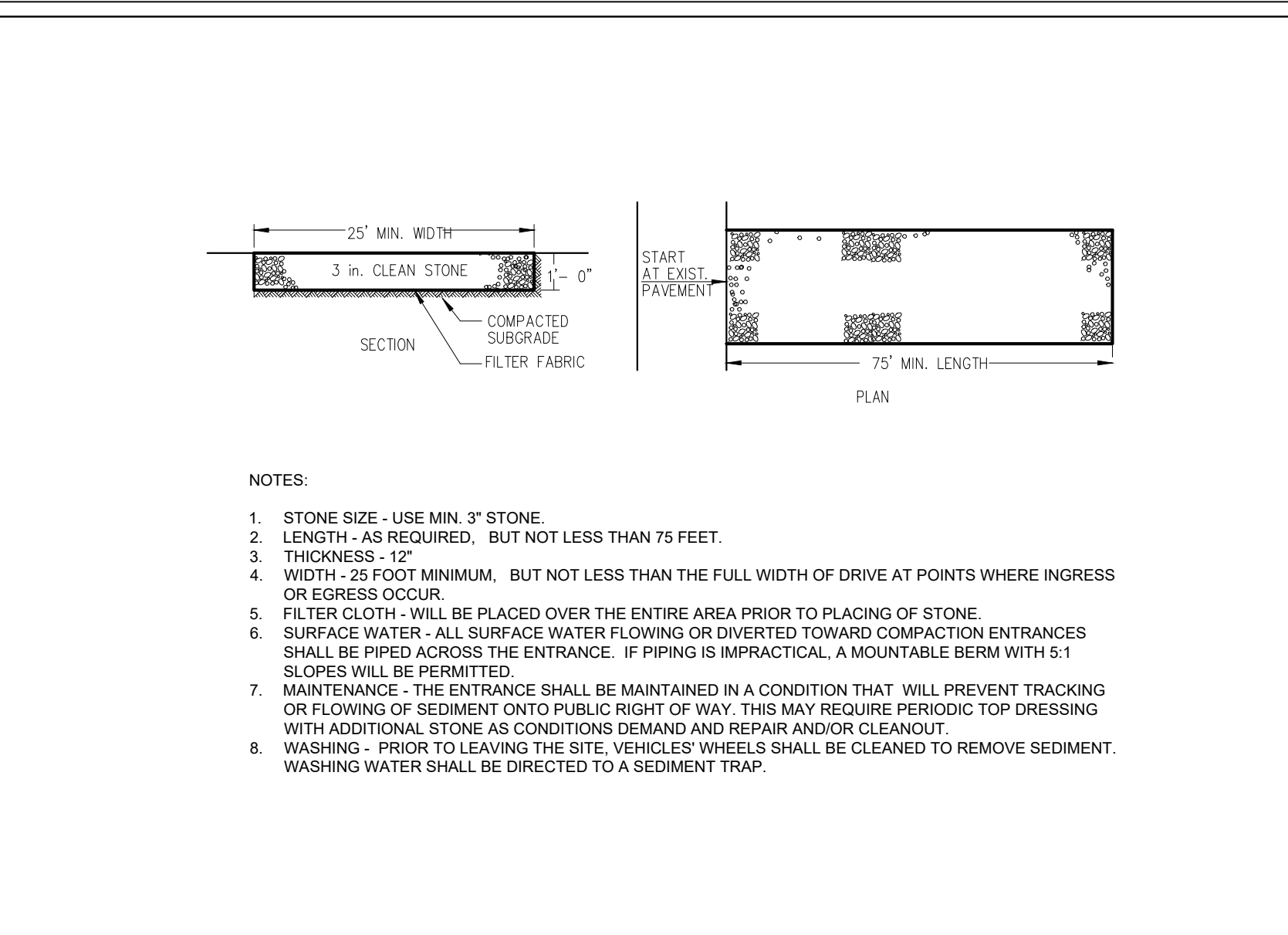
SILT FENCE
SCALE: N.T.S. 1



STONE CHECK DAM
SCALE: N.T.S. 2



HAY BALES
SCALE: N.T.S. 3



STABILIZED CONSTRUCTION ENTRANCE
SCALE: N.T.S. 4

- CONSTRUCTION OPERATIONS SHOULD BE SCHEDULED TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ONE TIME.

- BUFFER AREAS OF VEGETATION SHOULD BE LEFT WHERE PRACTICAL.

- TEMPORARY OR PERMANENT STABILIZATION MEASURES SHALL BE INSTALLED.

A. NON-DRIVING AREAS
THESE AREAS USE PRODUCTS AND MATERIALS APPLIED OR PLACED ON SOIL SURFACES TO PREVENT AIRBORNE MIGRATION OF SOIL PARTICLES.

- VEGETATIVE COVER

FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL.

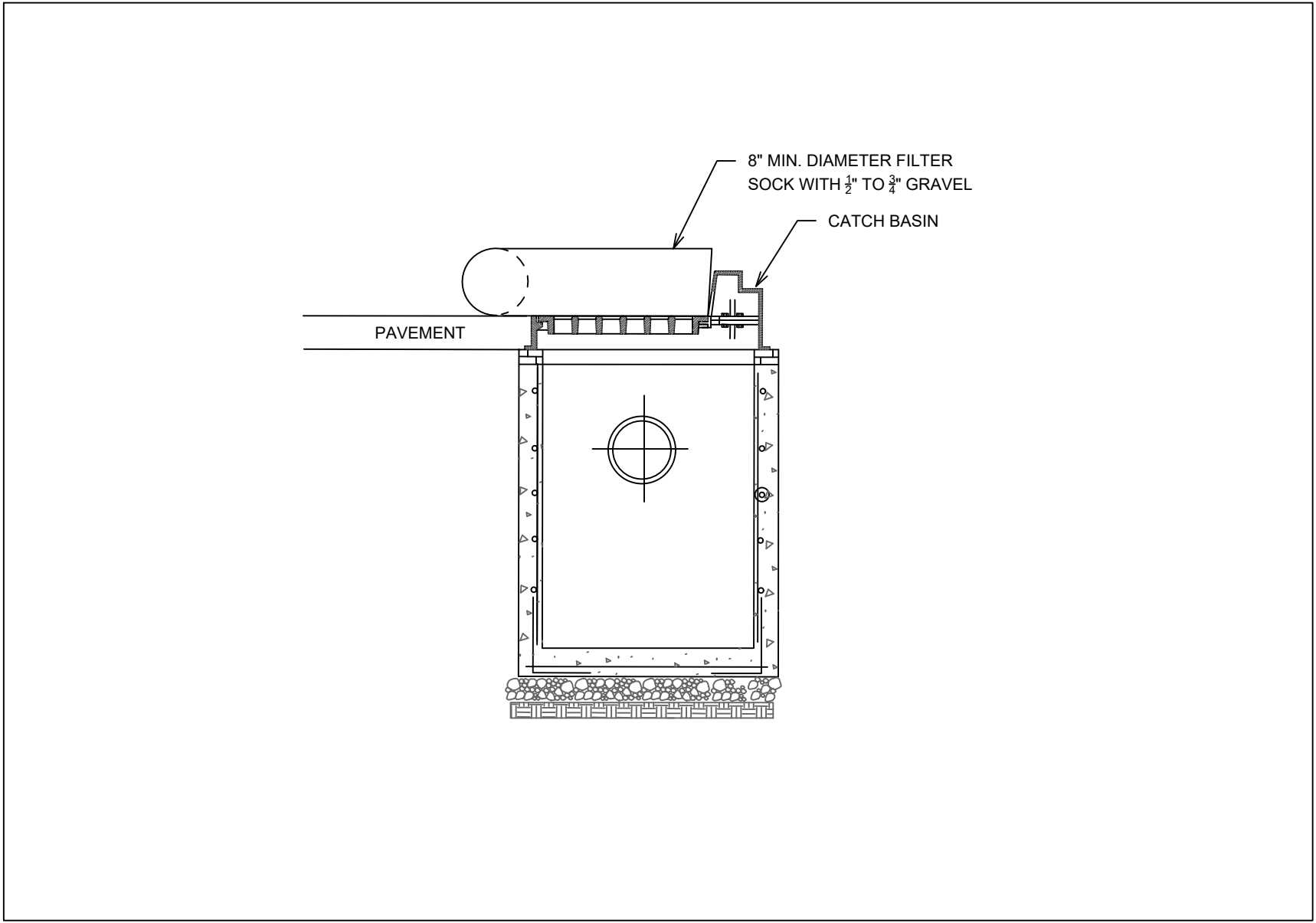
- MULCH (INCLUDING GRAVEL MULCH)

MULCH OFFERS A FAST EFFECTIVE MEANS OF CONTROLLING DUST. THIS CAN ALSO INCLUDE ROLLED EROSION CONTROL BLANKETS.

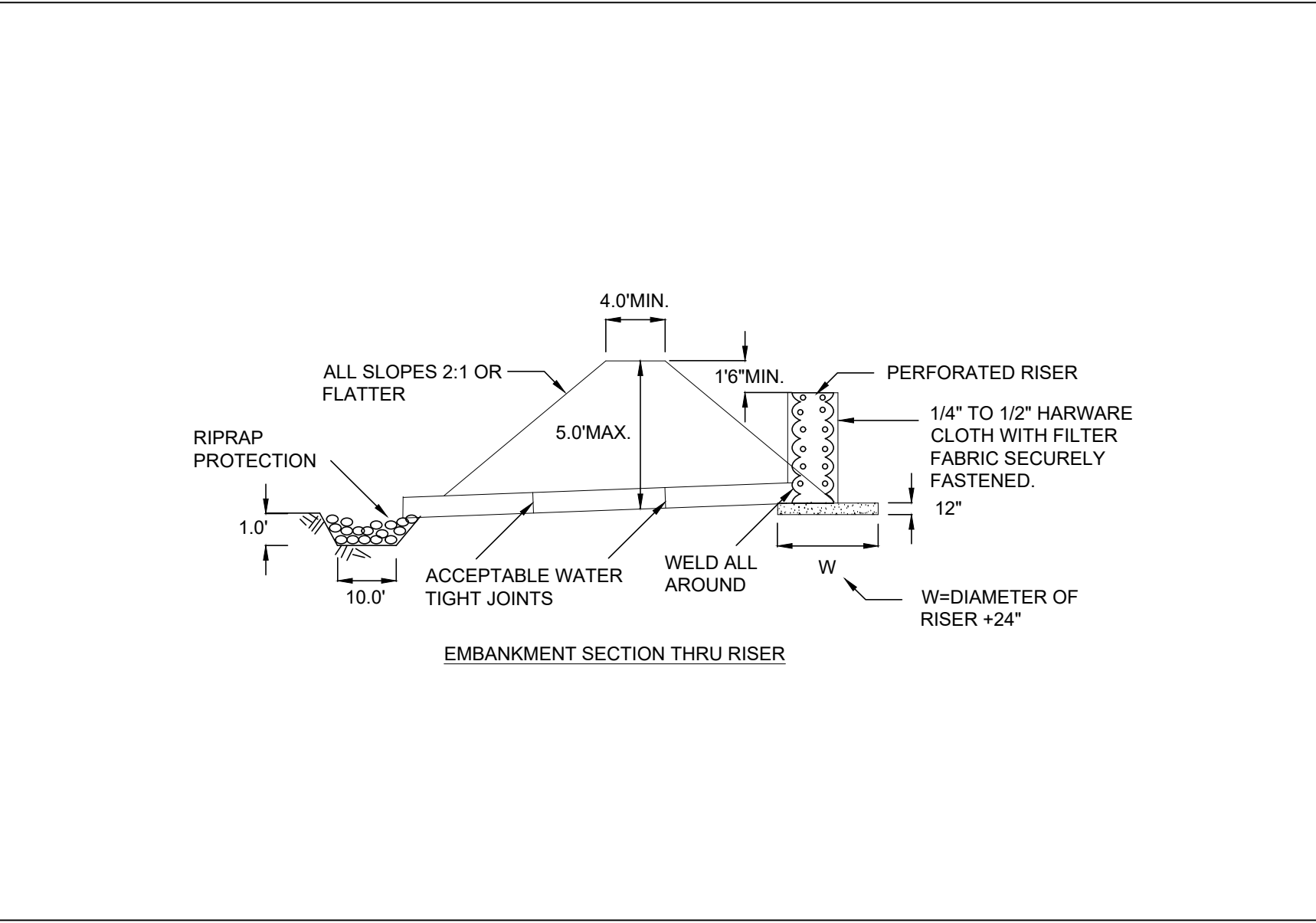
B. DRIVING AREAS
THESE AREAS UTILIZE WATER AND BARRIERS TO PREVENT DUST MOVEMENT FROM THE TRAFFIC SURFACES INTO THE AIR.

- SPRINKLING
THE SITE MAY BE SPRAYED WITH WATER UNTIL THE SURFACE IS WET. THIS IS ESPECIALLY EFFECTIVE ON HAUL ROADS AND ACCESS ROUTES.
- BARRIERS
WOVEN GEOTEXTILES CAN BE PLACED ON THE DRIVING SURFACE TO EFFECTIVELY REDUCE DUST THROW AND PARTICLE MIGRATION ON HAUL ROADS. STONE CAN ALSO BE USED FOR CONSTRUCTION ROADS FOR EFFECTIVE DUST CONTROL.
- WINDBREAK
A SILT FENCE OR SIMILAR BARRIER CAN CONTROL AIR CURRENTS AT INTERVALS EQUAL TO TEN TIMES THE BARRIER HEIGHT. PRESERVE EXISTING WIND BARRIER VEGETATION AS MUCH AS PRACTICAL.

MAINTENANCE
MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS ARE STABILIZED



CATCH BASIN INLET PROTECTION
SCALE: N.T.S. 6

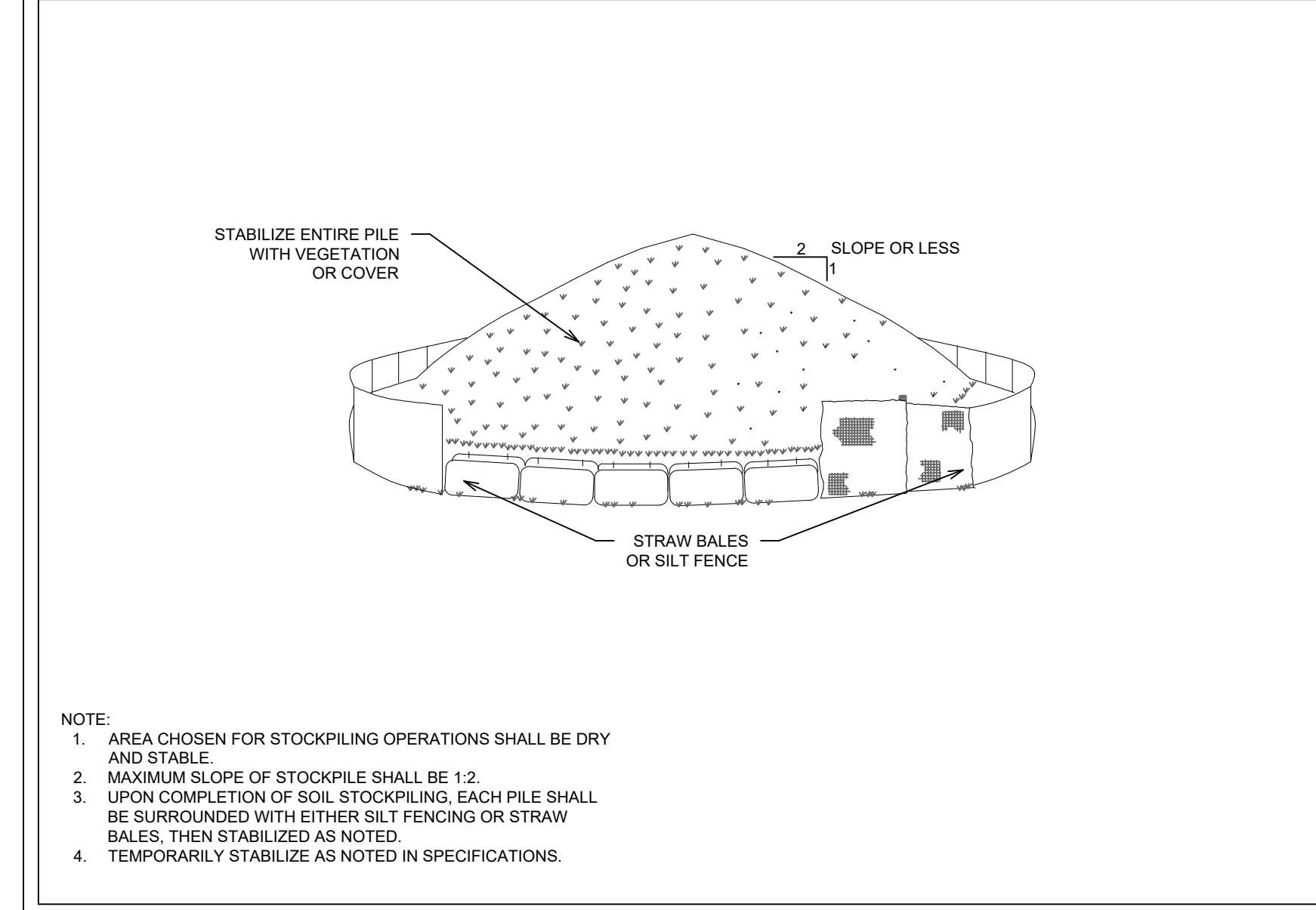


TEMPORARY SEDIMENT BASIN WITH RISER PIPE
SCALE: N.T.S. 7

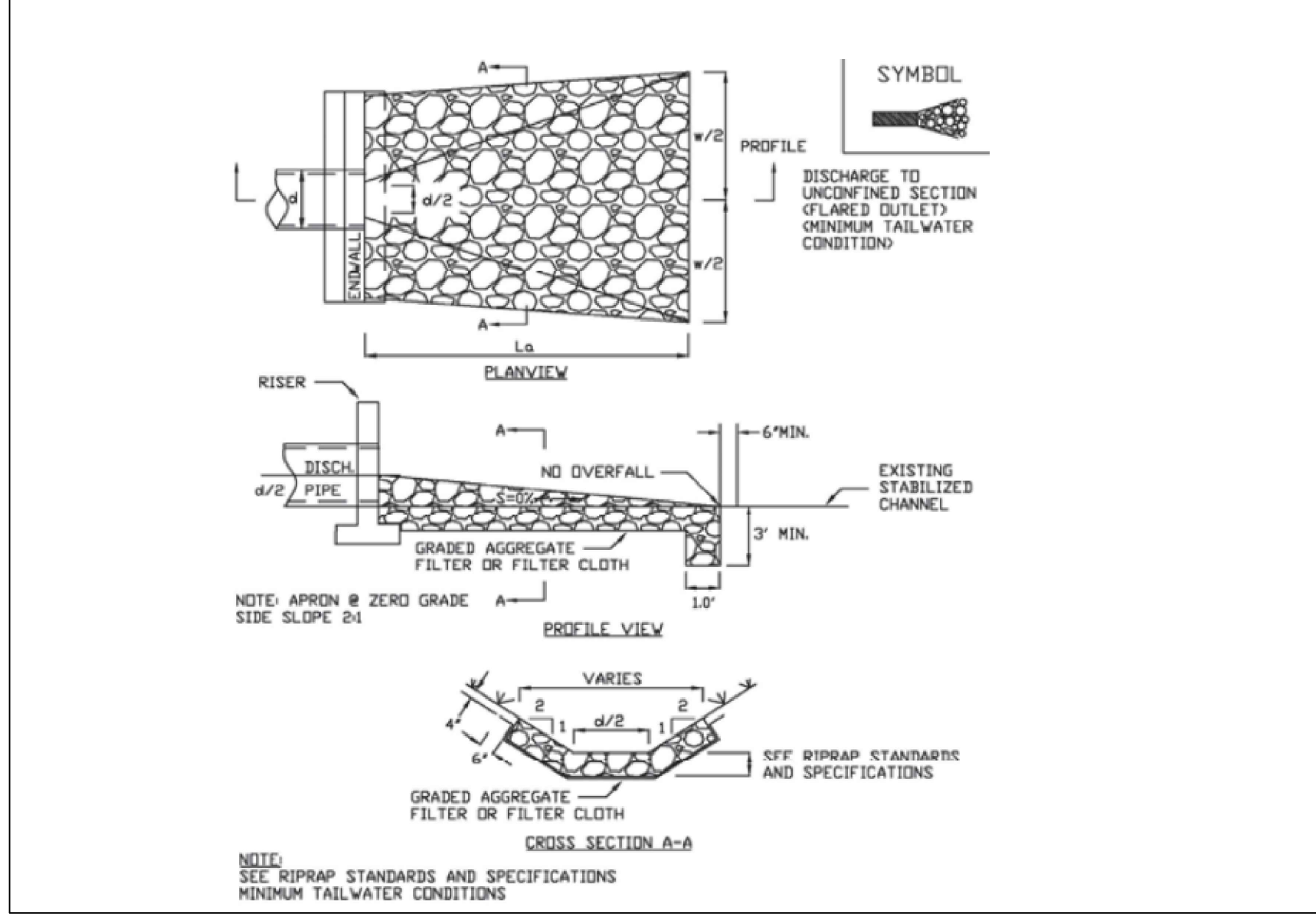
CONSTRUCTION SPECIFICATIONS:

- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- VOLUME OF SEDIMENT STORAGE SHALL BE 3600 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
- SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED.
- THE STRUCTURE SHALL BE REMOVED AND AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL FILL SLOPES SHALL BE 2:1 OR FLATTER. CUT SLOPES 1:1 OR FLATTER.
- ALL PIPE CONNECTIONS SHALL BE WATERTIGHT.
- THE TOP OF THE RISER SHALL BE PERFORATED WITH ONE (1) INCH DIAMETER HOLES OR SLITS SPACED SIX (6) INCHES VERTICALLY AND HORIZONTALLY AND PLACED - IN THE CONCAVE PORTION OF PIPE. NO HOLES WILL BE ALLOWED WITHIN SIX (6) INCHES OF THE HORIZONTAL BARREL.
- THE RISER SHALL BE WRAPPED WITH 1/4" TO 1/2" HARDWARE CLOTH WITH FILTER FABRIC SECURELY FASTENED.
- STRAPS OR CONNECTING BANDS SHALL BE USED TO HOLD THE FILTER CLOTH AND WIRE FABRIC IN PLACE. THEY SHALL BE PLACED AT THE TOP AND BOTTOM OF THE CLOTH.
- FILL MATERIAL AROUND THE PIPE SPILLWAY SHALL BE HAND COMPACTED IN FOUR (4) INCH LAYERS. A MINIMUM OF TWO (2) FEET OF HAND COMPACTED BACKFILL SHALL BE PLACED OVER THE PIPE SPILLWAY BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT.
- THE RISER SHALL BE ANCHORED WITH EITHER A CONCRETE BASE OR STEEL PLATE BASE TO PREVENT FLOTATION. FOR CONCRETE BASED THE DEPTH SHALL BE TWELVE (12) INCHES WITH THE RISER EMBEDDED NINE (9) INCHES. A 1/4 INCH THICKNESS STEEL PLATE SHALL BE ATTACHED TO THE RISER BY A CONTINUOUS WELD. AROUND THE BOTTOM TO FORM A WATERTIGHT CONNECTION AND THEN PLACE TWO (2) FEET OF STONE, GRAVEL, OR TAMPAE EARTH ON THE PLATE.

