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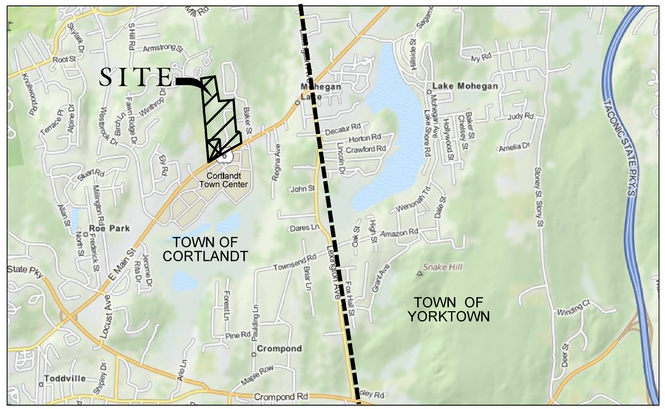
CORTLANDT CROSSING - PAD C

TOWN OF CORTLANDT, NEW YORK

APPLICATION FOR SITE PLAN AMENDMENT

MARCH 20, 2019

Site Vicinity Map



MAP SOURCE: MapQuest

N 0 1000 2000 4000

SCALE: 1"=2000'

List of Drawings

No.	Name	Scale	Date
Site and Civil Drawings			
	Cover Sheet		03/20/19
SP-0	Master Plan	1"=50'	03/20/19
SP-1	Site Layout Plan	1"=20'	03/20/19
SP-2	Site Grading and Drainage Plan	1"=20'	03/20/19
SP-3	Site Utility Plan	1"=20'	03/20/19
SP-4	Landscape and Lighting Plan with Photometrics	1"=20'	03/20/19
SP-5	Erosion and Sediment Control Plan and Details	1"=20'	03/20/19
SP-6.1-6.5	Site Details	As Shown	03/20/19
EC-1	Existing Conditions Plan	1"=20'	03/20/19
Architectural Drawings			
A-101	First Floor Plan	As Shown	03/20/19
A-201	Exterior Elevations - Building 'C'	As Shown	03/20/19

Zoning Compliance Table

Section [1]	Required/Permitted		Proposed	
	Designed Commercial (CD)	R-40 Single-Family	Designed Commercial (CD)	R-40 Single-Family
Dimensional Standards (§307 Att. 5 Nonresidential Districts & Att 3 Residential Districts)				
Minimum Lot Area	80,000 sf	40,000 sf	±15.1 ac (±658,095 sf)	±20.9 ac (±909,349 sf)
Minimum Lot Width (ft)	200	150	1,050	--
Maximum Height (stories/ft)	3 / 35	2½ / 35	1 / ≤35	--
Minimum Yards (ft)				
Front	75	50	90	--
Side	50	min. 5[2]	75	--
Rear	50	30	80	--
Maximum Building Coverage (%)	20%	65% of FAR	19%	--
Minimum Landscape Coverage (%)	25%	60% or 50%[3]		
Within CD District Only			22% [7]	--
CD District + Landscaped Berm			36% [8]	--
Total Site (CD + R-40 District)			63%	--
Maximum Floor Area (sf)	--	Varies[4]	--	--
Maximum Floor Area Ratio (FAR)	--	Varies[4]	--	--
Supplemental Requirements - Parking Lot Landscaping & Buffer Requirements, see §307-21 through 23				
Landscape Strip along street line (ft)	25	--	25	--
Minimum Required Landscaped Areas (%)	5%	--	6% [6]	--
Buffer Adjacent to Residential District (ft)				
Eastern property line	50	--	80	--
Western property line	50	--	30' min. [9]	--
Parking Requirements				
Per Table of Off-Street Parking Spaces (§307-29)				
Single-family	--	2 sp per DU	--	--
Retail (1 sp/200 sf)	*622*	--	See footnote 11	--
Restaurant (1 sp/50sf DR + employee pkg per PB)	*23*	--		--
Office, medical (4/physician & 1/empl)	*18*	--		--
Spaces as Calculated per §307-29	*663* [10]			--
Minimum Parking Spaces Required[10]	585 [11]	--	589	--
Dimensions of Parking Spaces (90º spaces)				
Stall Width (ft)	9	--	9	--
Stall Depth (ft)	18	--	18	--
Aisle width (2-way) (ft)	25	--	25	--
Dimensions of Parking Spaces (45º spaces)				
Stall Width (ft)	9	--	9	--
Stall Depth (ft)	18	--	18	--
Aisle width (1-way) (ft)	14	--	14	--