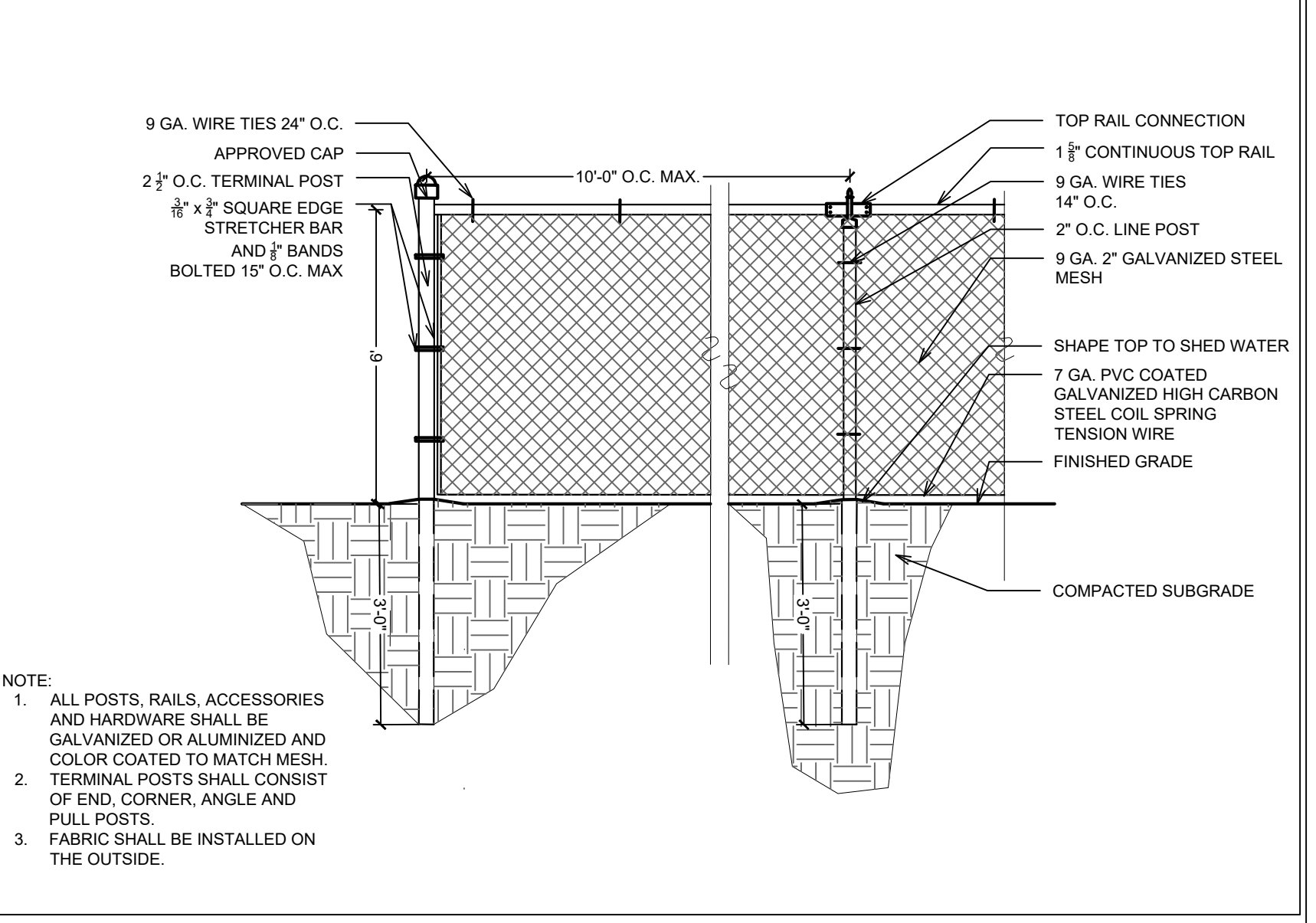
DUST CONTROL NOTES
SCALE: N.T.S. 5



SOIL STOCKPILING
SCALE: N.T.S. 8



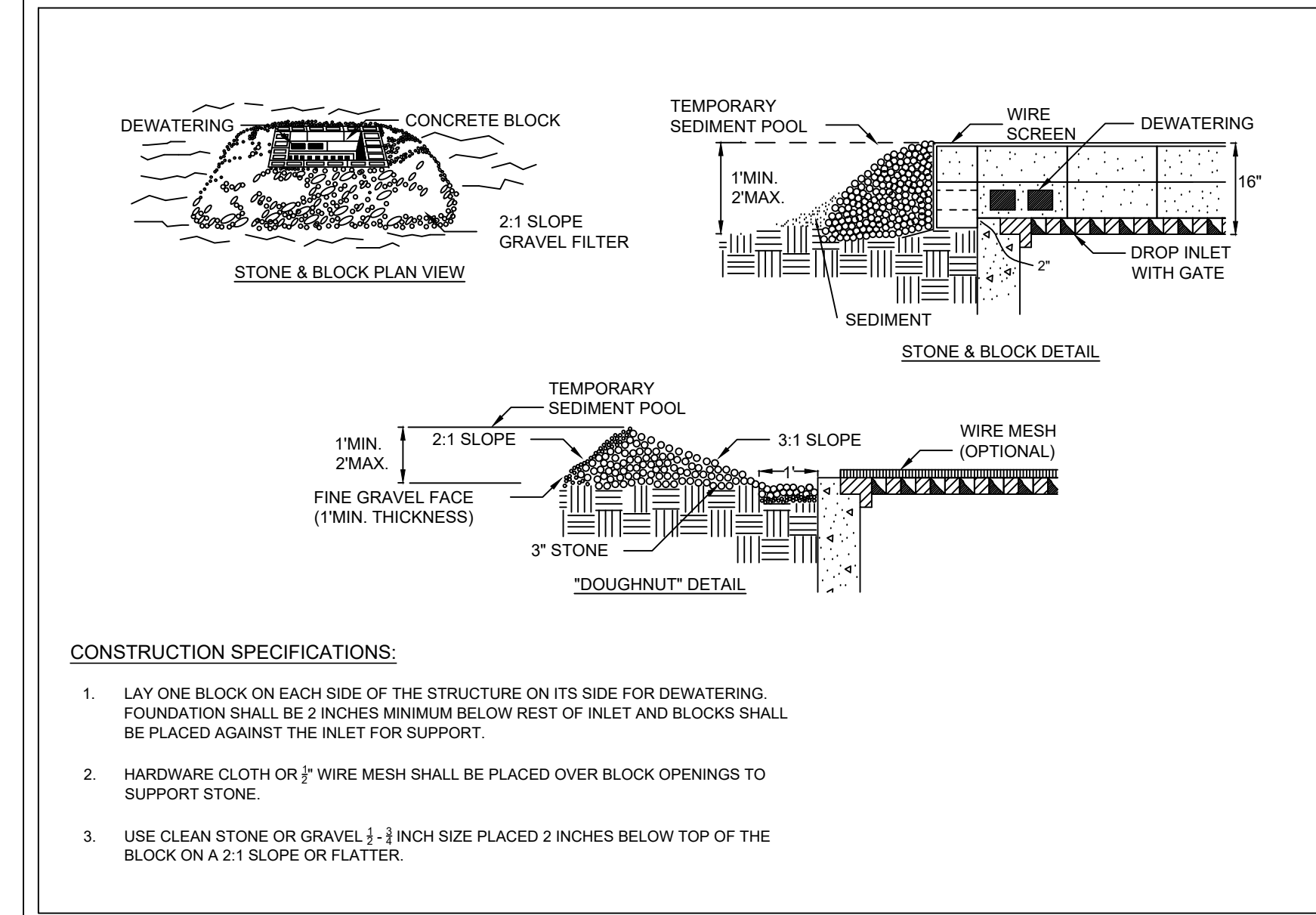
RIP RAP OUTLET PROTECTION
SCALE: N.T.S. 9



TEMPORARY CHAIN LINK FENCE
SCALE: N.T.S. 10

CONSTRUCTION SEQUENCE:

- GENERAL - THE MAXIMUM AMOUNT OF SOIL DISTURBANCE (EXPOSED SOIL) AT ONE TIME IS LIMITED TO 5 ACRES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL STRUCTURES IN GOOD OPERATING CONDITION ALWAYS.
- GENERAL SEQUENCE OF CONSTRUCTION - PHASE 1
 - LIMITS OF DISTURBANCE SHALL BE STAKED OUT PRIOR TO COMMENCING ANY WORK FOR ONSITE AND OFFSITE WORK.
 - SILT FENCING SHALL BE INSTALLED IN ALL WORK AREAS INCLUDING TREE REMOVAL AREAS AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO ANY WORK.
 - INSTALL ANTI-TRACKING PAD AT CONSTRUCTION ENTRANCE. USE EXISTING SITE ENTRANCE LOCATION ON CROMPOND ROAD (RT 202).
 - TREE REMOVALS MAY BE INITIATED ON ALL WORK AREAS. SMALL LIMBS AND BRUSH MAY BE CHIPPED AND STORED ON SITE AS NEEDED.
 - ONLY REMOVE STUMPS IN AREAS WHERE WORK IS TO COMMENCE. AREAS WHERE STUMPS ARE REMOVED BUT NO WORK IS ANTICIPATED WITHIN 2 WEEKS SHALL BE TEMPORARILY MULCHED AND SEEDED.
 - DEMOLISH EXISTING STRUCTURES AND PAVEMENTS TO BE REMOVED AND REMOVE FROM THE PROJECT SITE.
 - NO STAGING OR STOCKPILING OF MATERIAL SHALL BE PERMITTED ON NYSDOT LANDS
 - ESTABLISH A CONSTRUCTION ROAD FROM CROMPOND ROAD TO THE PROJECT SITE USING CRUSHED STONE BASE.
 - FENCE OFF AREA DESIGNATED FOR SUBSURFACE SEWAGE DISPOSAL
 - CREATE DIVERSION SWALE AROUND PERIMETER OF SITE TO LIMIT RUNOFF TO SCHOOL PROPERTY
 - STRIP AND STOCKPILE TOPSOIL ON DEVELOPMENT SITE
 - INSTALL SUBSURFACE STORMWATER DETENTION TANKS ON NORTH SIDE OF BUILDING
 - FILL BUILDING PAD SITE TO WITHIN 12-INCHES OF FINISHED SURFACE
- GENERAL SEQUENCE OF CONSTRUCTION - PHASE 2 - ONSITE
 - CONSTRUCT BUILDING FOUNDATIONS
 - CONSTRUCT STORMWATER BASINS ON SITE AND PROVIDE TEMPORARY SEED COVER
 - INSTALL CONNECTOR PIPES BETWEEN BASINS
 - SHAPE BERMS AND PLANTING AREAS AROUND BASINS - TEMPORARY SEED AND MULCH
- GENERAL SEQUENCE OF CONSTRUCTION - PHASE 3 - OFFSITE
 - INSTALL CULVERT AND HEADWALLS AT ENTRY DRIVEWAY TO MAPLE ROW
 - STRIP TOPSOIL AND ROUGH GRADE AT DRIVEWAYS
 - TRENCH UTILITY CONDUITS AND GAS LINES FROM CROMPOND ROAD TO BUILDING SITE
 - ADD BASE COURSE TO DRIVEWAYS
- GENERAL SEQUENCE OF CONSTRUCTION - PHASE 4 ONSITE
 - BEGIN INSTALLING SUBSURFACE SEWAGE DISPOSAL SYSTEM AND PIPING
 - ROUGH GRADE PARKING AREAS
 - PLACE PARKING AREA GRANULAR BASE COURSE
 - BEGIN BUILDING STRUCTURES
 - INSTALL WATER CONNECTIONS AND SERVICE LINES
 - INSTALL SITE LIGHTING CONDUITS AND LIGHT POLE BASES
 - INSTALL SEPTIC TANK AND PUMP PITS
 - COMPLETE DRAINAGE CONNECTIONS
- GENERAL SEQUENCE OF CONSTRUCTION - PHASE 4 OFFSITE
 - CONSTRUCT WETLAND AREAS AND PLANTING
 - CONSTRUCT GRAVEL SHOULDERS
 - PLACE ASPHALT BINDER COURSES ON DRIVEWAYS
 - CONSTRUCT NYSDOT IMPROVEMENTS
- GENERAL SEQUENCE OF CONSTRUCTION - PHASE 5 ONSITE
 - INSTALL BUILDING PLANTER BOXES
 - COMPLETE BUILDING SHELL
 - PLACE ASPHALT BINDER COURSE IN DRIVEWAY AND PARKING AREAS
 - PLANT PERMANENT TREES, SHRUBS AND GROUND COVER
 - INSTALL EXTERIOR LIGHTS AND SIGNAGE
- GENERAL SEQUENCE OF CONSTRUCTION - PHASE 5 OFFSITE
 - PLANT PERMANENT TREES, SHRUBS AND GROUND COVER
 - INSTALL EXTERIOR LIGHTS AND SIGNAGE
- GENERAL SEQUENCE OF CONSTRUCTION - PHASE 6 OFFSITE
 - FINAL SITE CLEANUP
 - COMPLETE BUILDING INTERIOR WORK
 - TESTING AND COMMISSIONING



INLET PROTECTION
SCALE: N.T.S. 11

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CORTLANDT PITCH

Town of Cortlandt, NY

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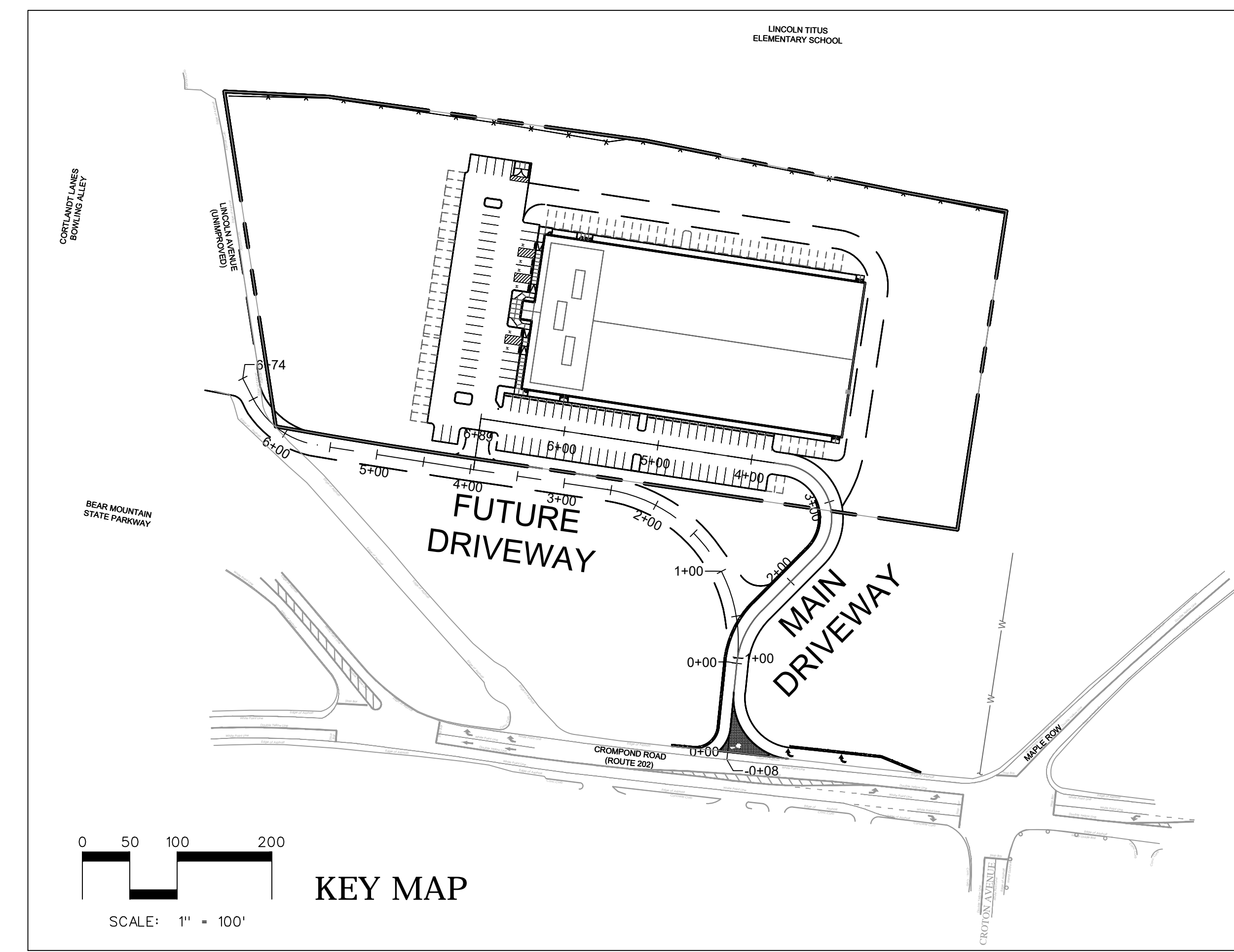
EROSION & SEDIMENT CONTROL DETAILS

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DRAWING NO.:			

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STATE OF NEW YORK
ROBERTA A. YASSO
SEAL
REGISTERED PROFESSIONAL ENGINEER