(1) Town of Cortlandt Town Code Chapter 307: Zoning. November 8, 1993, as amended.
(2) Lot width of 70 feet or more: 20% of width to a maximum of 30 feet. Lot width less than 70 feet: 15% of width to a minimum of 5 feet.
(3) 50% for a non-dwelling use.
(4) Max. Floor Area is based on lot size pursuant to 307 Attachment 4 Table of Dimensional Regulations, Maximum Floor Area in Residential Districts.
(5) Refer to Section 307-14 and 307-15 Table of Permitted Uses for complete list of permitted principal and accessory uses including specific restrictions.
(6) Based on parking lot islands, excluding 25' buffer from street line and 50' buffer from adjacent residential district.
(7) Variance granted by ZBA on 5/18/16 to permit a reduction in Minimum Landscape Coverage in CD District from 25% to
(8) Approximately 3.5 acres of bermed landscaped area is proposed adjacent to the CD District northern boundary (in R-40 District) as screening for adjoining neighborhoods.
(9) Variance granted by ZBA on 5/18/16 to permit reduction in Buffer Adjacent to Residential District from 50' to 30'.
(10) Retail parking based on 122,527 square feet of retail space. Restaurant parking based on 1,140 square feet of interior (882 sf) and outdoor (238 sf) dining area. Medical office parking for dental clinic based on 2 physicians and 10 employees. Total floor area for all uses does not exceed 130,000 square feet.
(11) Variance granted by ZBA on 5/18/16 to permit a reduction in the number of calculated parking spaces from 693 spaces (based on 3/15/16 SEQRA Findings) to 585 spaces (variance of 108 spaces).

Owner:

ACADIA REALTY TRUST

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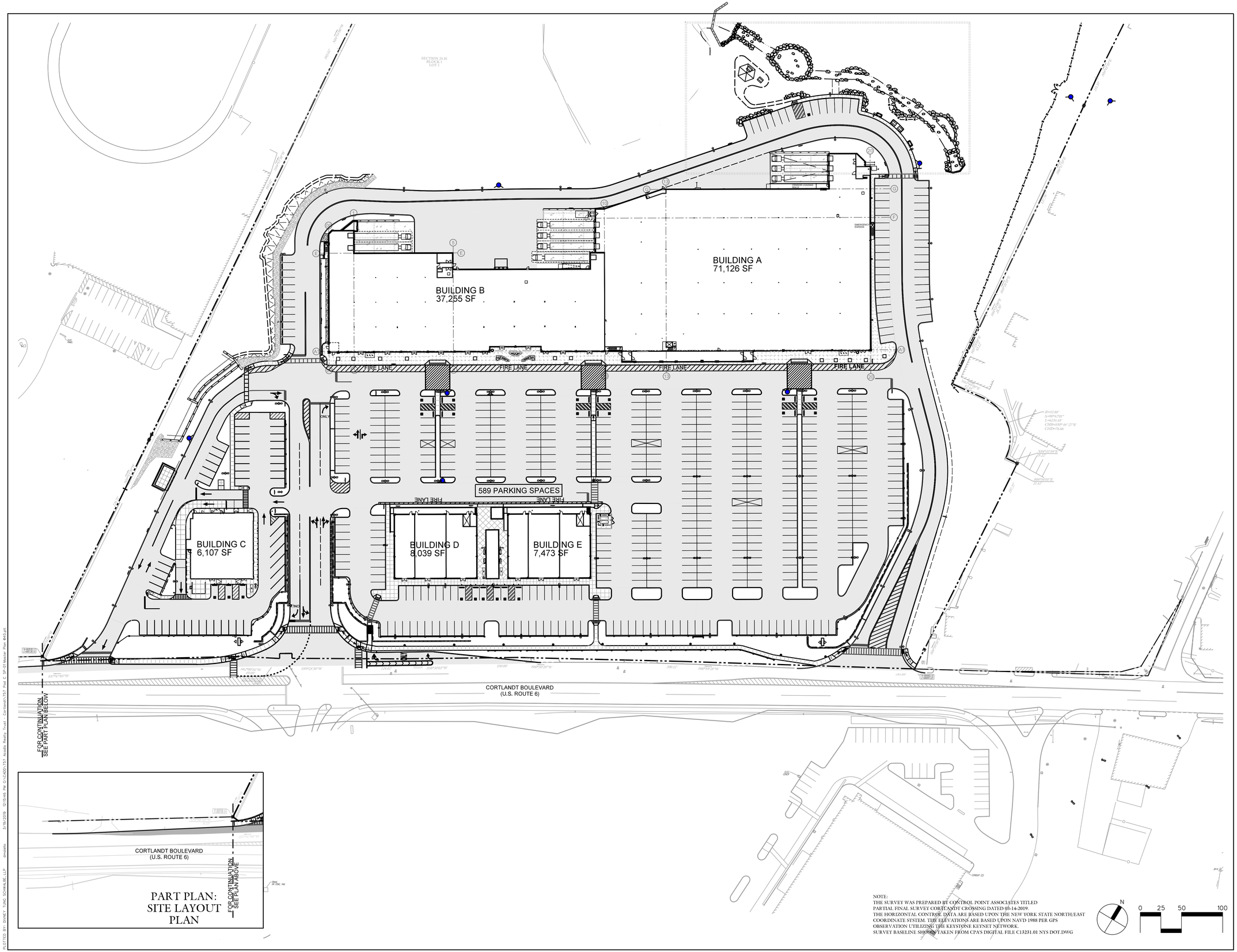

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MASTER PLAN

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GERHARD M. SCHWALBE, P.E.

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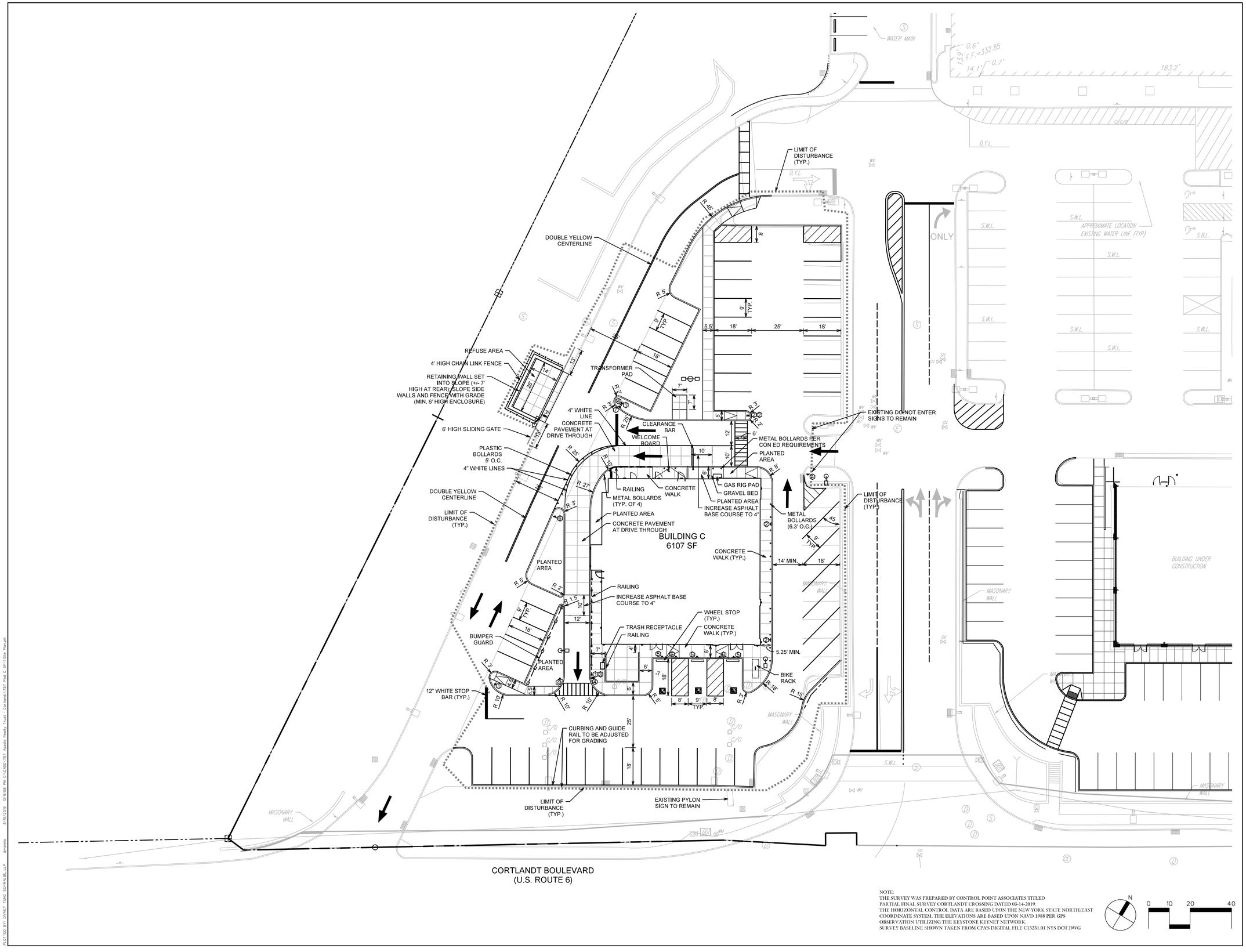