CONSTRUCTION SEQUENCING 9



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 Intelligent Land Use

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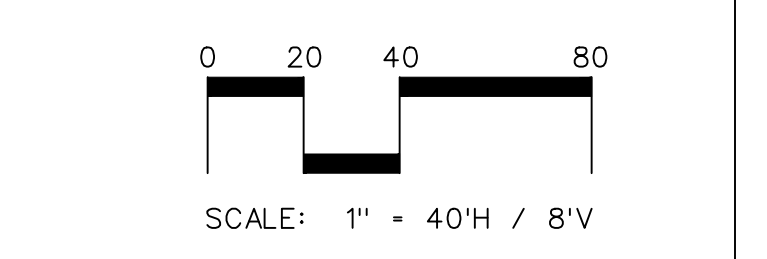
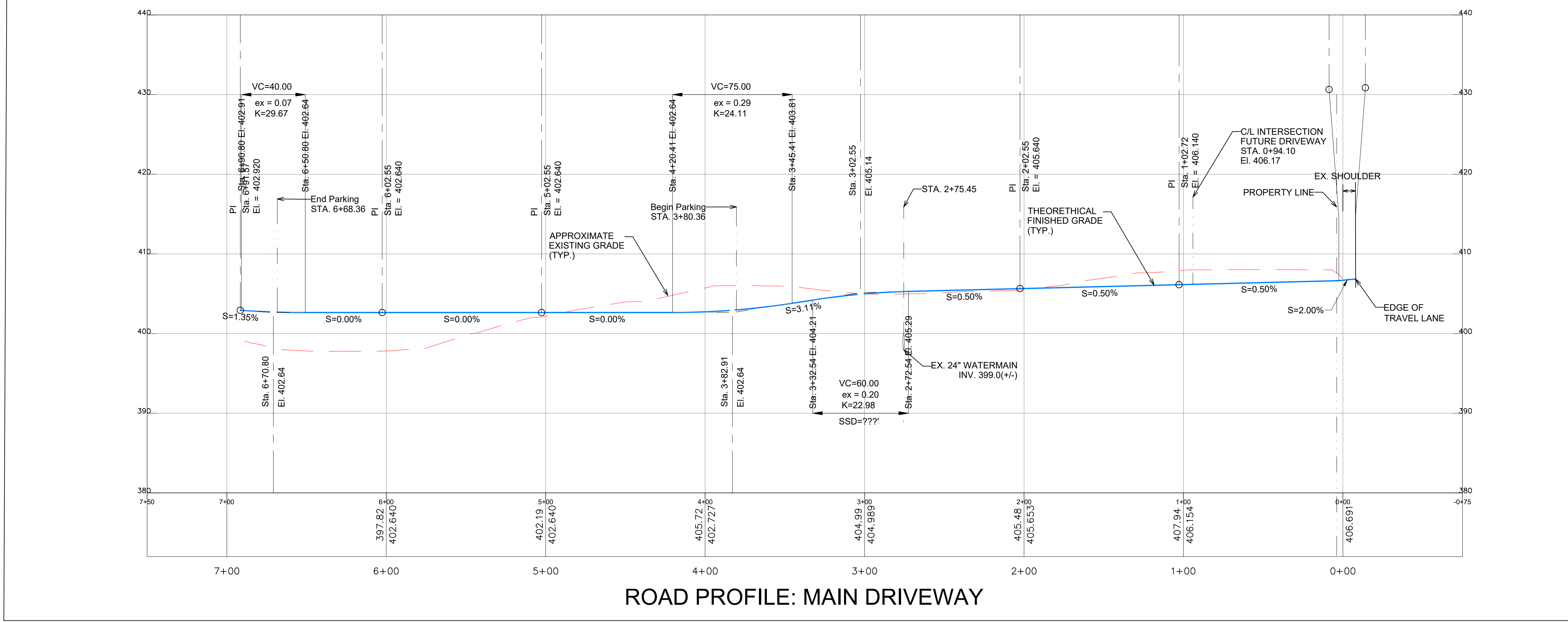
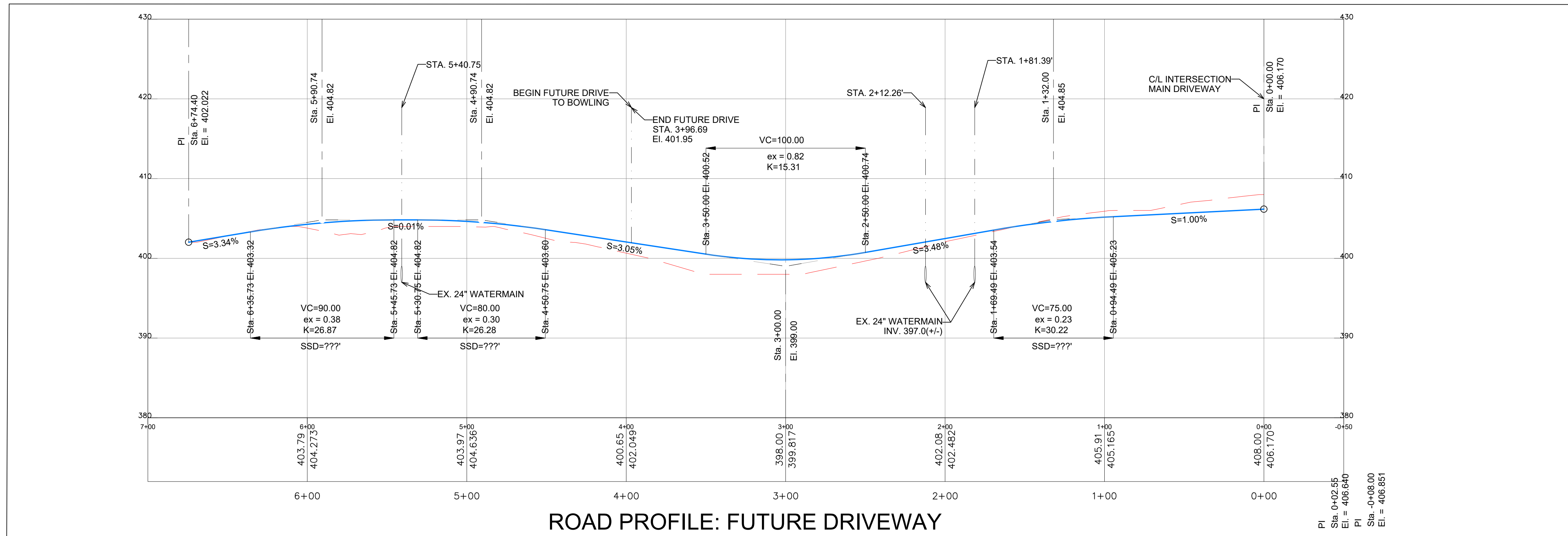
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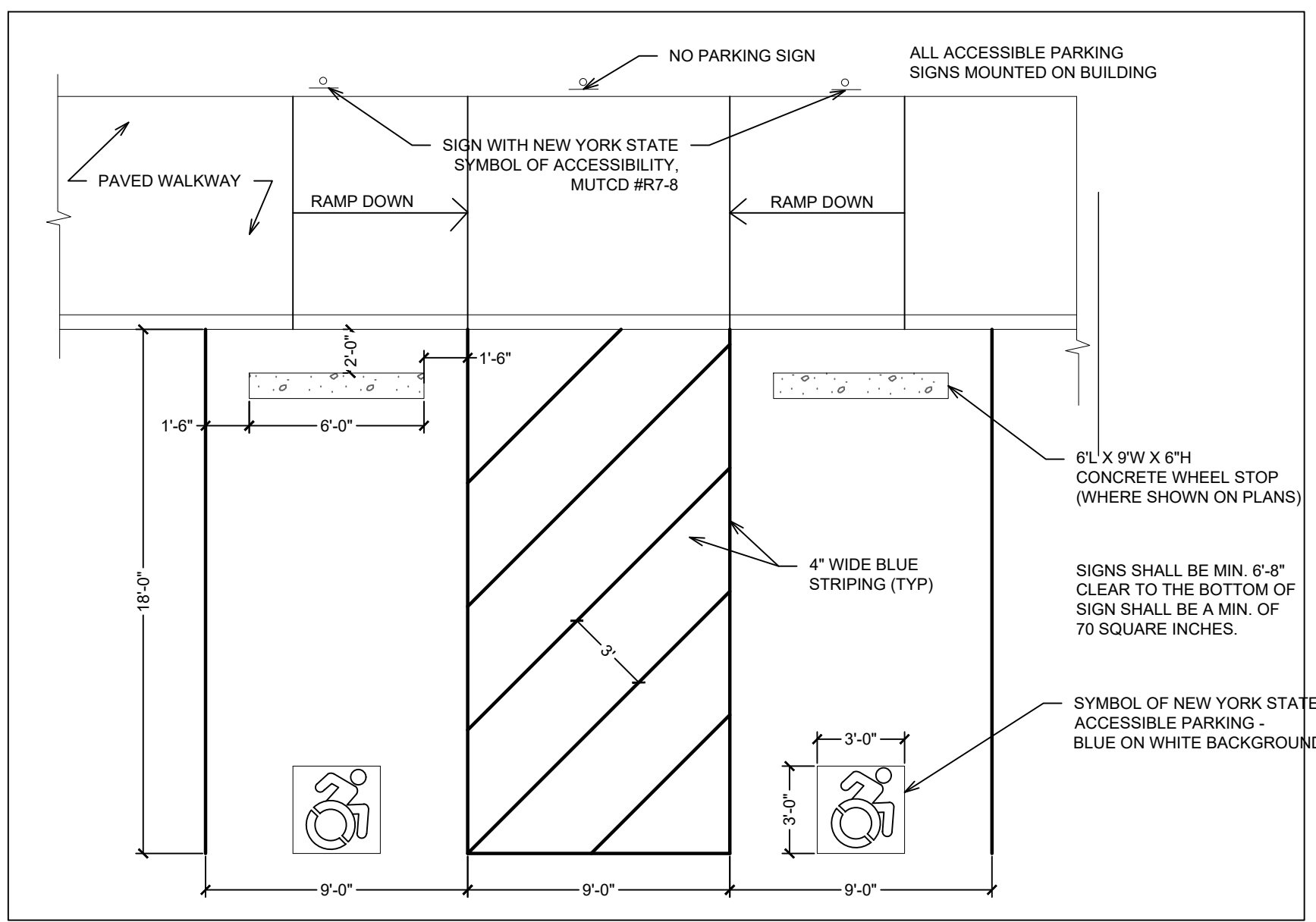
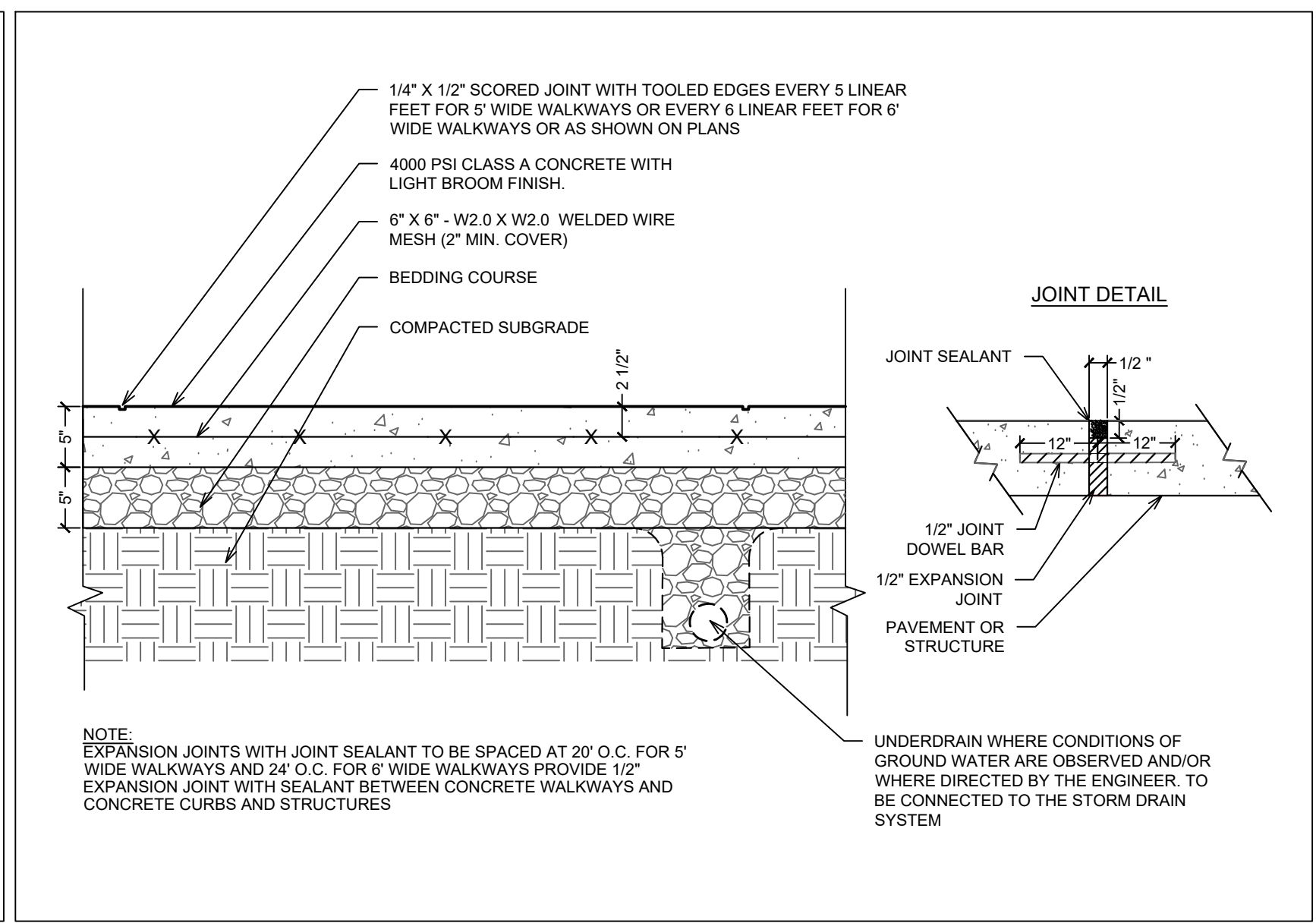
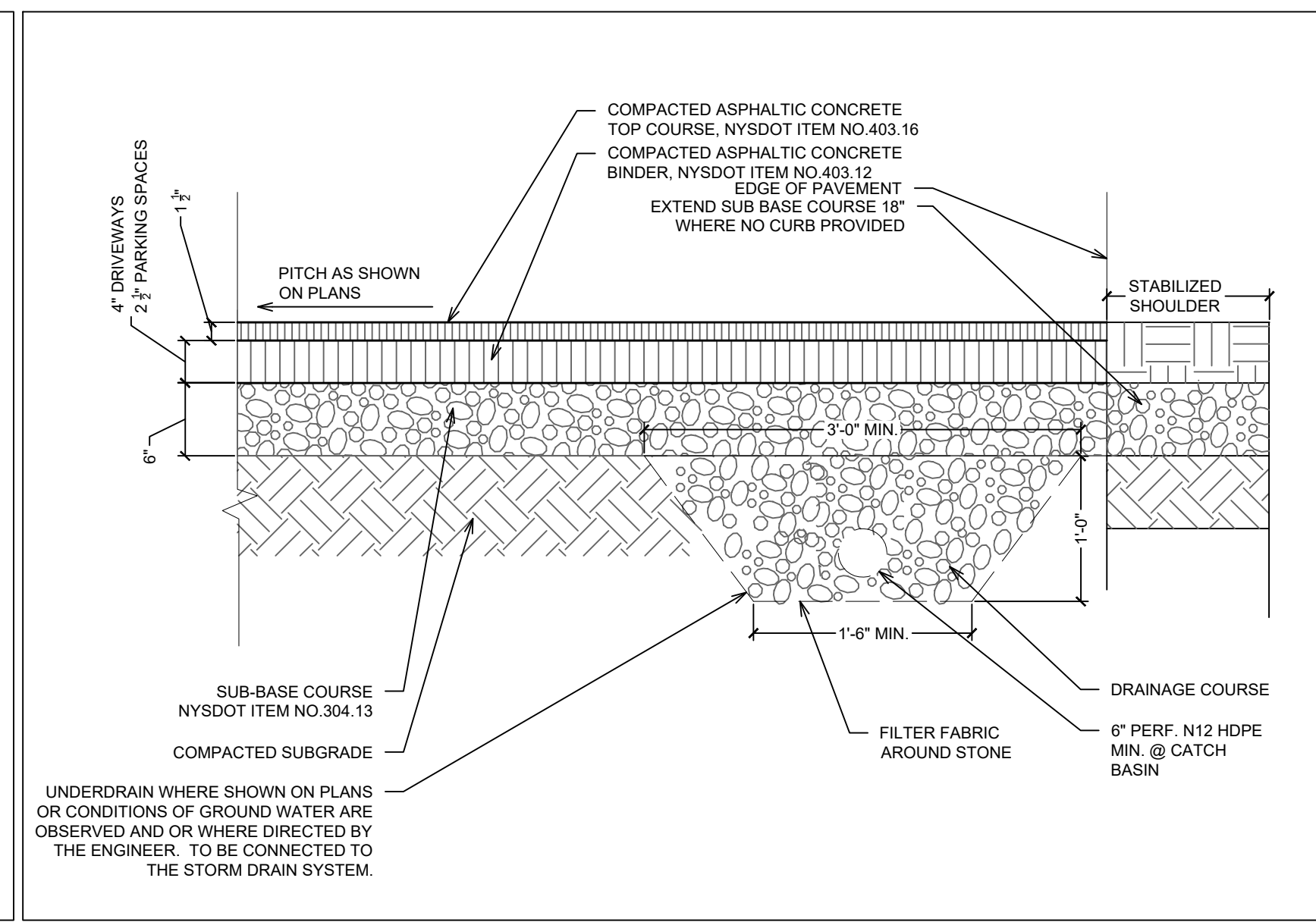
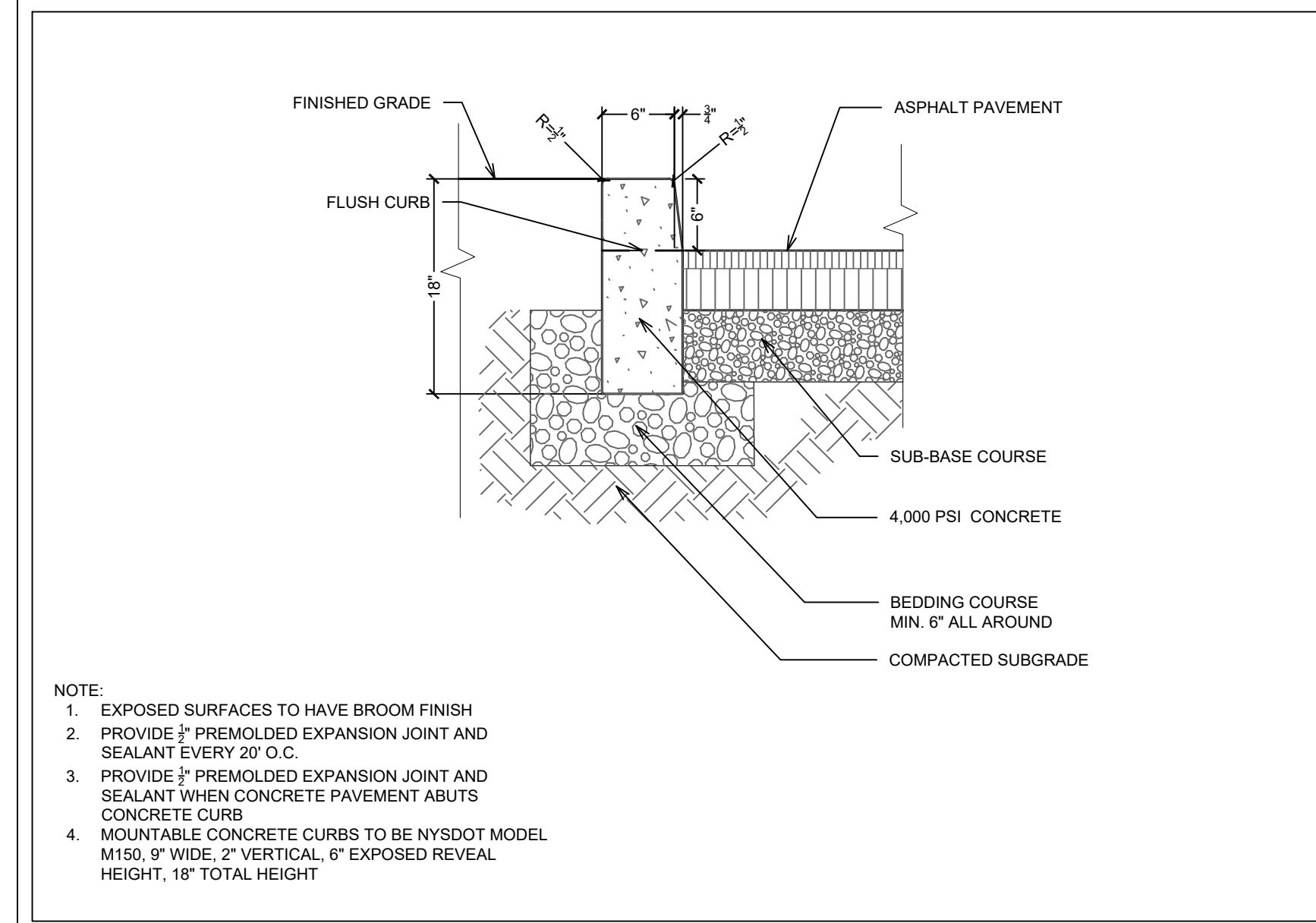
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PROJECT NO.: 802	DATE: 09/17/18
DRAWING NO.:	

STATE OF NEW YORK
 PROFESSIONAL ENGINEER
 084409

SP-6.0

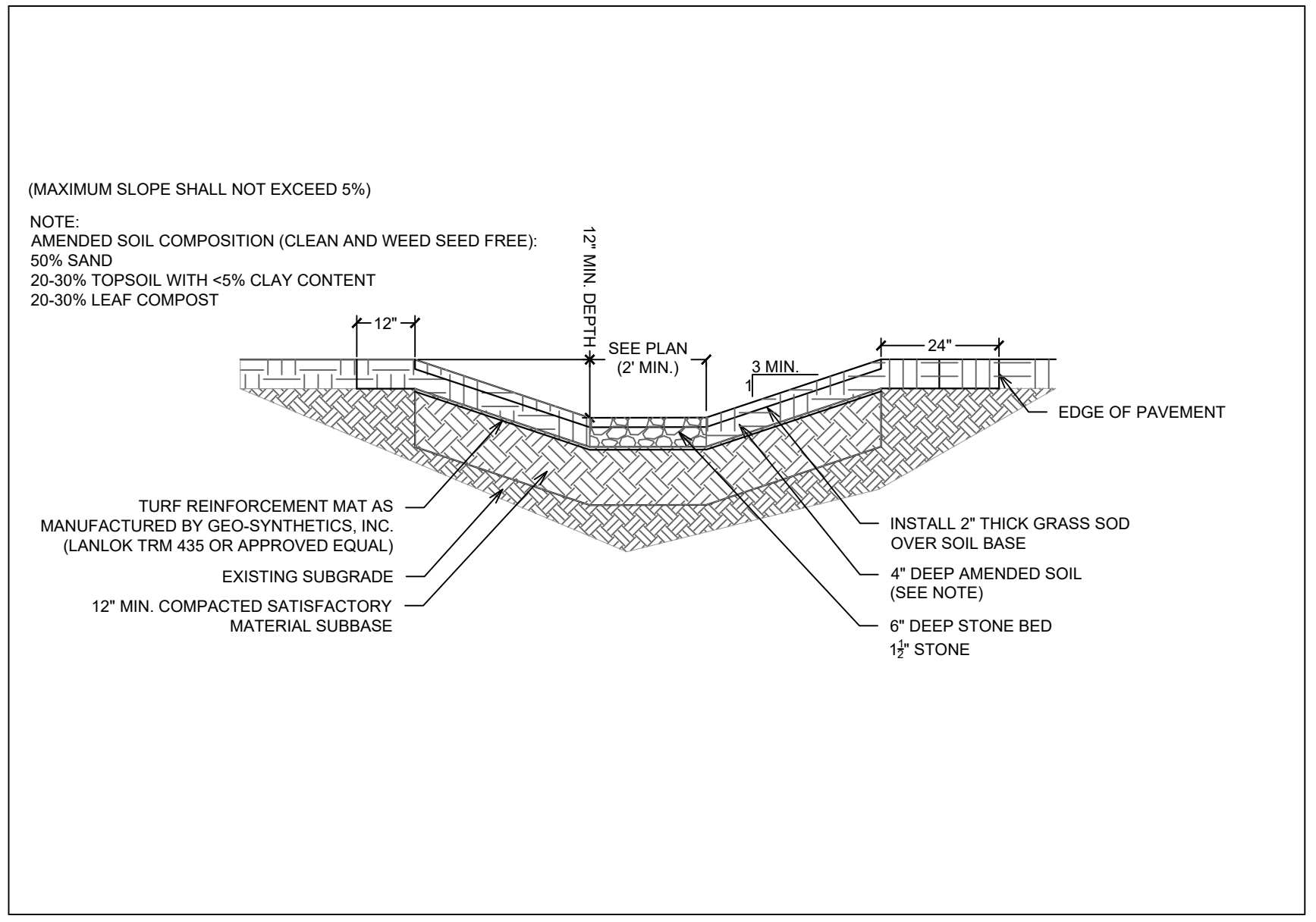
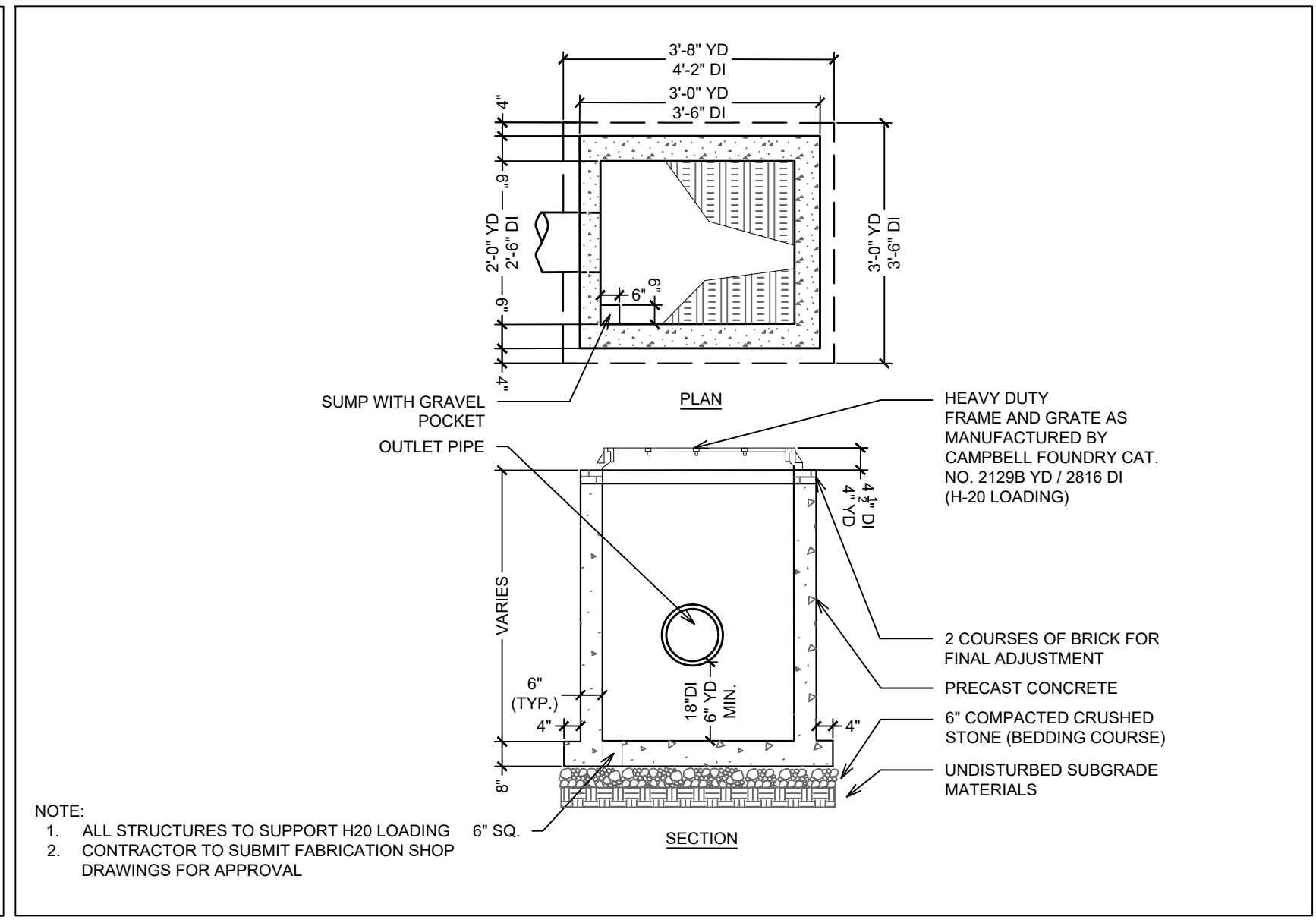
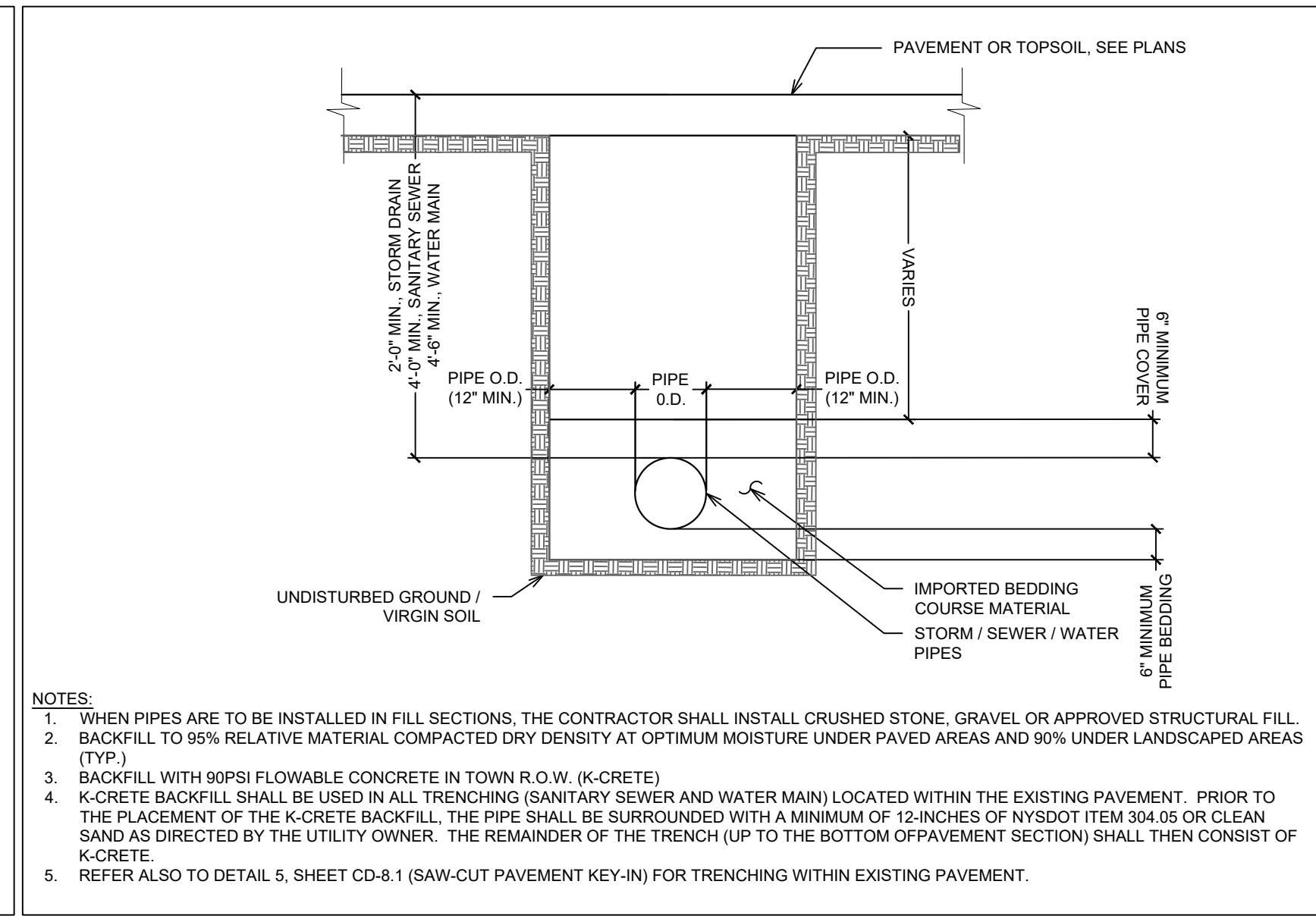
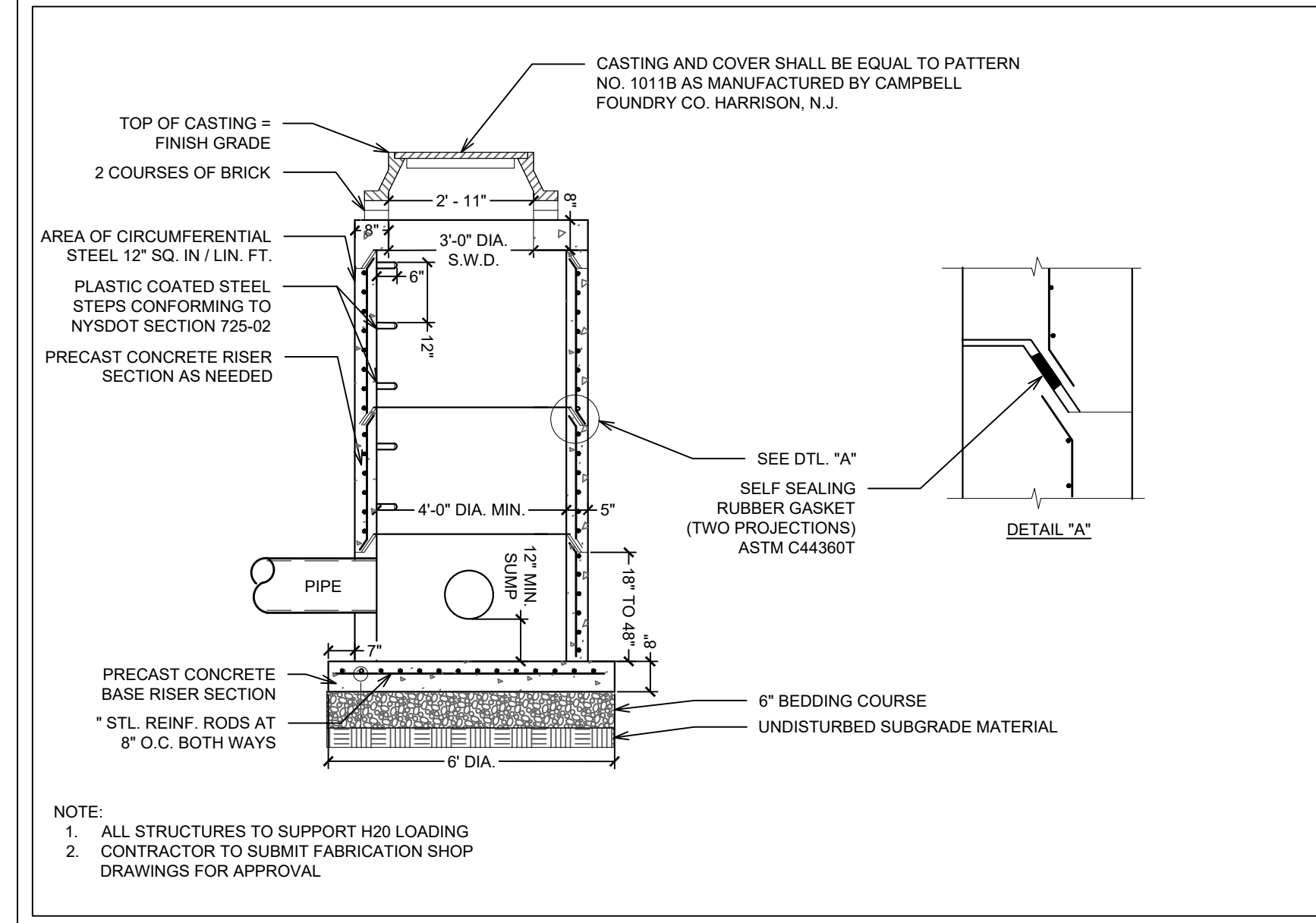