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SITE LAYOUT PLAN

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GERHARD M. SCHWALBE, P.E.

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SP-1

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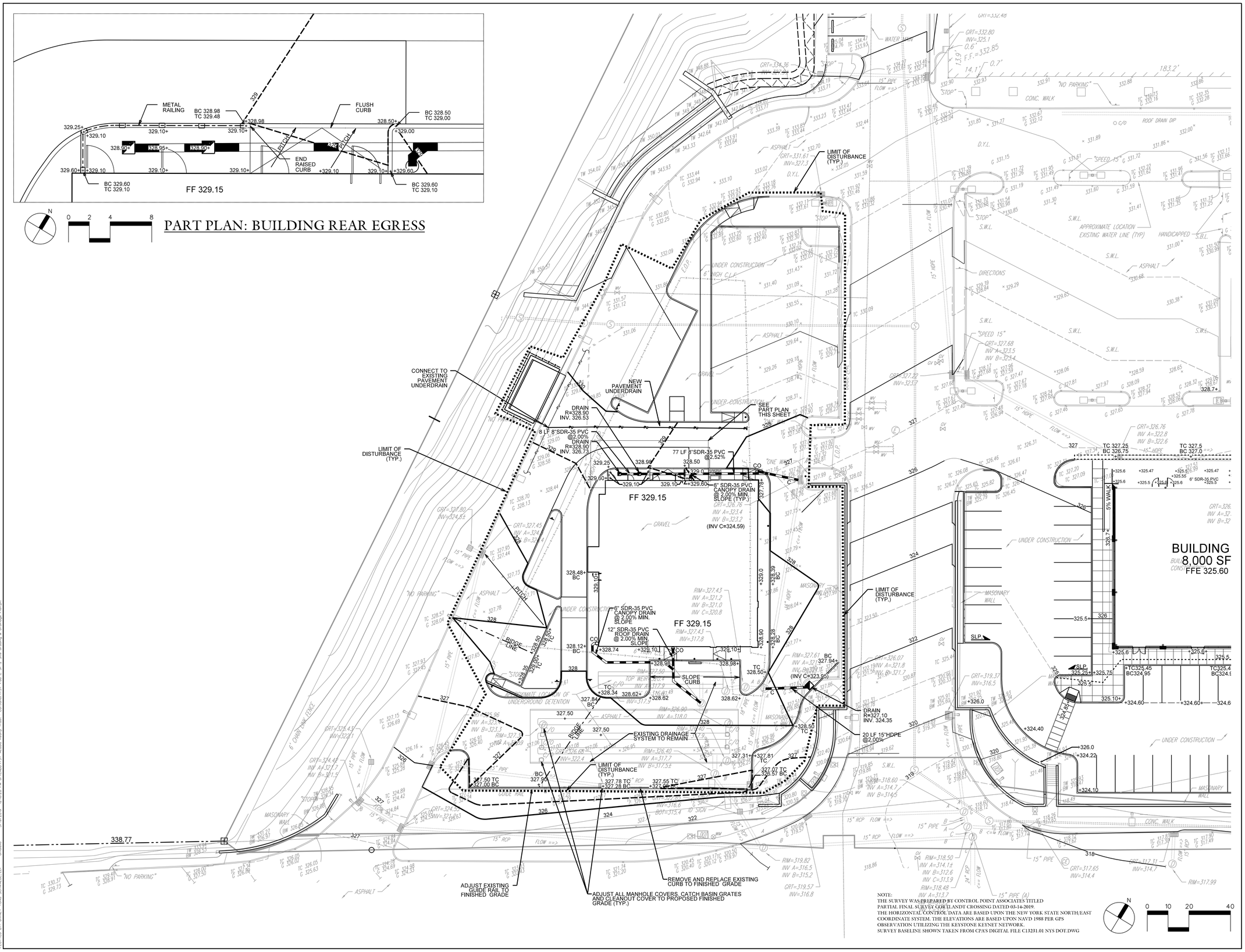
PART PLAN: BUILDING REAR EGRESS



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SITE GRADING & DRAINAGE PLAN

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GERHARD M. SCHWALBE, P.E.