CONCRETE CURB
SCALE: N.T.S. 1

ASPHALT PAVEMENT
SCALE: N.T.S. 2

CONCRETE PAVEMENT (SIDEWALK)
SCALE: N.T.S. 3

ACCESSIBLE PARKING
SCALE: N.T.S. 4

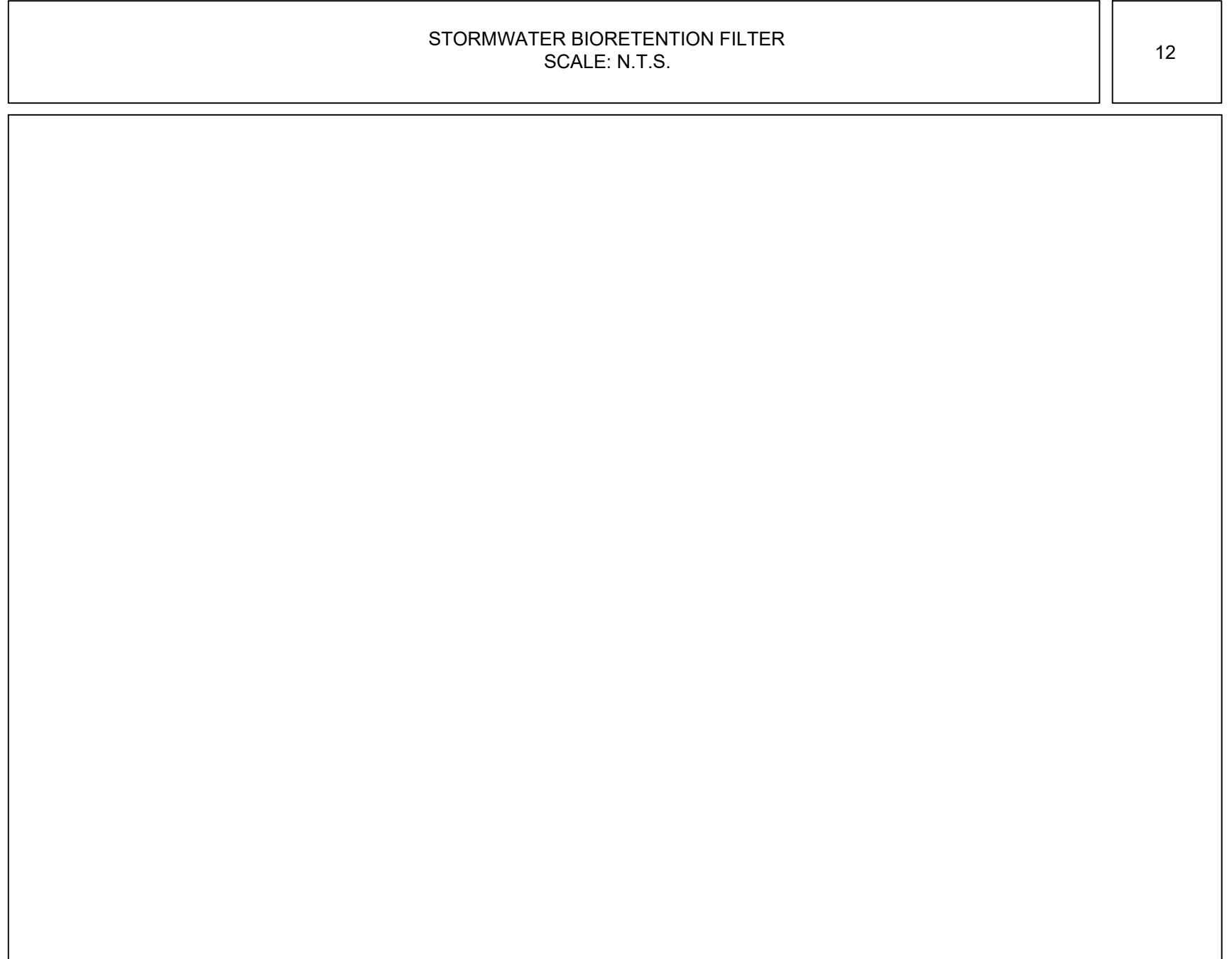
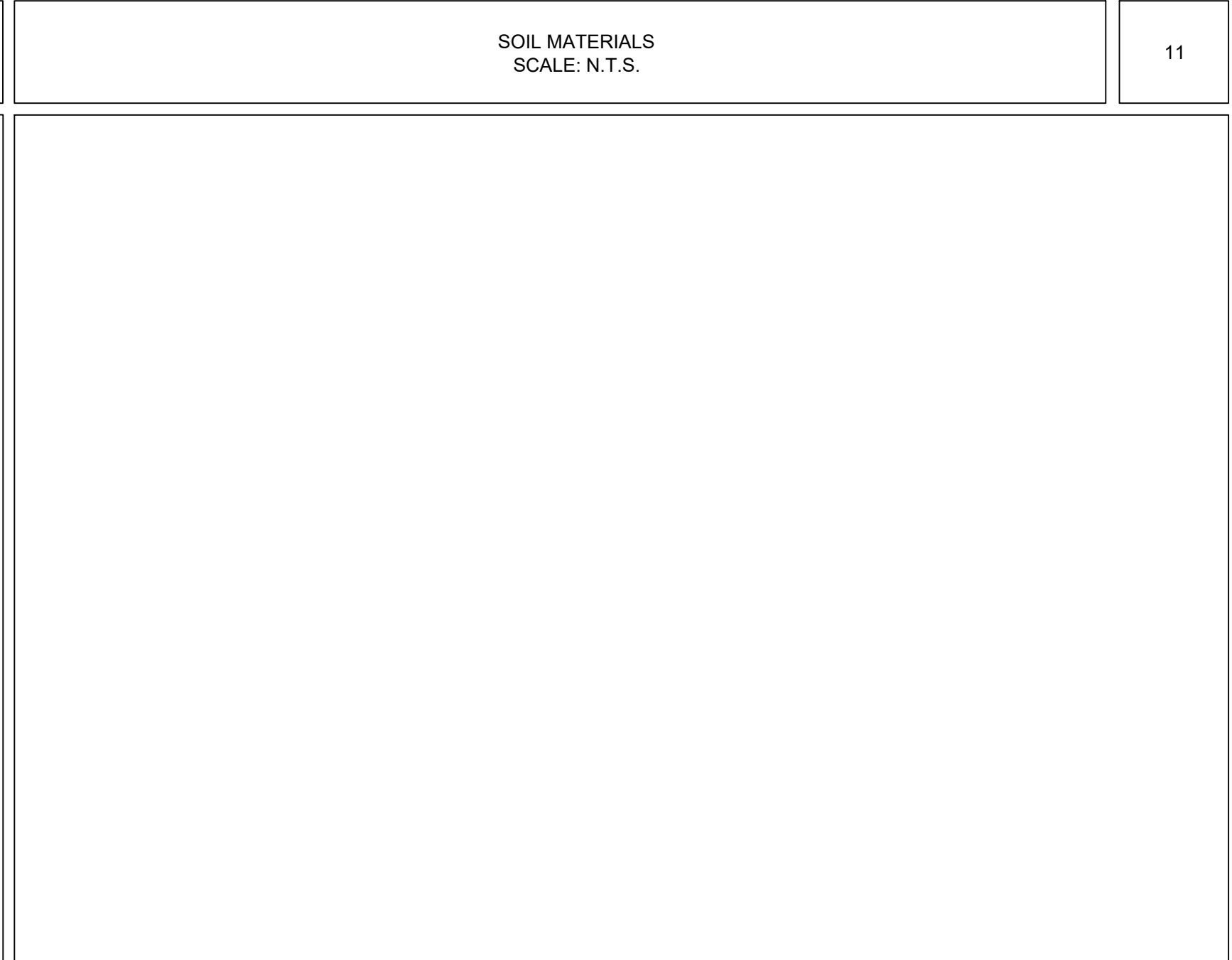
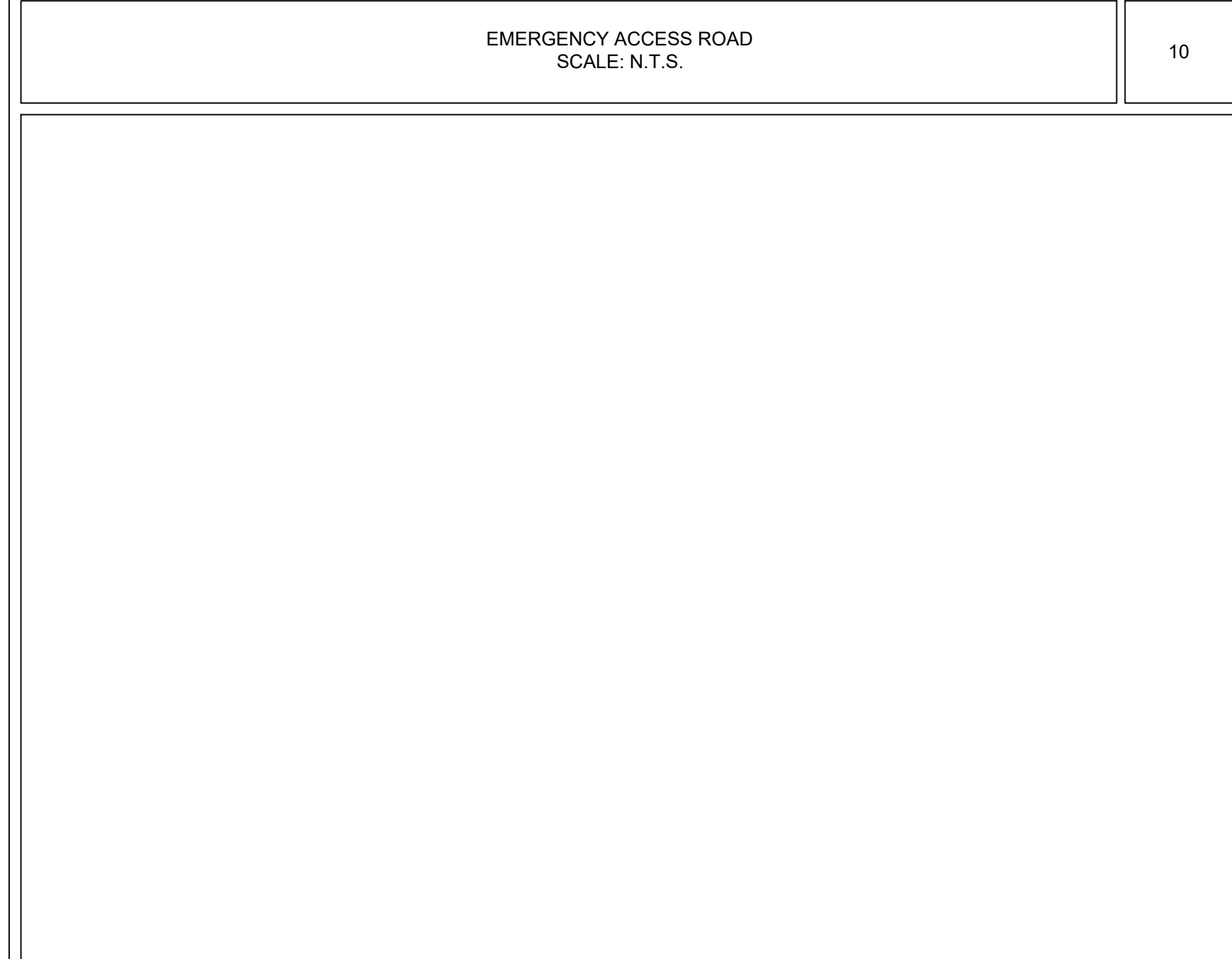
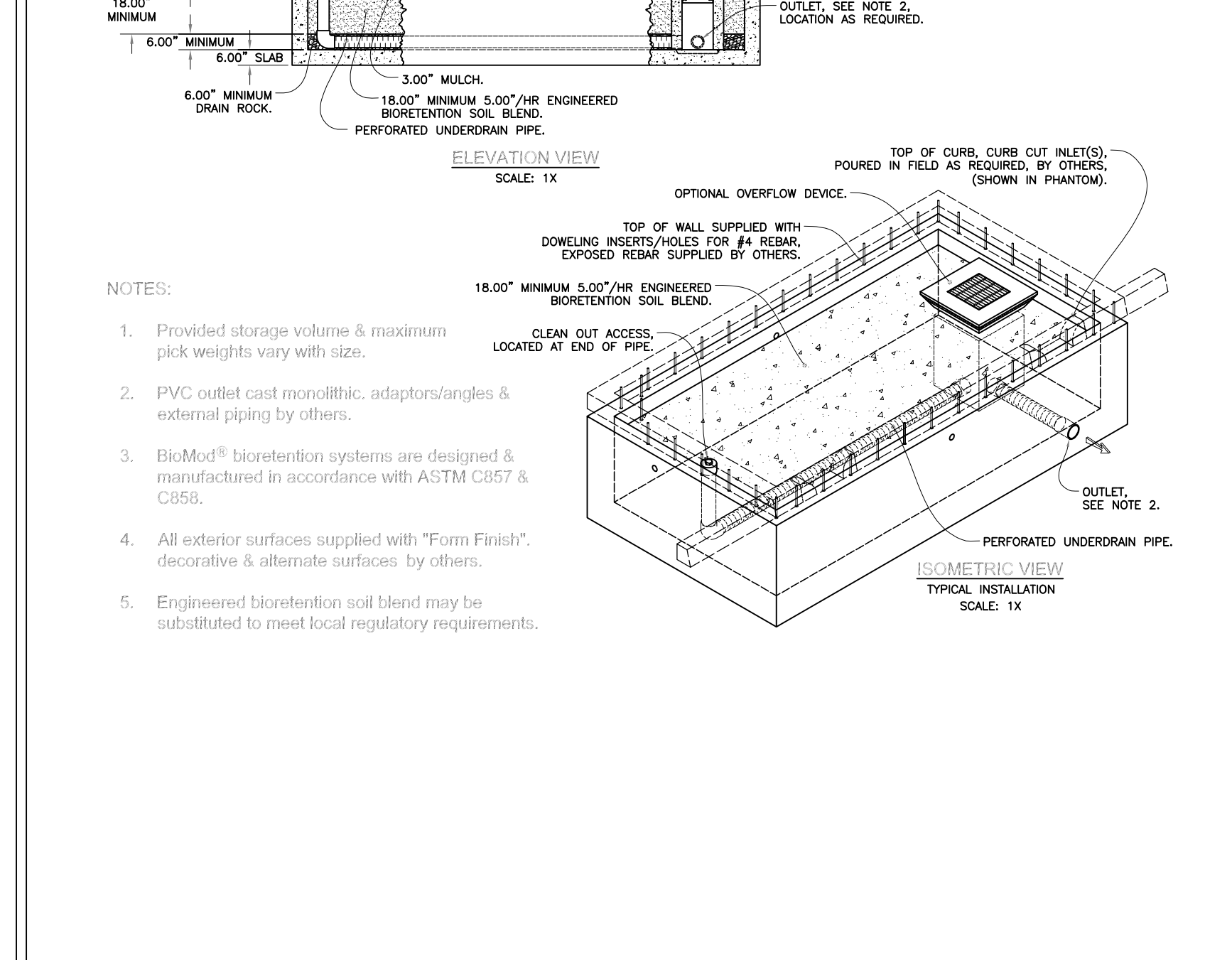
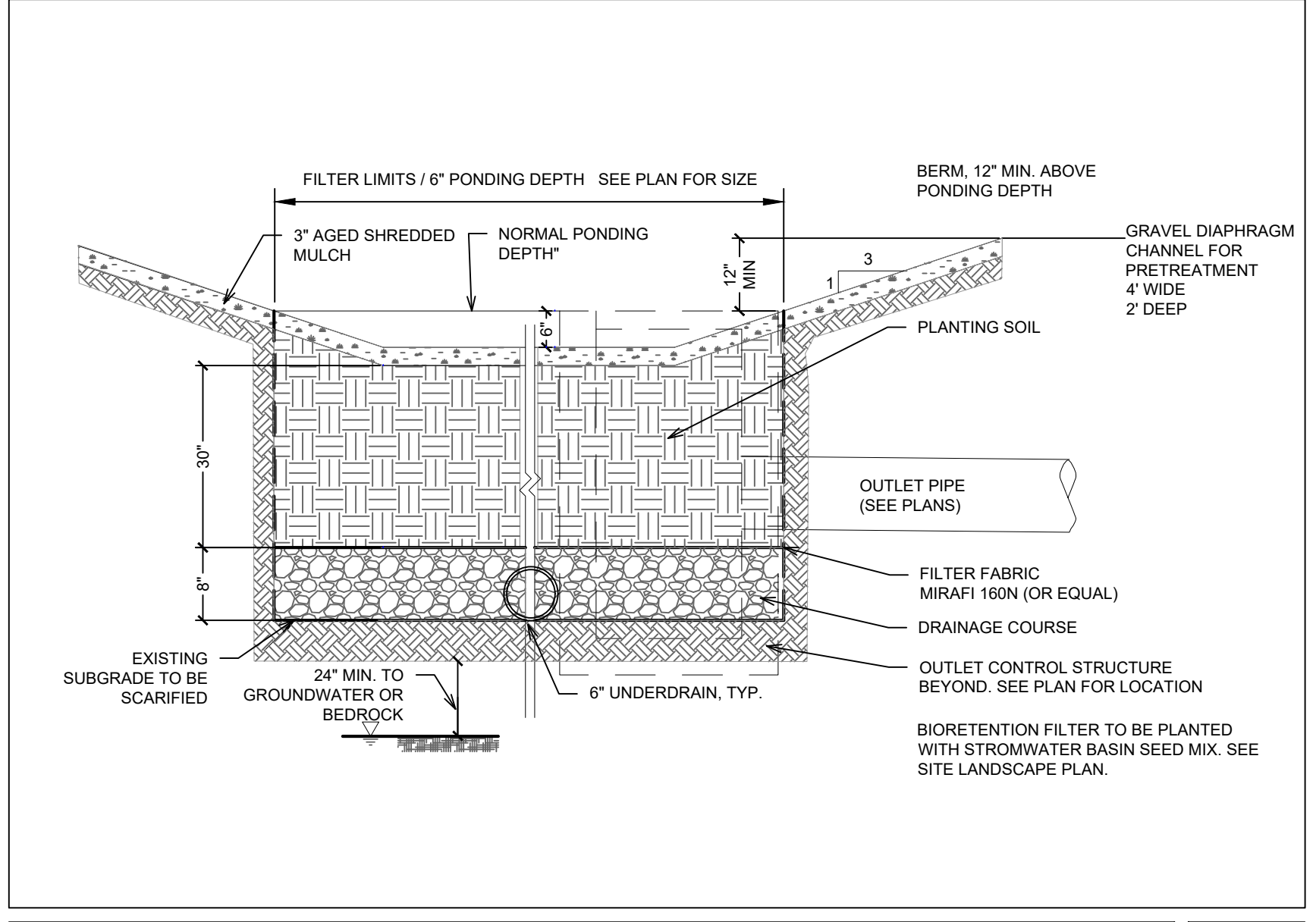
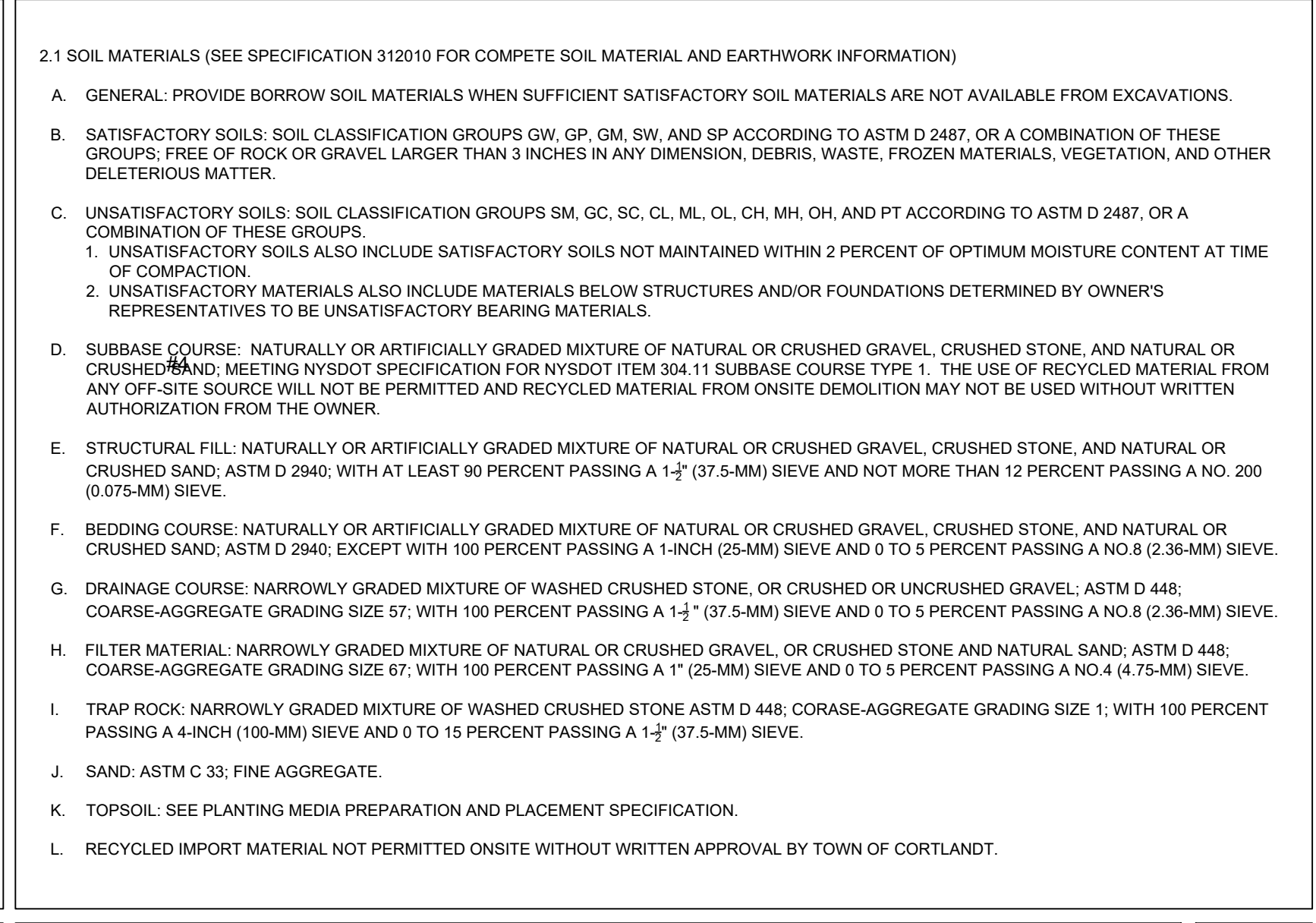
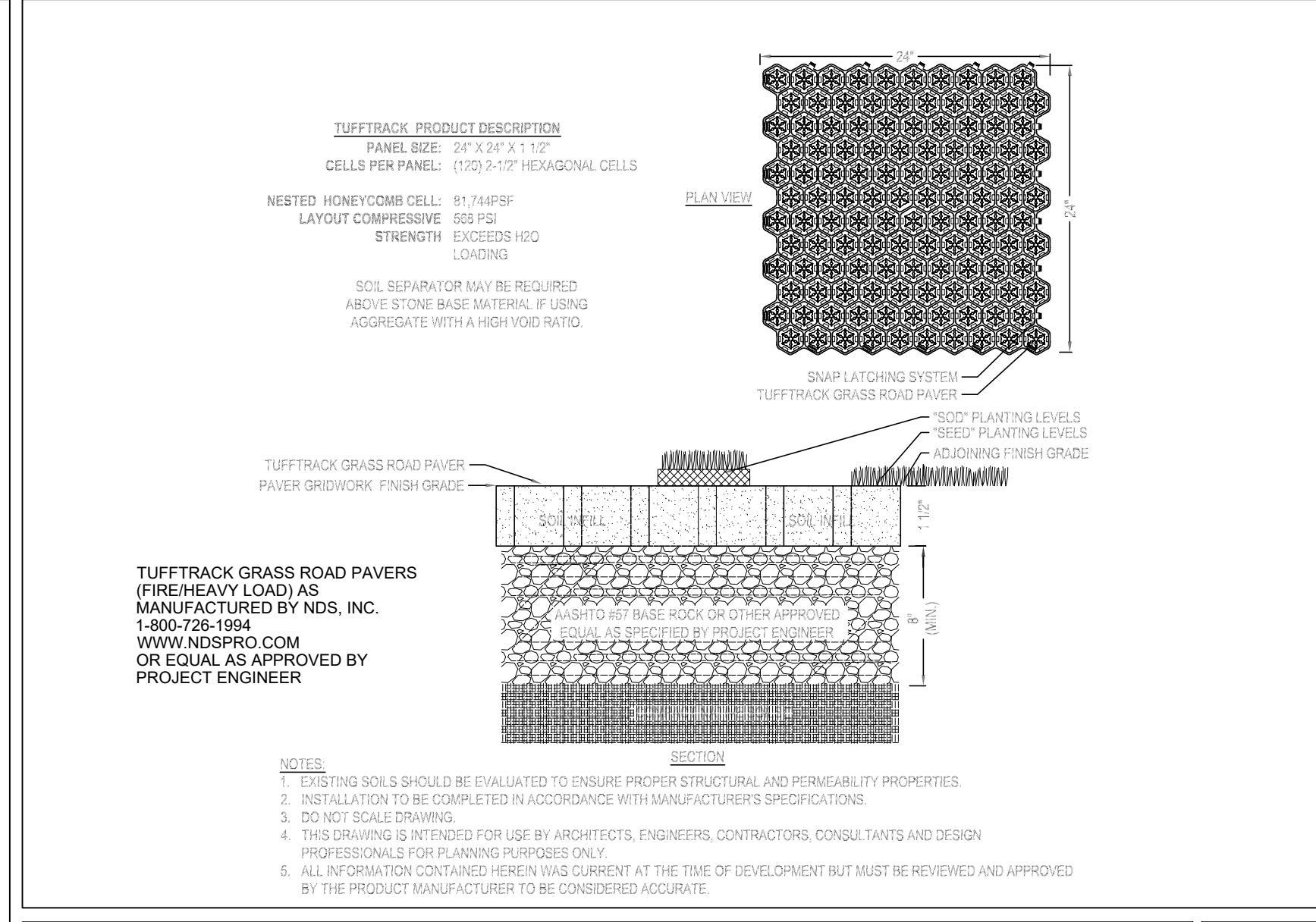
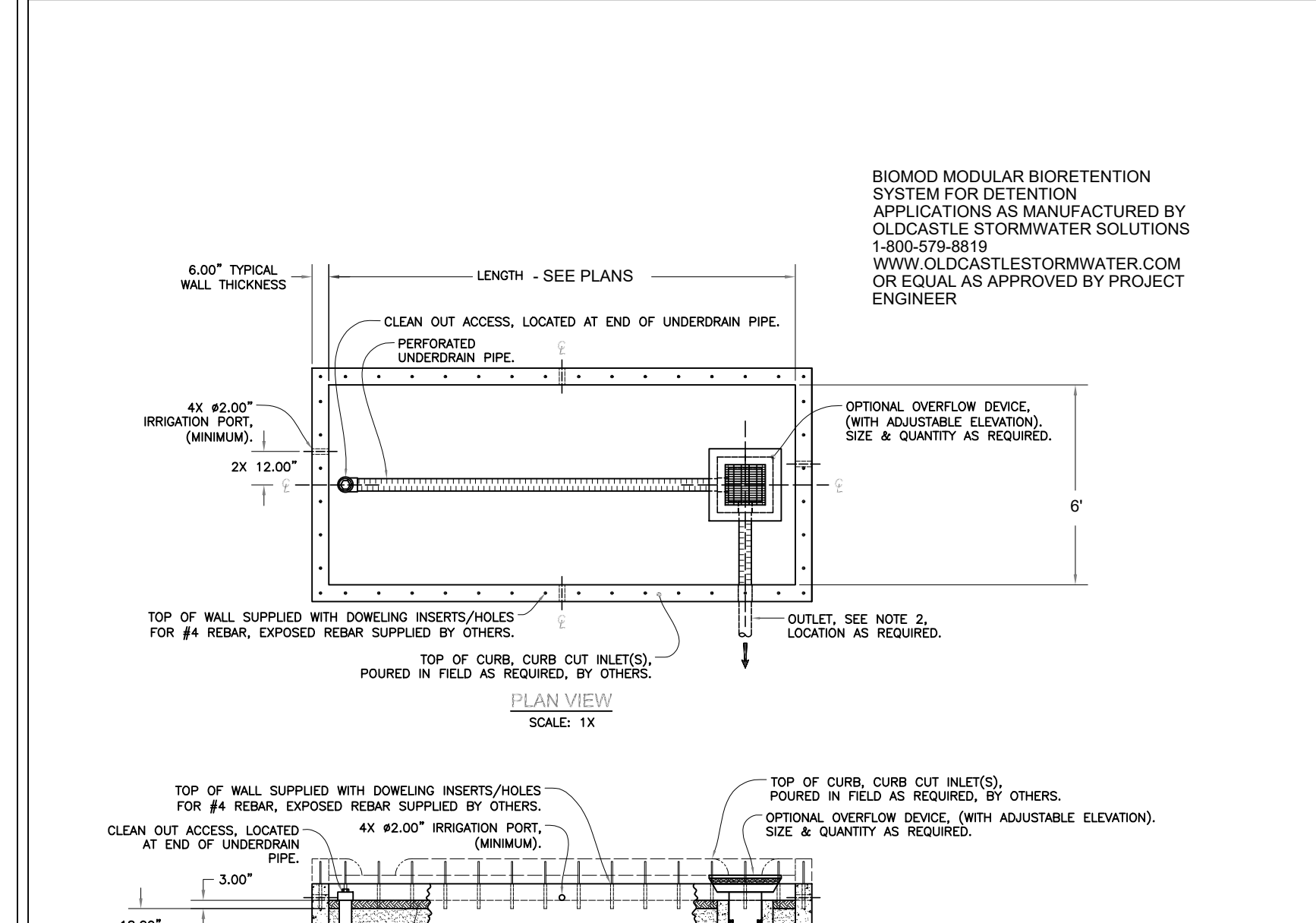


STORMWATER PRECAST MANHOLE
SCALE: N.T.S. 5

TRENCH DETAIL (STORM / SEWER / WATER)
SCALE: N.T.S. 6

DRAIN INLET (DI) / YARD DRAIN (YD)
SCALE: N.T.S. 7

GRASS SWALE
SCALE: N.T.S. 8



PRECAST STORMWATER PLANTER
SCALE: N.T.S. 9

DETAIL
SCALE: N.T.S. 13

DETAIL
SCALE: N.T.S. 14

DETAIL
SCALE: N.T.S. 15

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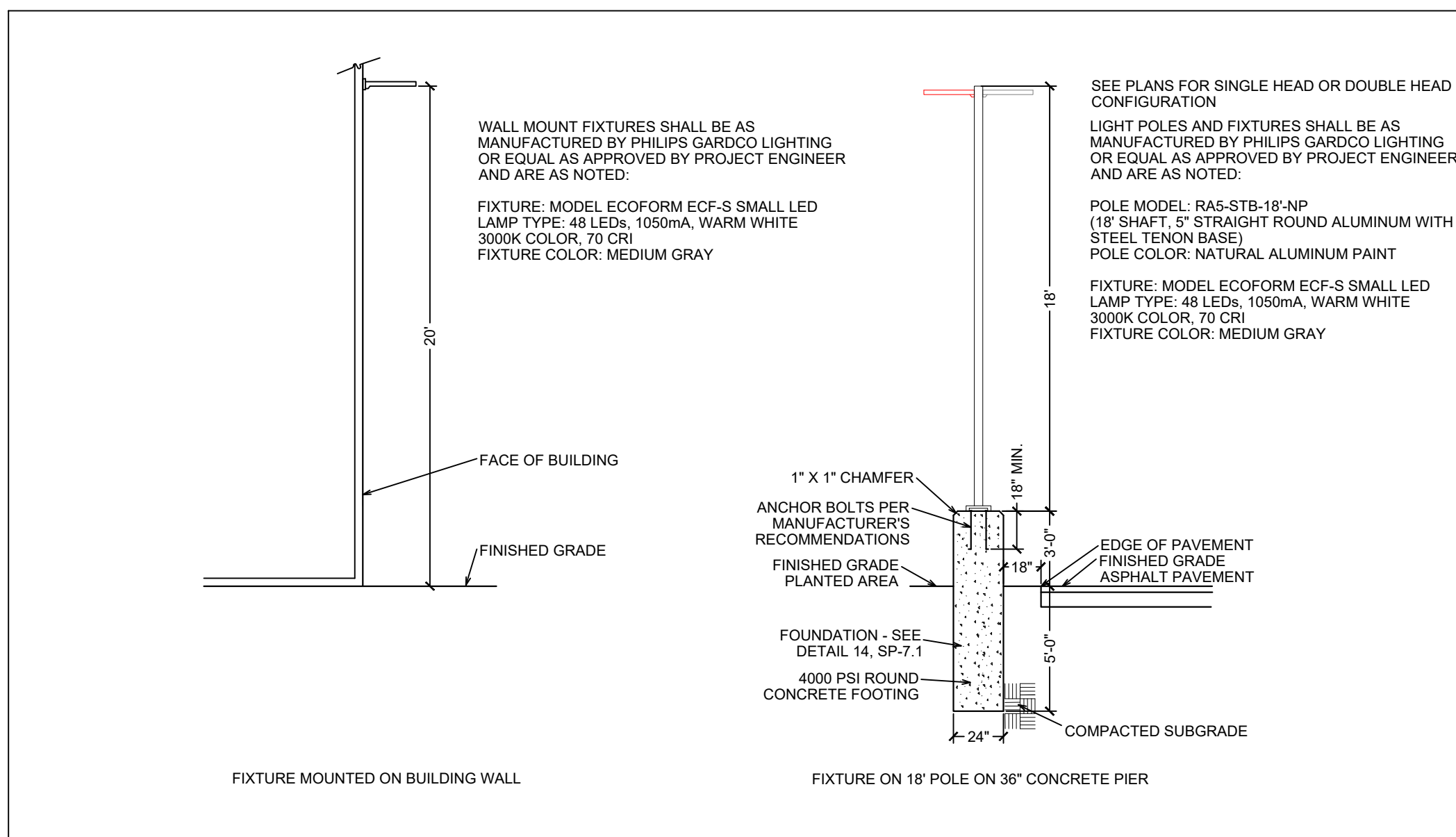
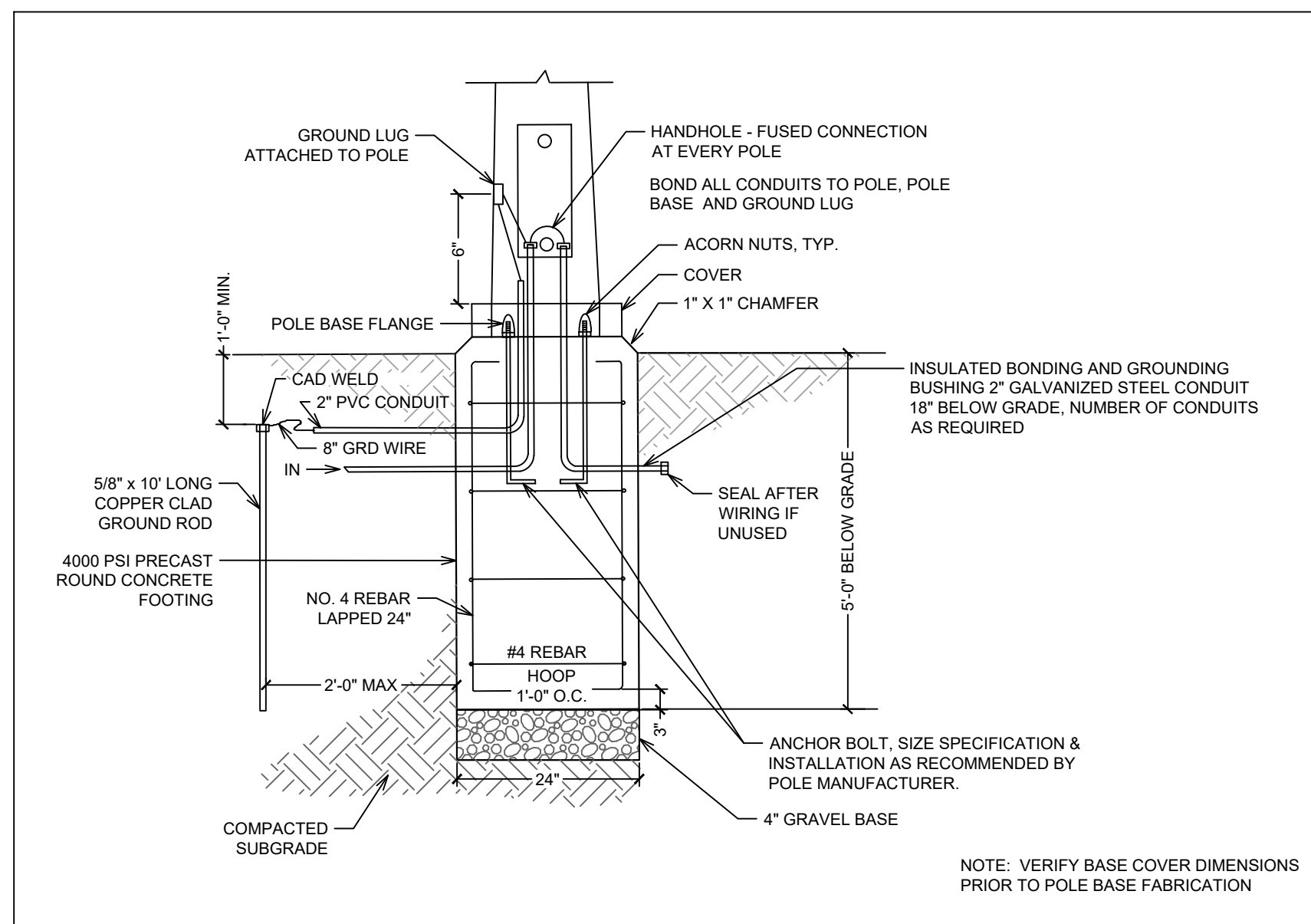
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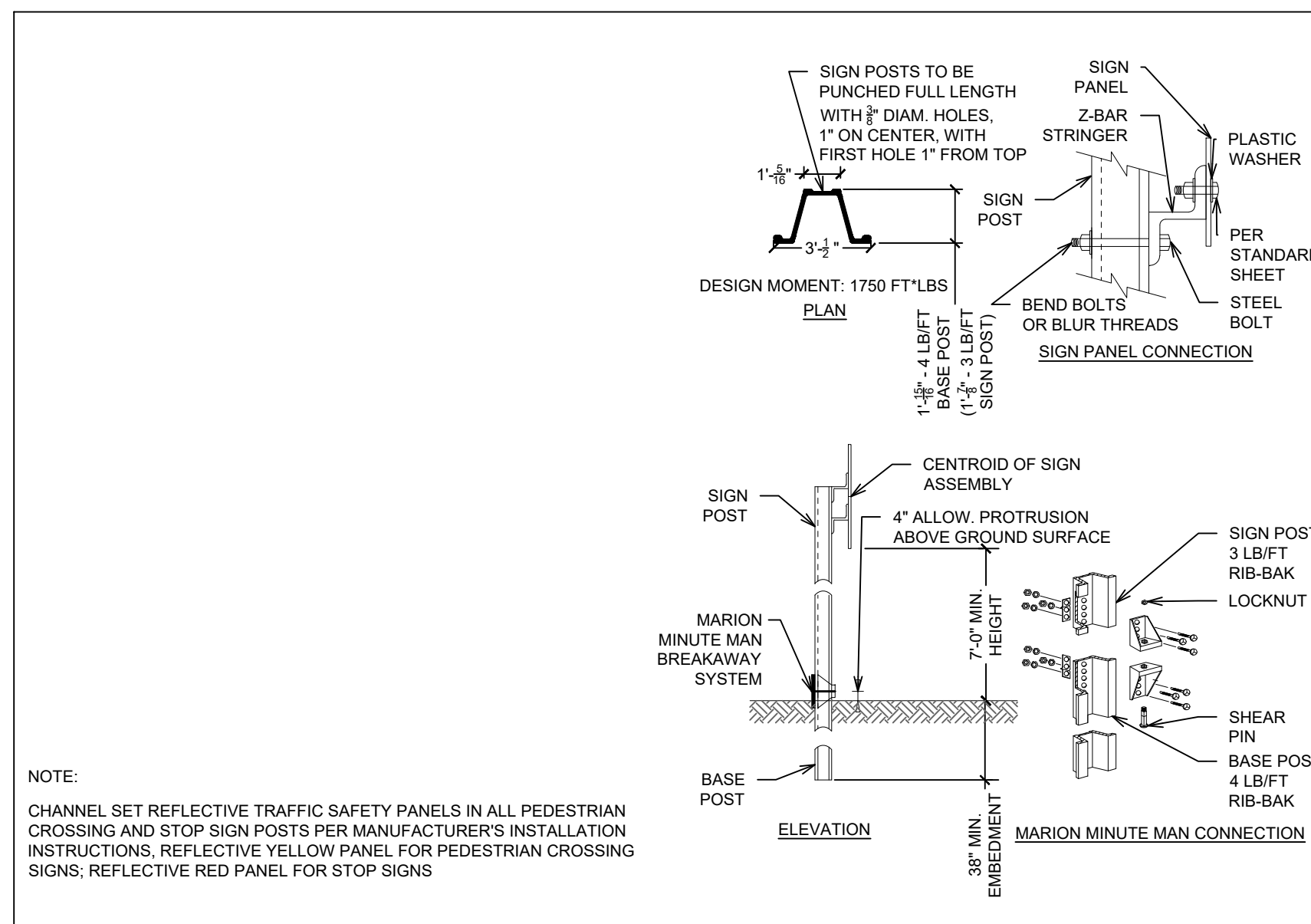


NOTE:
1. SUBSTITUTIONS SUBMITTED FOR APPROVAL REVIEW BY PROJECT ENGINEER MUST HAVE SAME FIXTURE STYLE, WATTAGE, COLOR TEMPERATURE AND OR AS SPECIFIED FIXTURE. PRIOR TO SUBSTITUTION REQUEST, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE PROPOSED SUBSTITUTION ACHIEVES THE IESNA RECOMMENDATIONS NOTED ON SP-6.0 WITHOUT REQUIRING CHANGES TO THE SITE PLAN OR ARCHITECTURE AND OBTAINS OWNER APPROVAL.
2. THE CONTRACTOR SHALL ALSO OBTAIN WRITTEN VERIFICATION FROM THE MUNICIPALITY THAT THE CHANGES DO NOT REQUIRE AN AMENDMENT OR REAPPROVAL OF THE APPROVED SITE PLAN AND/OR ARCHITECTURAL BUILDING PLAN APPROVALS.
3. SUBMIT CUT SHEETS/SHOP DRAWINGS OF FOOTINGS, POLES AND FIXTURES TO PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ORDERS. POLES MUST BE CENTERED ON POLE BASES OR THEY WILL BE REJECTED.
4. SEE LIGHTING SCHEDULE FOR ADDITIONAL INFORMATION.

POLE QUANTITY:
4 18" POLES, D1 (ONE WAY DRILL)
1 18" POLE, D2@90 (TWO WAY DRILL, 90)

LIGHTING SCHEDULE			
SYMBOL	QUANTITY	FIXTURE POSITION	ORDER NUMBER*
T1	1	WALL MOUNT	ECF-S-48L-1A-WW-G2-WS-4-MGY
2	2	SINGLE	ECF-S-48L-1A-WW-G2-AR-4-MGY
2	2	SINGLE	ECF-S-48L-1A-WW-G2-AR-5-MGY
1	1	DOUBLE AT 90	ECF-S-48L-1A-WW-G2-AR-4-MGY

*VOLTAGE TO BE DETERMINED



LIGHT POLE FOUNDATION
SCALE: N.T.S.

1

SITE LIGHTING
SCALE: N.T.S.

2

SIGNAGE
SCALE: N.T.S.

3

SIGN LEGEND

NO.	DESCRIPTION	IMAGE	MUTCD NO.	SIZE
1	STOP SIGN		R1-1C	30"X30"
2	DO NOT ENTER		R5-1	30"X30"
3	ACCESSIBLE PARKING SPACE		R7-8	12"X18"
4	NO PARKING		R7-1D	12"X18"
5	ONE WAY		R6-1(L)	36"X12"
6	NO LEFT TURN		R3-2	30X30

TITLE
SCALE: N.T.S.

6

TITLE
SCALE: N.T.S.

7

SIGN SCHEDULE
SCALE: N.T.S.

4

TITLE
SCALE: N.T.S.

6

TITLE
SCALE: N.T.S.

8

TITLE
SCALE: N.T.S.

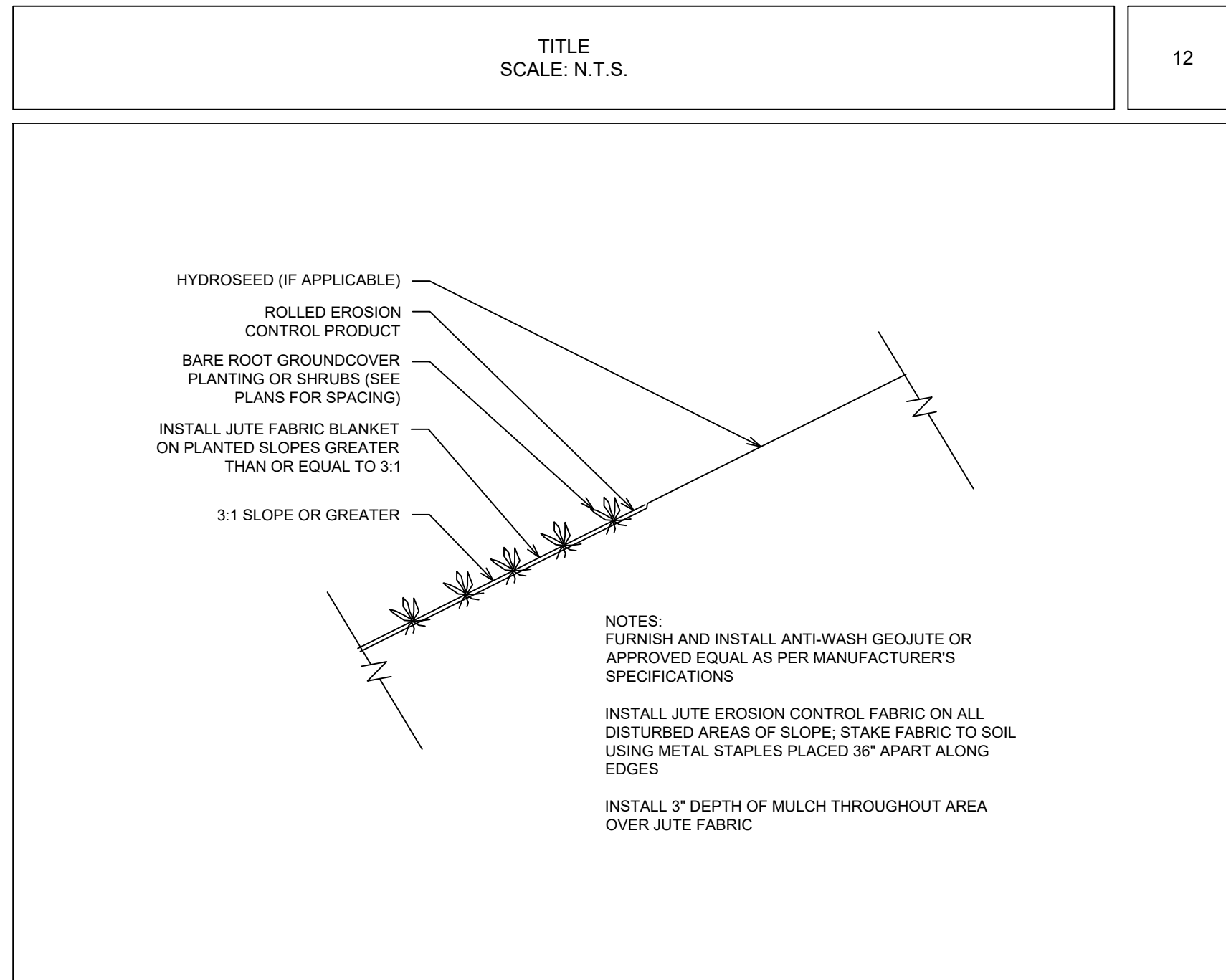
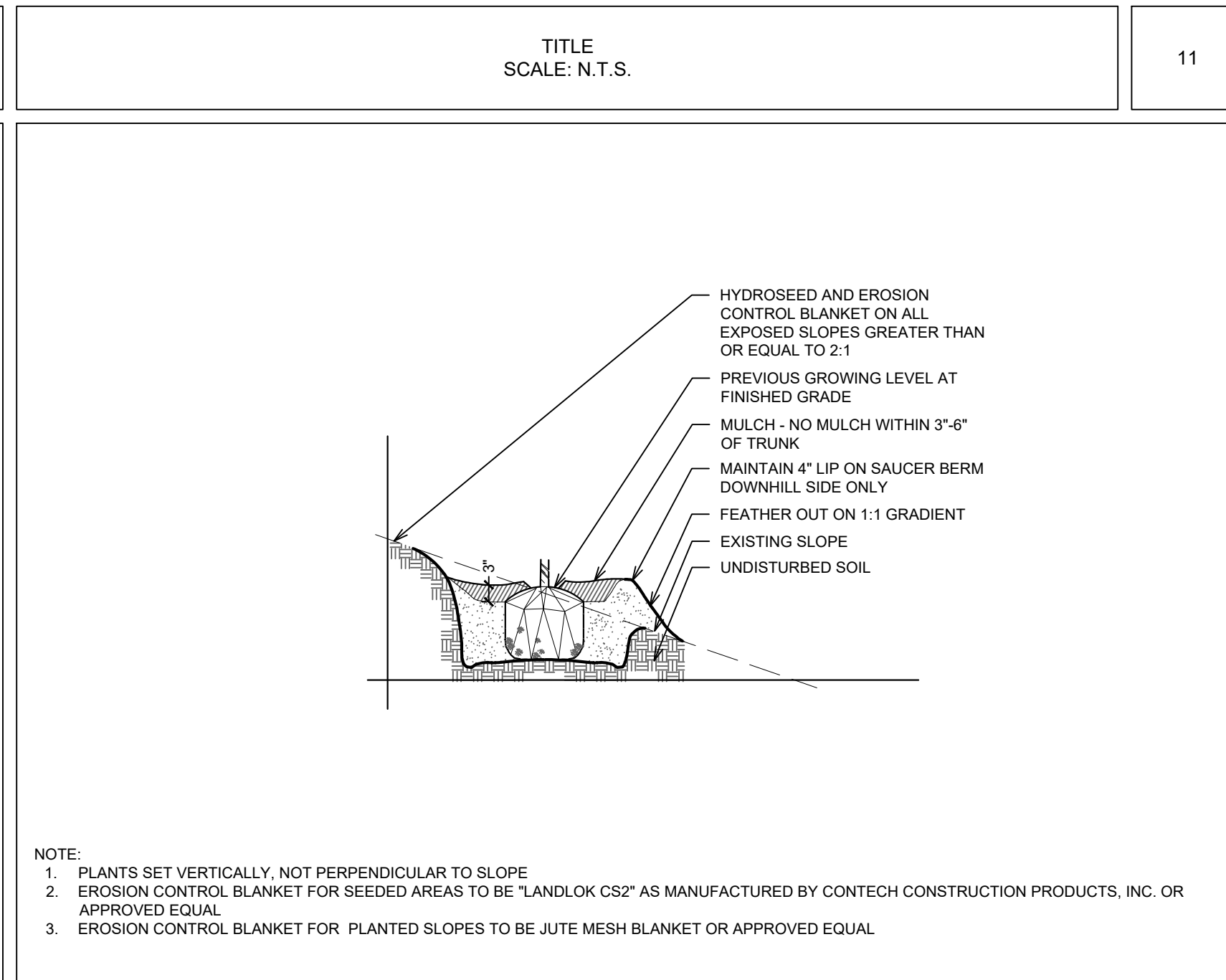
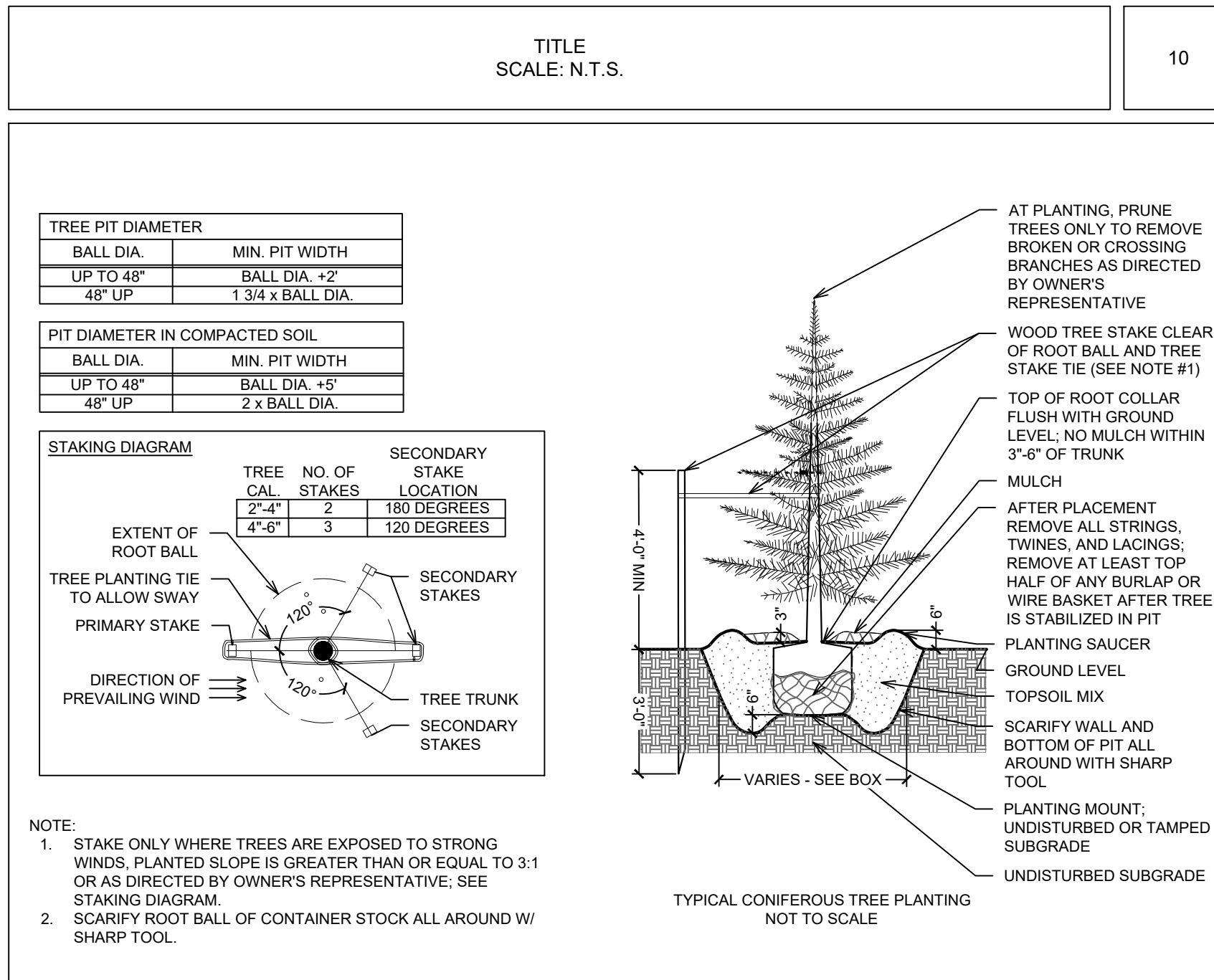
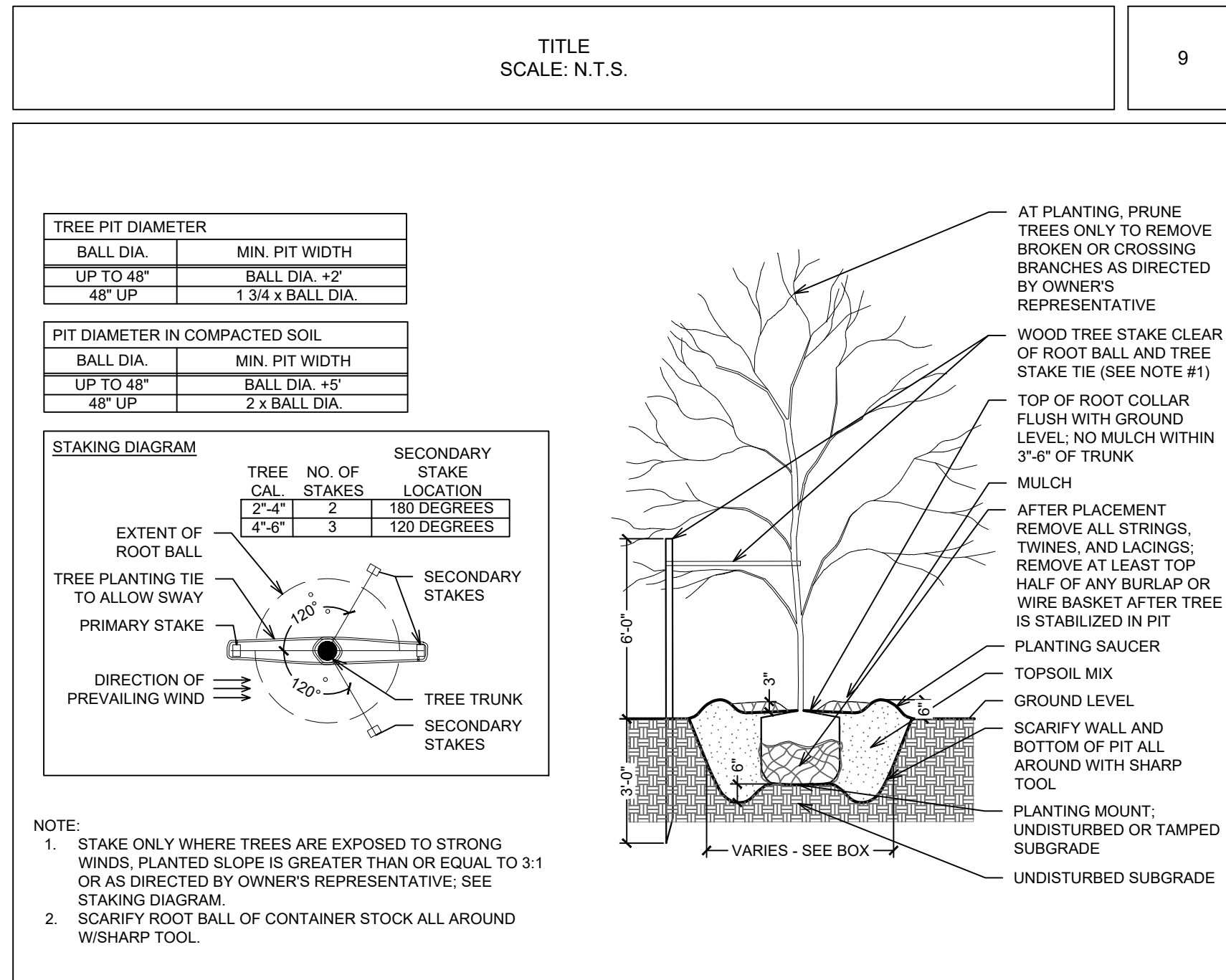
9

TITLE
SCALE: N.T.S.

10

TITLE
SCALE: N.T.S.

11



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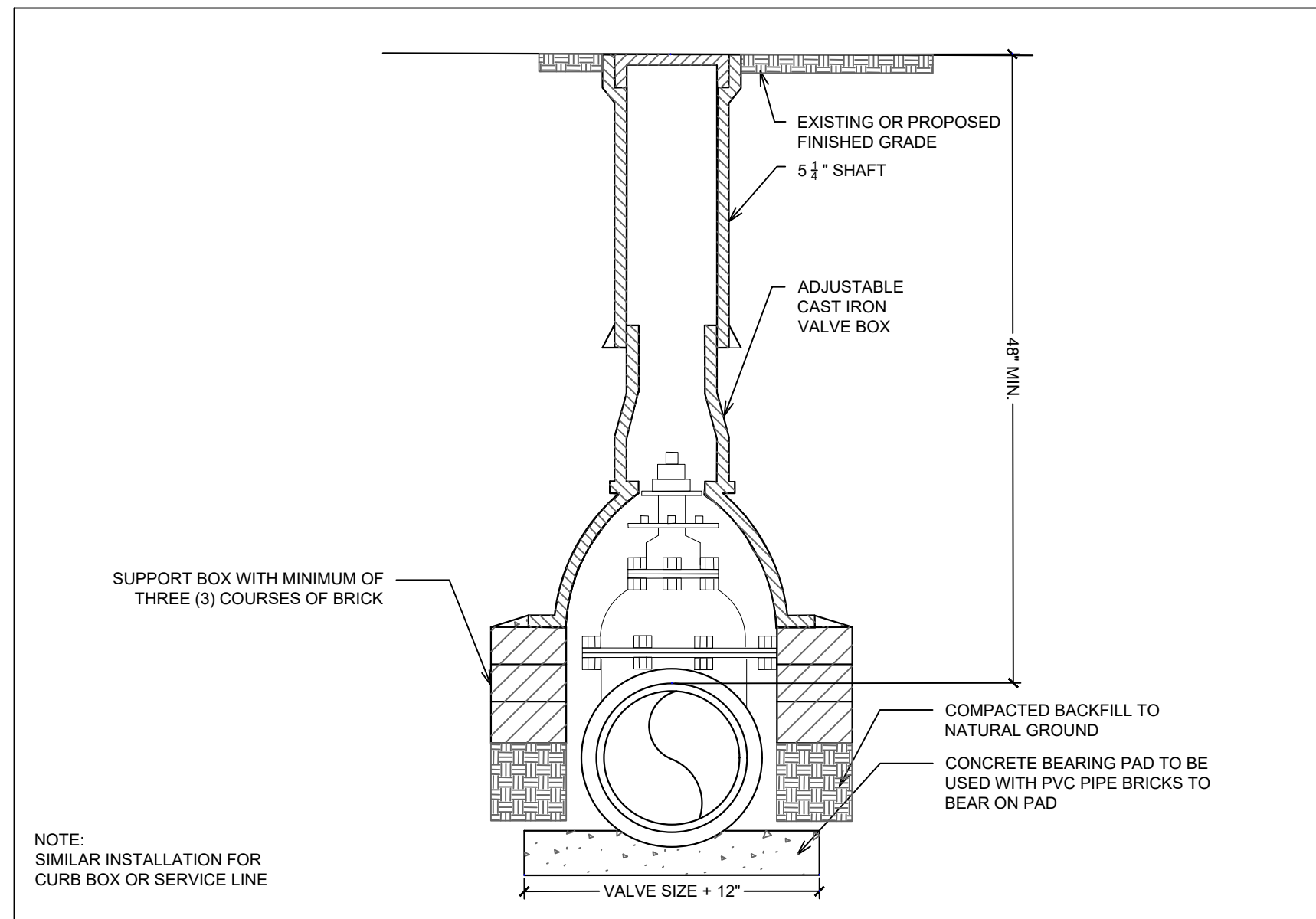
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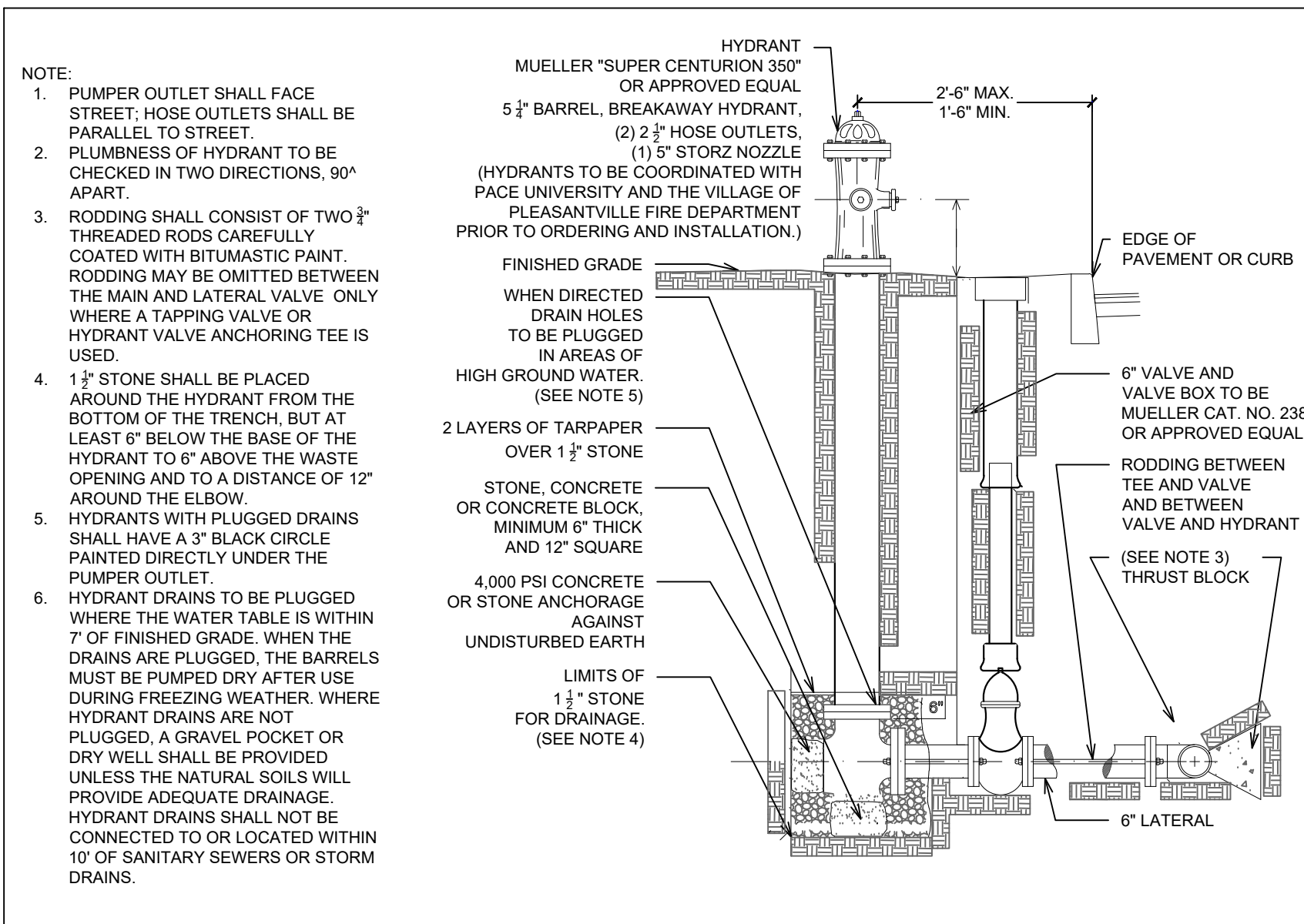
STATE OF NEW YORK
DIVISION OF PROFESSIONAL SERVICES
REGISTERED PROFESSIONAL ENGINEER
No. 064469

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CHECKED BY: GMS
DATE: 09/17/18

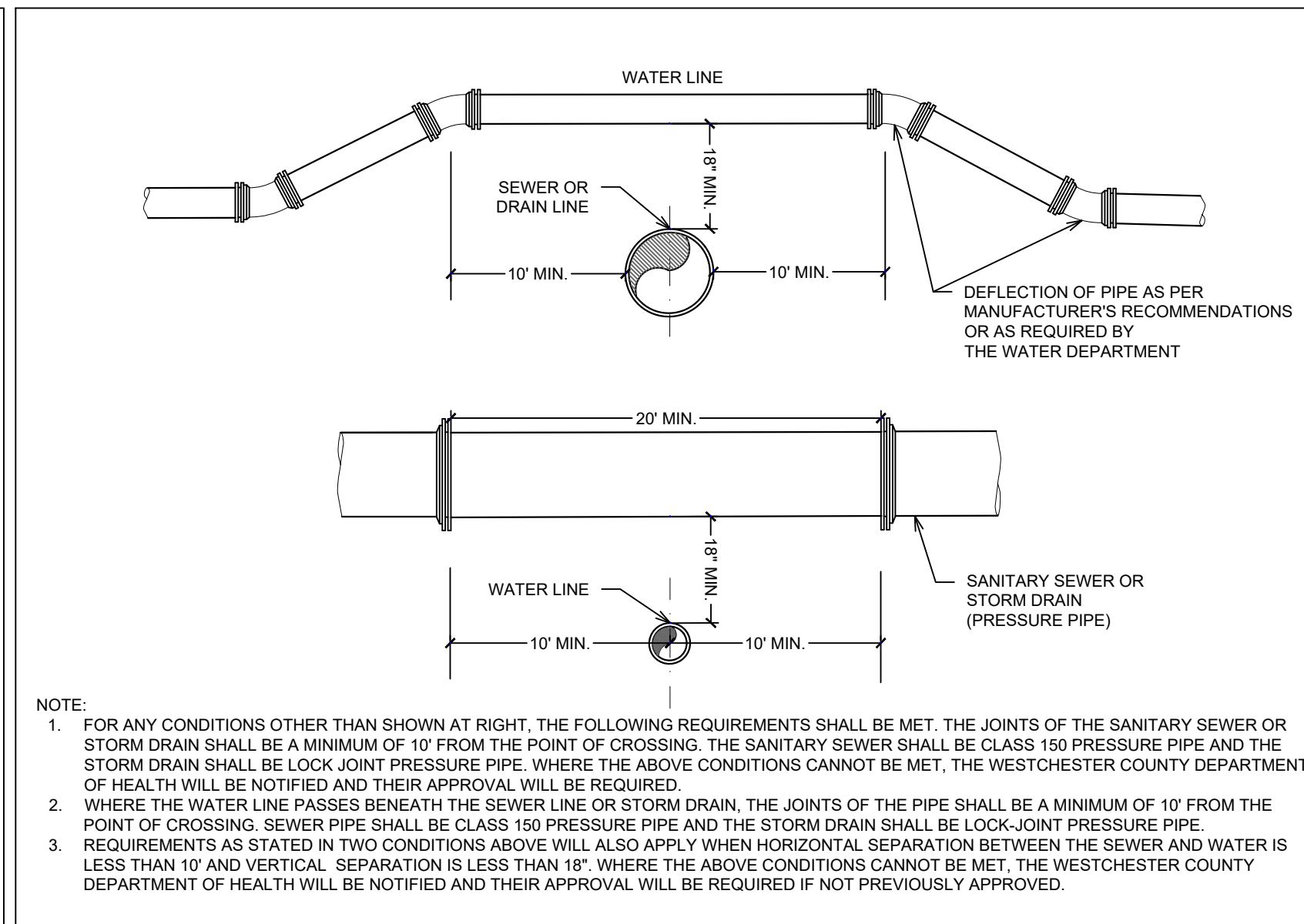
SP-7.2



TYPICAL VALVE INSTALLATION BOX
SCALE: N.T.S. 1



HYDRANT SETTING
SCALE: N.T.S. 2



CROSSING OF WATER LINE AND STORM / SANITARY SEWER
SCALE: N.T.S. 3

WATER MAIN NOTES

1. WATER MAIN SHALL HAVE MINIMUM OF 4'-0" COVER.
2. DEFLECTION OF JOINTS ON WATER MAINS SHALL NOT EXCEED 50% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER, OR AS ORDERED BY THE ENGINEER.
3. ALL HORIZONTAL AND VERTICAL BENDS REQUIRE THRUST BLOCKS. SEE SCHEDULE THIS SHEET FOR MINIMUM REQUIREMENTS.
4. ALL PIPING, VALVES, HYDRANTS, FITTINGS AND WATER MAIN SHOP DRAWINGS SHALL BE APPROVED BY THE WATER DEPARTMENT. FITTINGS SHALL BE FULL BODY.
5. ALL WATER MAINS TO BE DISINFECTED IN ACCORDANCE WITH A.W.W.A. SPECIFICATION C651-96, EXCEPT FOR SECTION 5.1 LATEST REVISION. ACCEPTABLE RESULTS OF BACTERIOLOGICAL ANALYSIS OF SAMPLES OF WATER COLLECTED FROM THE NEW DISTRIBUTION MAIN AFTER DISINFECTION SHALL BE SUBMITTED TO THE TOWN OF CORTLANDT, AND THE WESTCHESTER COUNTY HEALTH DEPARTMENT PRIOR TO USE.
6. PRESSURE AND LEAKAGE TESTS WILL BE DONE IN ACCORDANCE WITH THE LATEST A.W.W.A. STANDARDS.
7. THE PROPOSED WATER MAIN WILL BE INSTALLED A MINIMUM OF 10'-0" HORIZONTALLY AND 18" VERTICALLY FROM ALL STORM AND SANITARY SEWERS, EXCEPT WHERE SHOWN ON PROFILE. 3" THICK CONCRETE ENCASEMENT SHALL BE USED WHERE THE MINIMUM SEPARATION DISTANCE IS NOT MET.
8. WATER MAINS SHALL BE DUCTILE IRON PIPE, CL.54, DOUBLE CEMENT LINING.
9. ALL PUSH ON JOINTS SHALL HAVE 2 BRONZE WEDGES.
10. ALL WATER MAIN PIPING, FITTINGS AND APPURTENANCES SHALL BE MADE IN THE USA.

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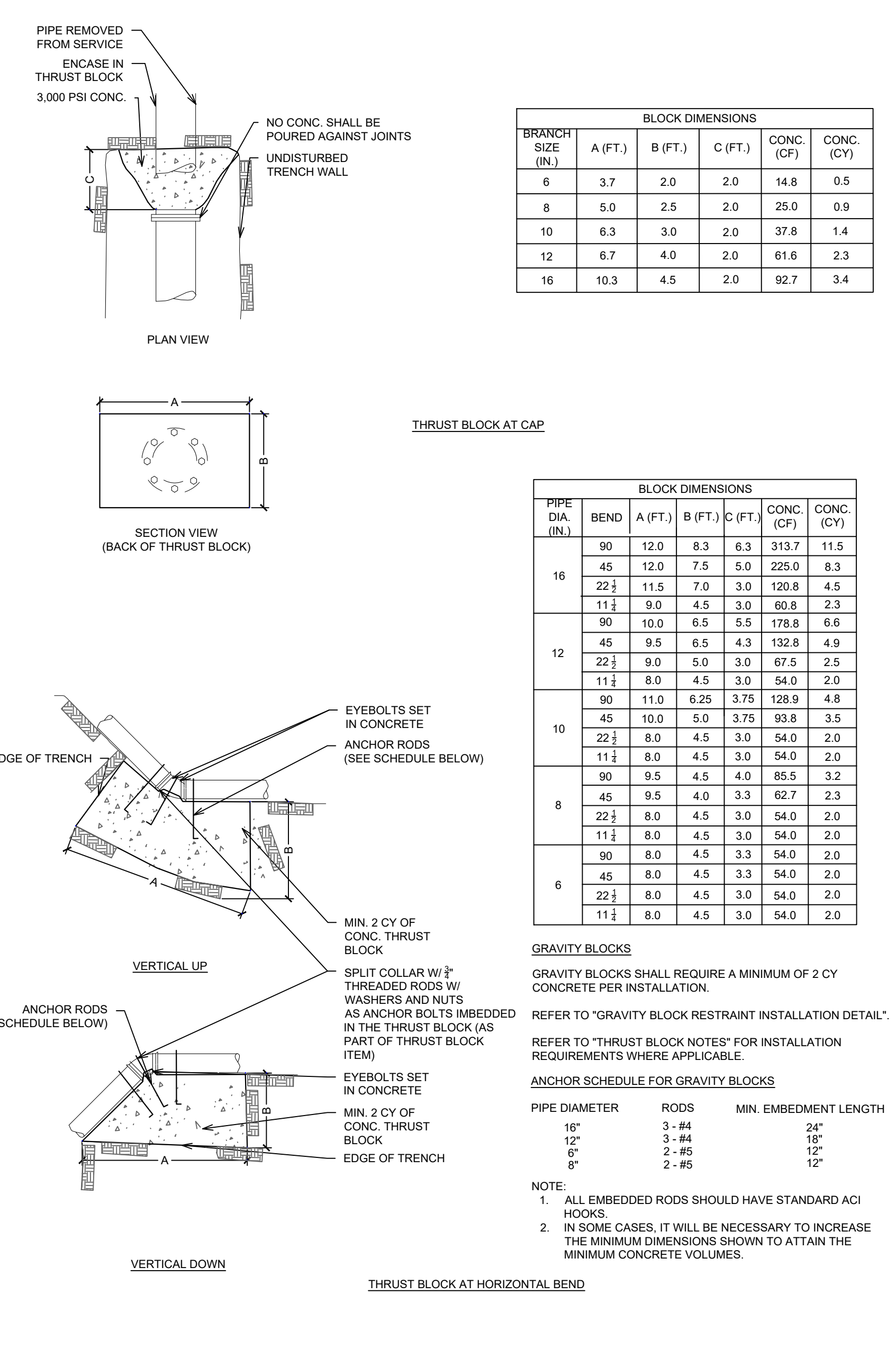
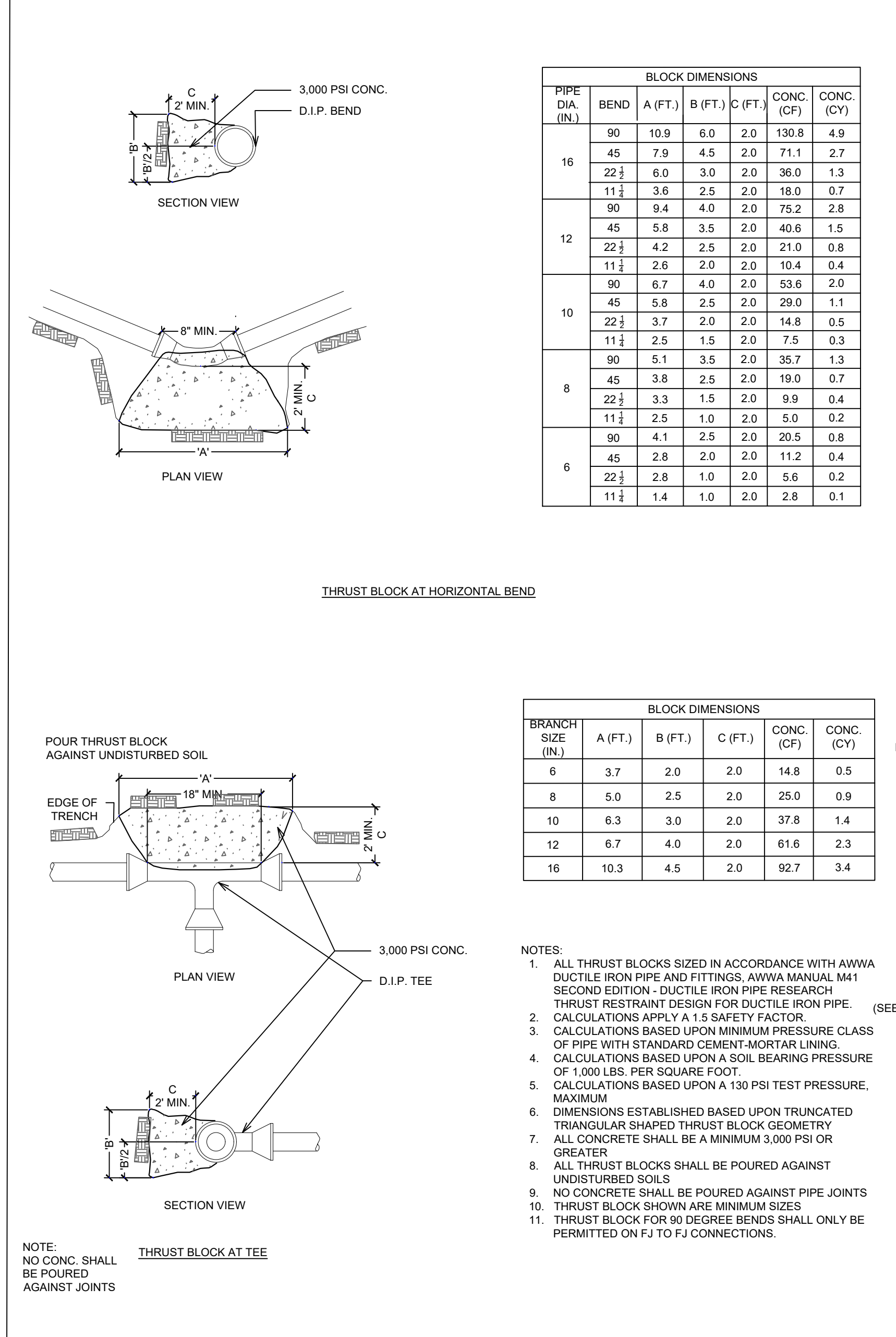
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THRUST BLOCK
SCALE: N.T.S. 5

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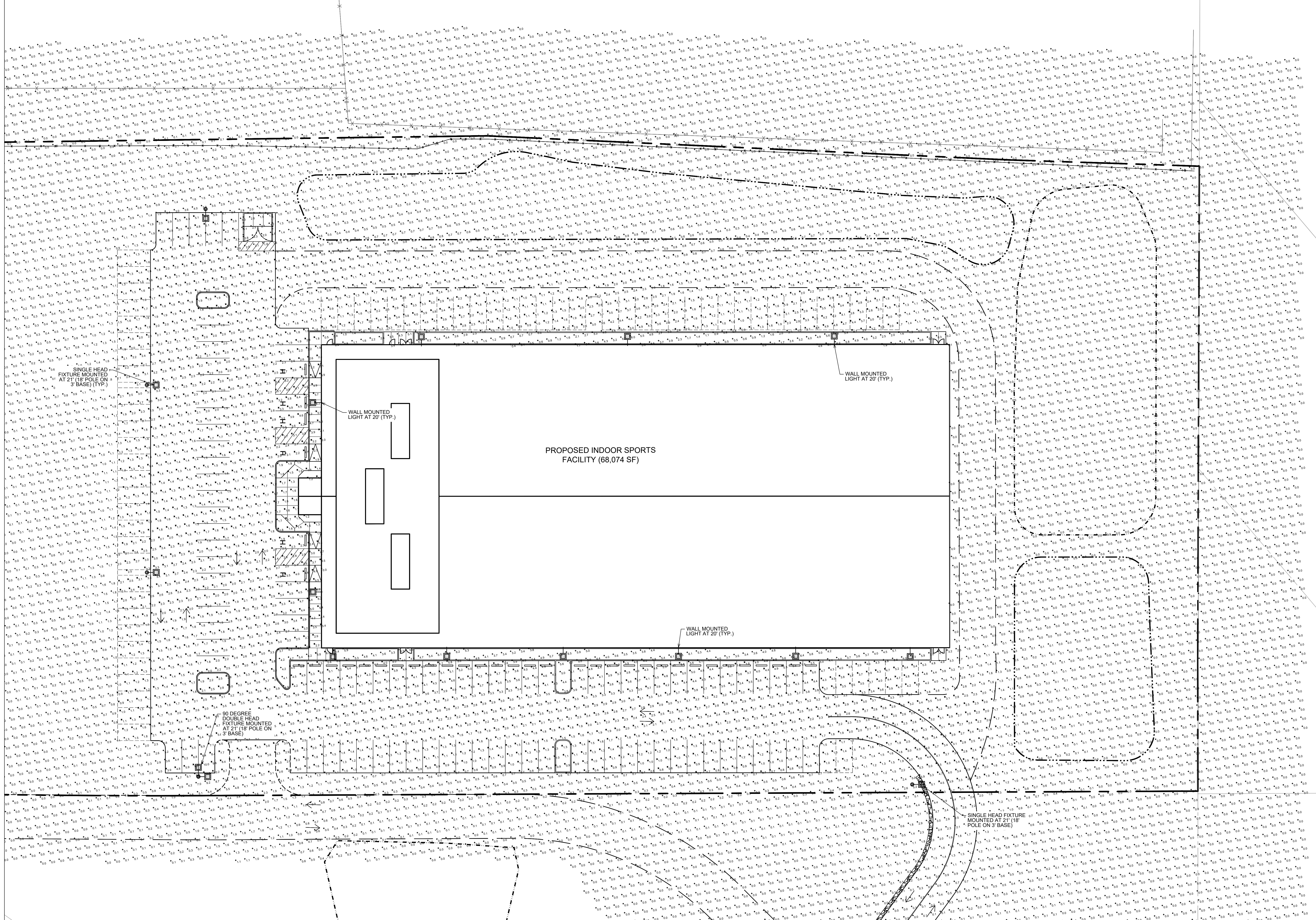
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 DRAWING NO.:

SP-7.3

STATE OF NEW YORK
 SEAFORD MARTIN SCHWALBE
 094409
 PROFESSIONAL ENGINEER



PROPOSED INDOOR SPORTS FACILITY (68,074 SF)

LIGHTING LEGEND	
SYMBOL	FIXTURE TYPE
	WALL MOUNT
	SINGLE ON POLE
	DOUBLE AT 90 ON POLE

DESCRIPTION	STATISTICS			
	AVG.	MAX.	MIN.	AVG./MIN.
IESNA RECOMMENDATION			0.6 FC	4:1
PARKING LOT	2.6 FC	11.0 FC	0.7 FC	3.7:1
NORTH LAND BANKED	1.7 FC	5.3 FC	0.6 FC	2.8:1
WEST LAND BANKED	1.8 FC	3.3 FC	0.9 FC	3.7:1
FRONT WALKWAY	3.0 FC	6.8 FC	1.0 FC	3.0:1

NOTE:
SEE LIGHTING DETAILS FOR LIGHTING SCHEDULE

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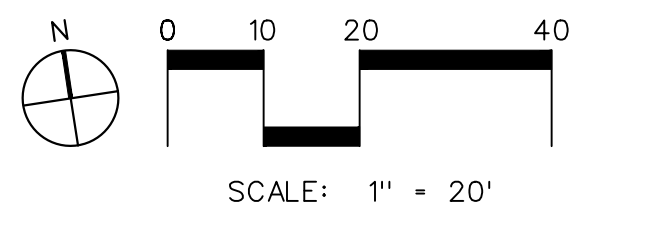
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SITE LIGHTING PHOTOMETRIC PLAN

DRAWING TITLE

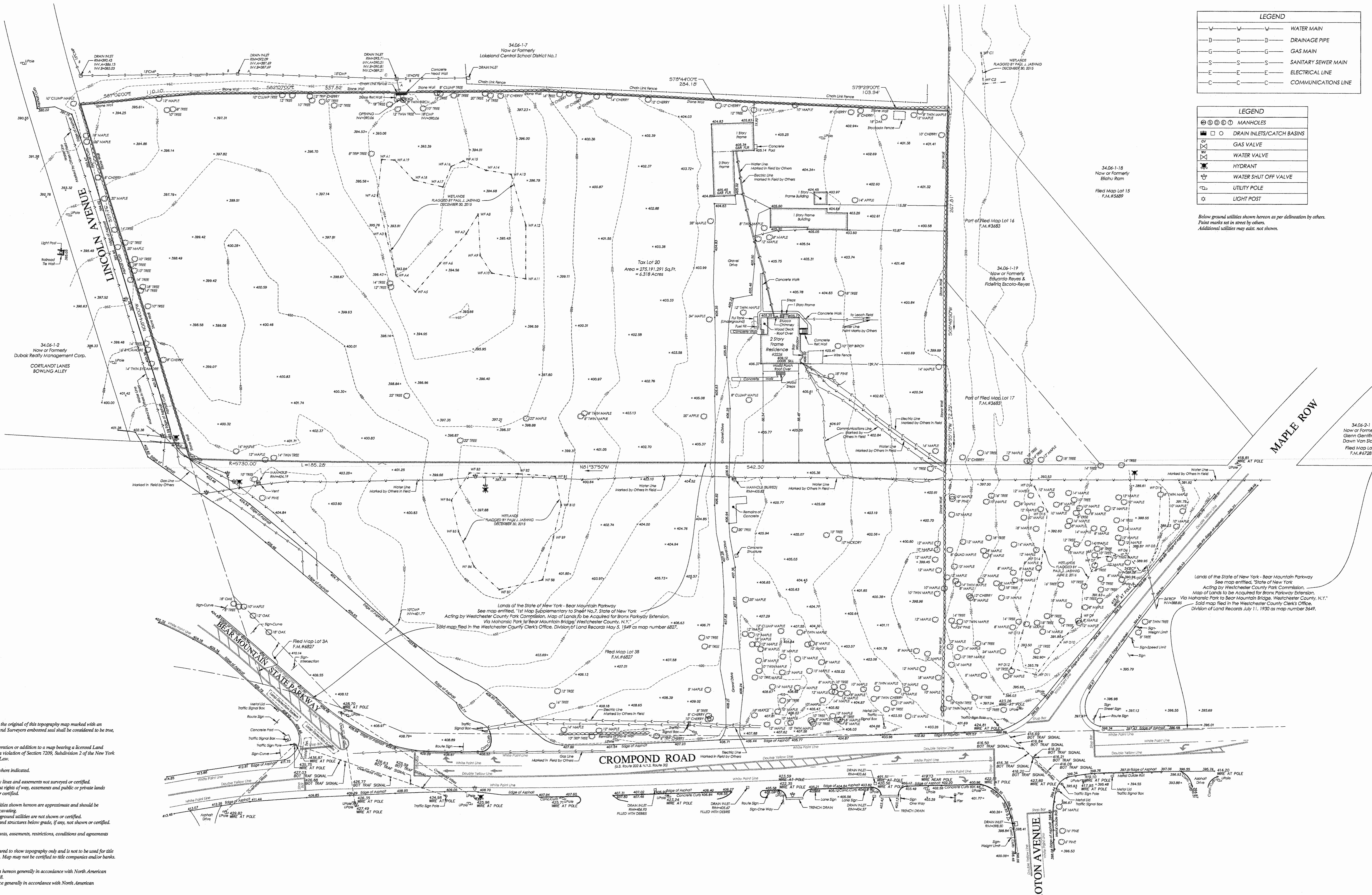
DRAWN BY: DMG CHECKED BY: GMS
PROJECT NO.: 802 DATE: 09/17/18
DRAWING NO.:

SP-8.0

LEGEND	
—W—W—	WATER MAIN
—D—D—	DRAINAGE PIPE
—G—G—	GAS MAIN
—S—S—	SANITARY SEWER MAIN
—E—E—	ELECTRICAL LINE
—C—C—	COMMUNICATIONS LINE

LEGEND	
⊙ ⊙ ⊙ ⊙ ⊙	MANHOLES
□ ○	DRAIN INLETS/CATCH BASINS
⊕	GAS VALVE
⊕	WATER VALVE
⊕	HYDRANT
⊕	WATER SHUT OFF VALVE
⊕	UTILITY POLE
⊕	LIGHT POST

Below ground utilities shown hereon as per delineation by others.
 Paint marks set in areas by others.
 Additional utilities may exist, not shown.



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a Licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Elevations shown hereon generally in accordance with North American Vertical Datum 85.

Property Reference generally in accordance with North American Datum 83.

Note: The deed bearing meridian of Tax Lot 20 shown hereon has been rotated +0°26'00" to be generally in accordance with North American Datum 83.

Surveyed in accordance with Deed Control Number 423470756.

Premises shown hereon designated on the Town of Cortland Tax Maps as Section 34.06, Block 1, Lot 20.

Property Address: 2226 Crompond Road
 Cortland Manor, N.Y. 16567

TOPOGRAPHY OF PROPERTY
TAX LOT 20
 SITUATE IN THE
 TOWN OF CORTLAND
 WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'
 GRAPHIC SCALE

1 inch = 30 ft.

Surveyed: January 15, 2016
 Map Prepared: January 20, 2016
 Map Revised: August 29, 2016 to show additional location, wetlands and topography

By: *[Signature]*
 New York State Licensed Land Surveyor No. 050064

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 (914) 769-8003 • (203) 622-8899

Project:	15-532	Field Survey By:	BC/CR
Drawn By:	DA	Checked By:	DM

OWNER / APPLICANT

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c/o Kruzikov Russo PLLC
350 Fifth Avenue, Suite 7230
New York, NY 10118

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LANDSCAPE ARCHITECT**

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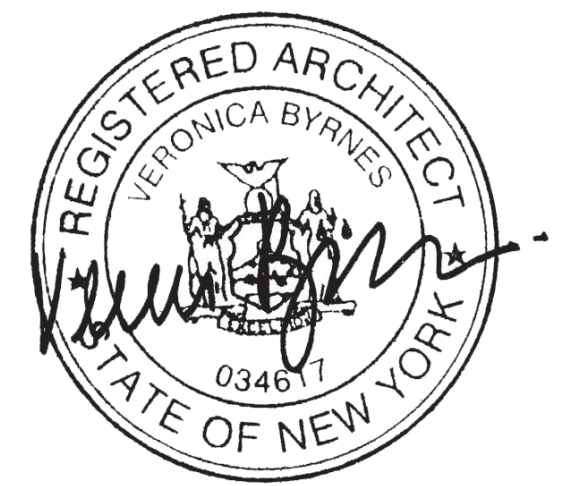
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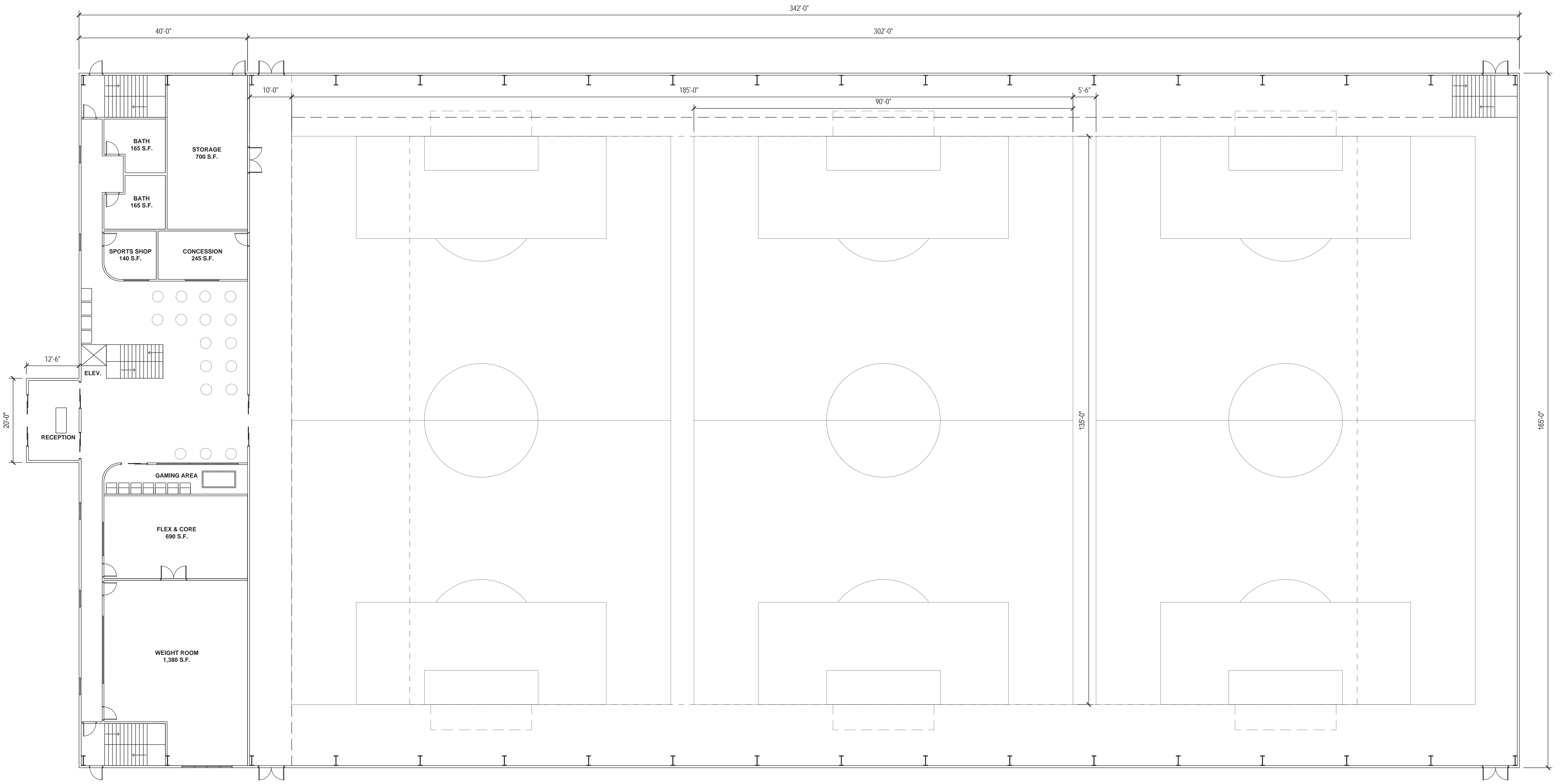
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DRAWING TITLE:

FIRST FLOOR PLAN

DRAWN BY:	CWP	CHECKED BY:	MCM
PROJECT NO.:	802	DATE:	6/14/17
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A-1.0



1 First Floor Plan
SCALE: 3/32" = 1'-0"

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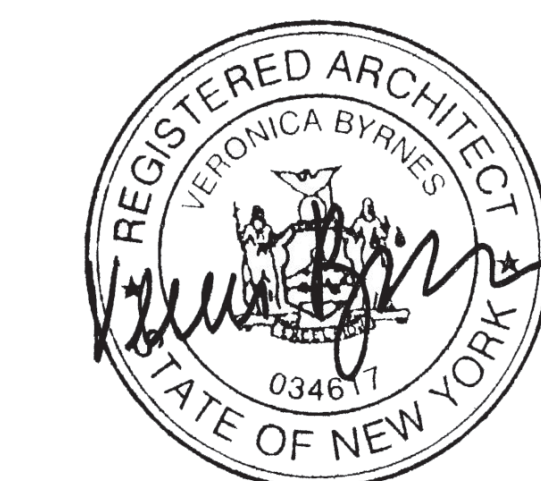
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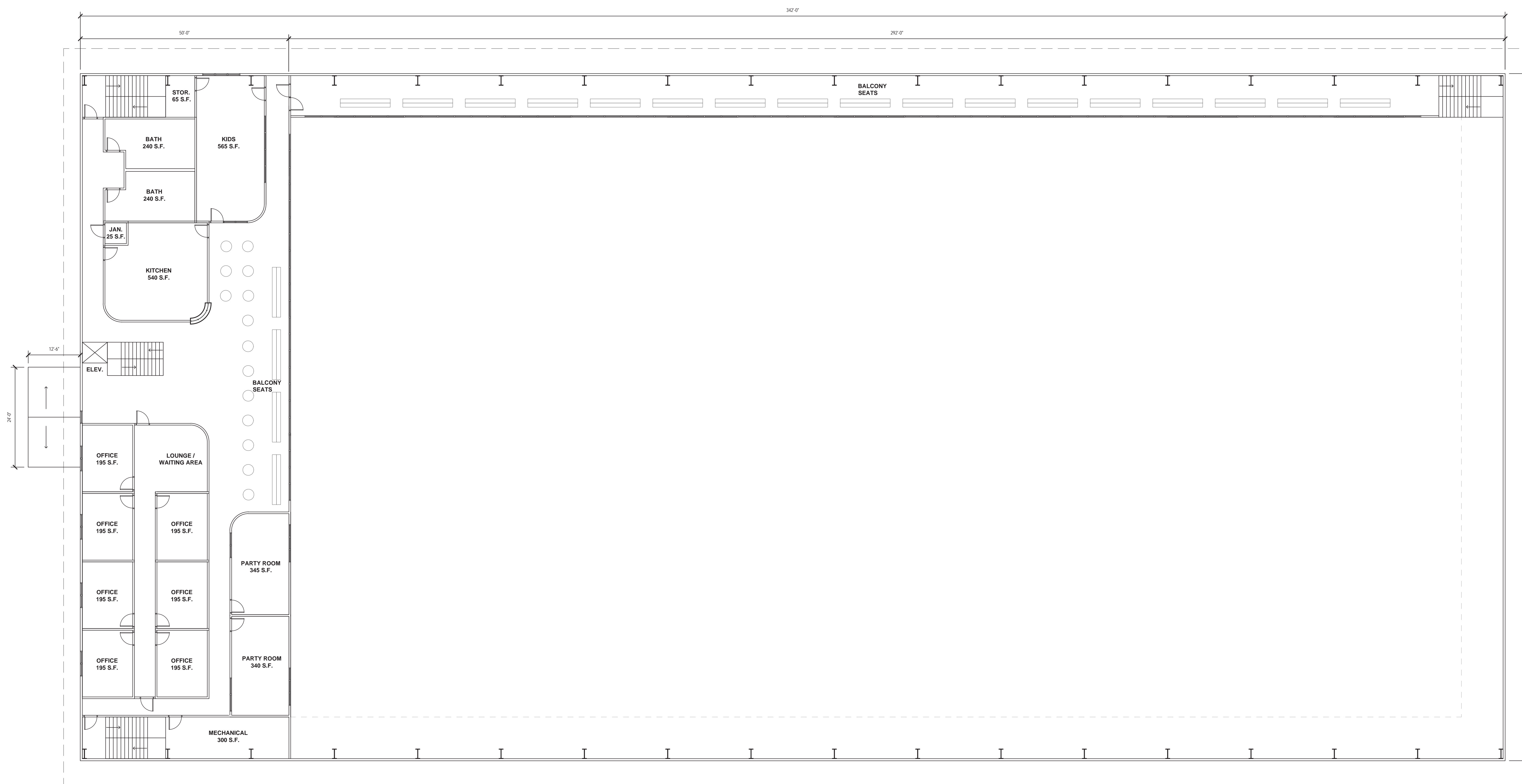
NO.	DATE	ISSUE

DRAWING TITLE:

SECOND FLOOR PLAN

DRAWN BY:	CWP	CHECKED BY:	MCM
PROJECT NO.:	802	DATE:	6/14/17
DRAWING NO.:			

A-1.1



1 Second Floor Plan
SCALE: 3/32" = 1'-0"

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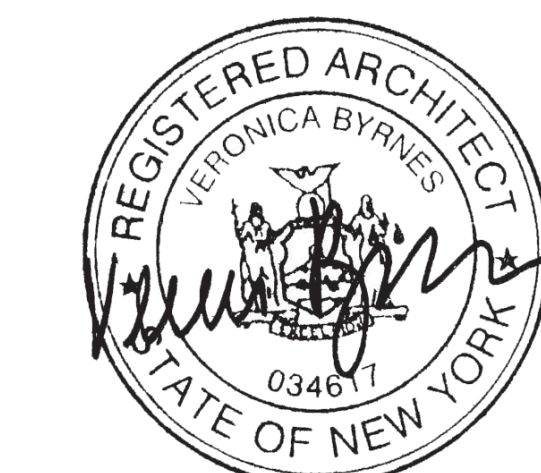
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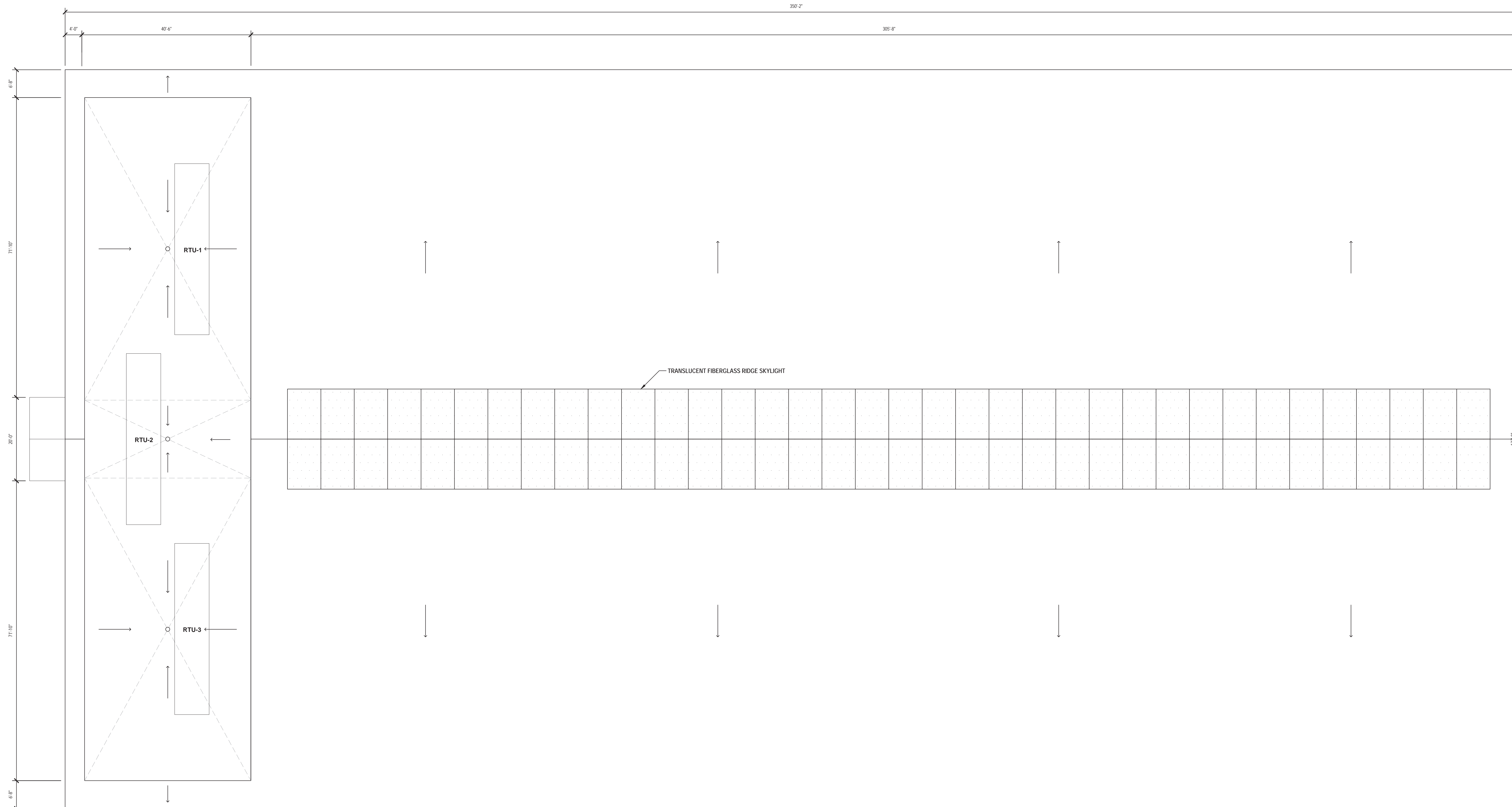
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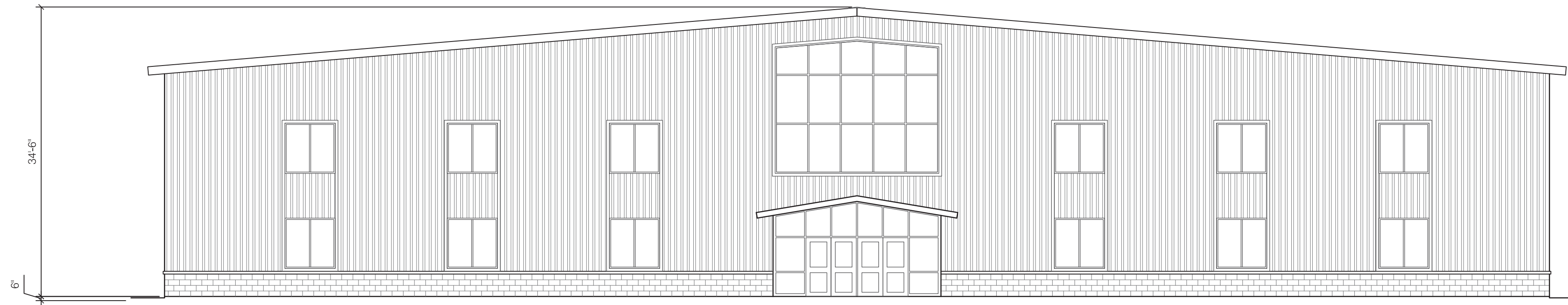
ROOF PLAN

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DRAWING NO.:			

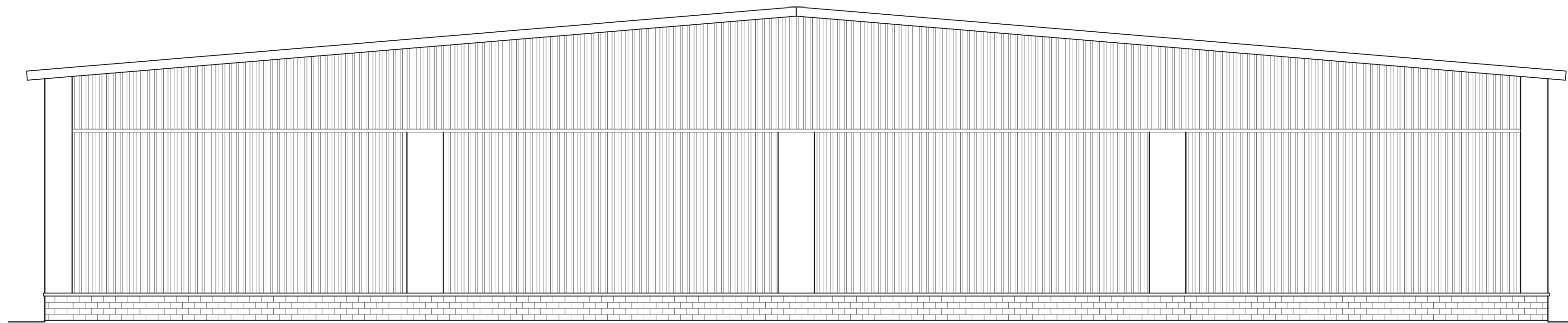
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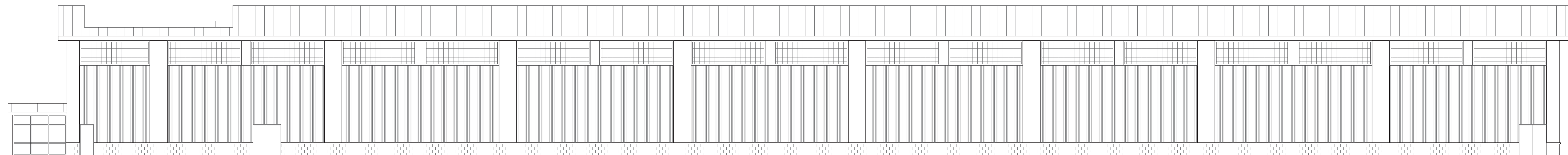
1 Roof Plan
SCALE: 3/32" = 1'-0"



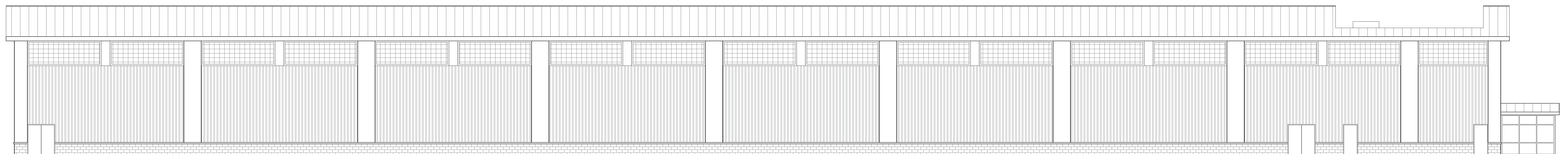
4 West Building Elevation
SCALE: 1" = 10'-0"



3 East Building Elevation
SCALE: 1" = 10'-0"



2 South Building Elevation
SCALE: 1" = 10'-0"



1 North Building Elevation
SCALE: 1" = 10'-0"

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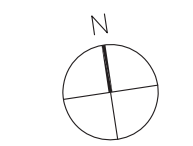
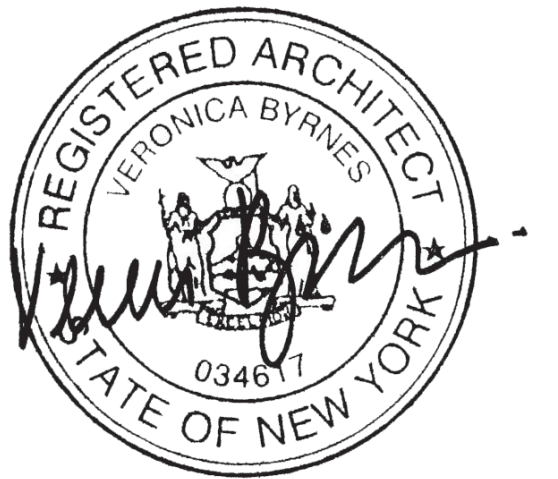
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DRAWING NO.:			

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