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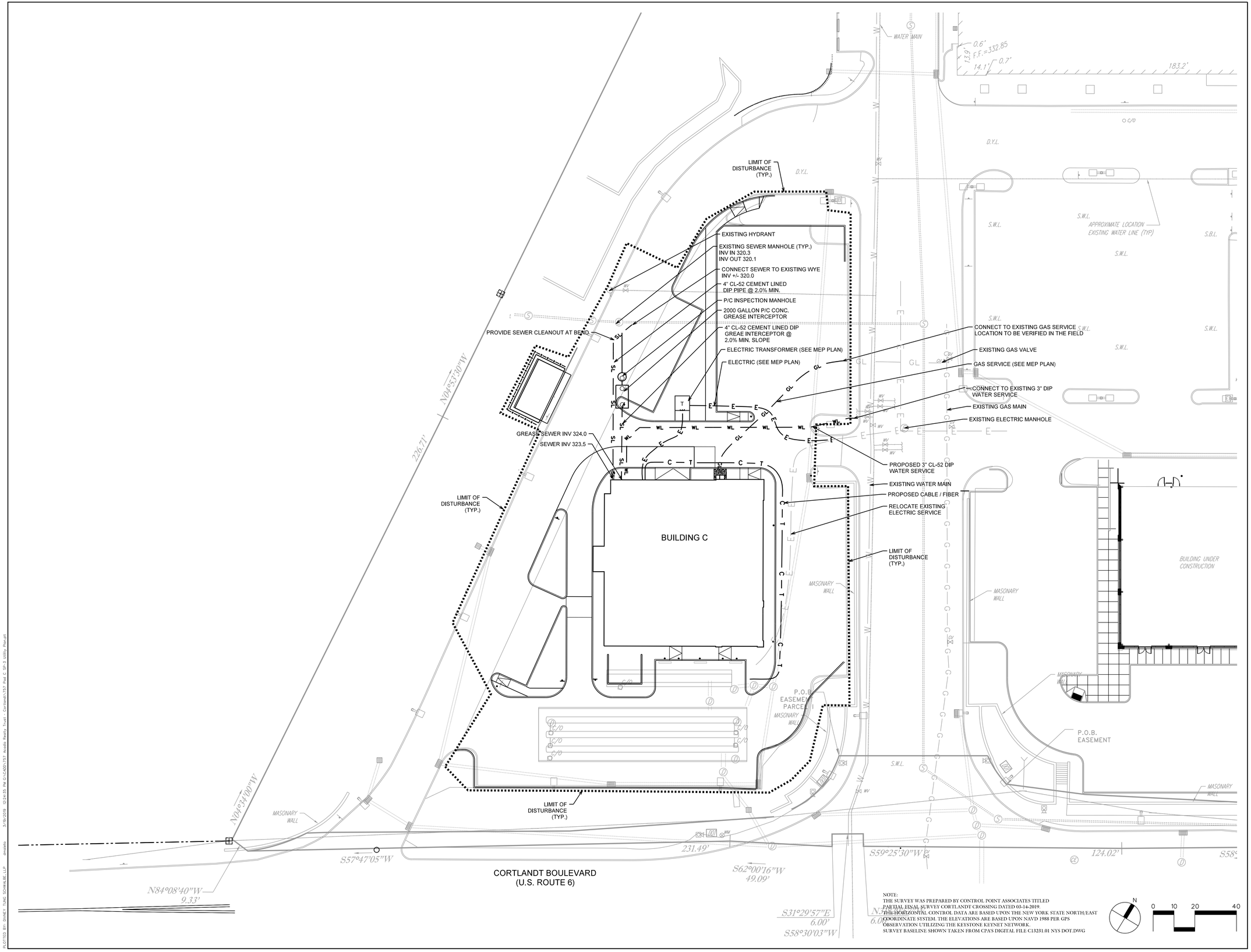

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SITE UTILITY PLAN

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GERHARD M. SCHWALBE, P.E.

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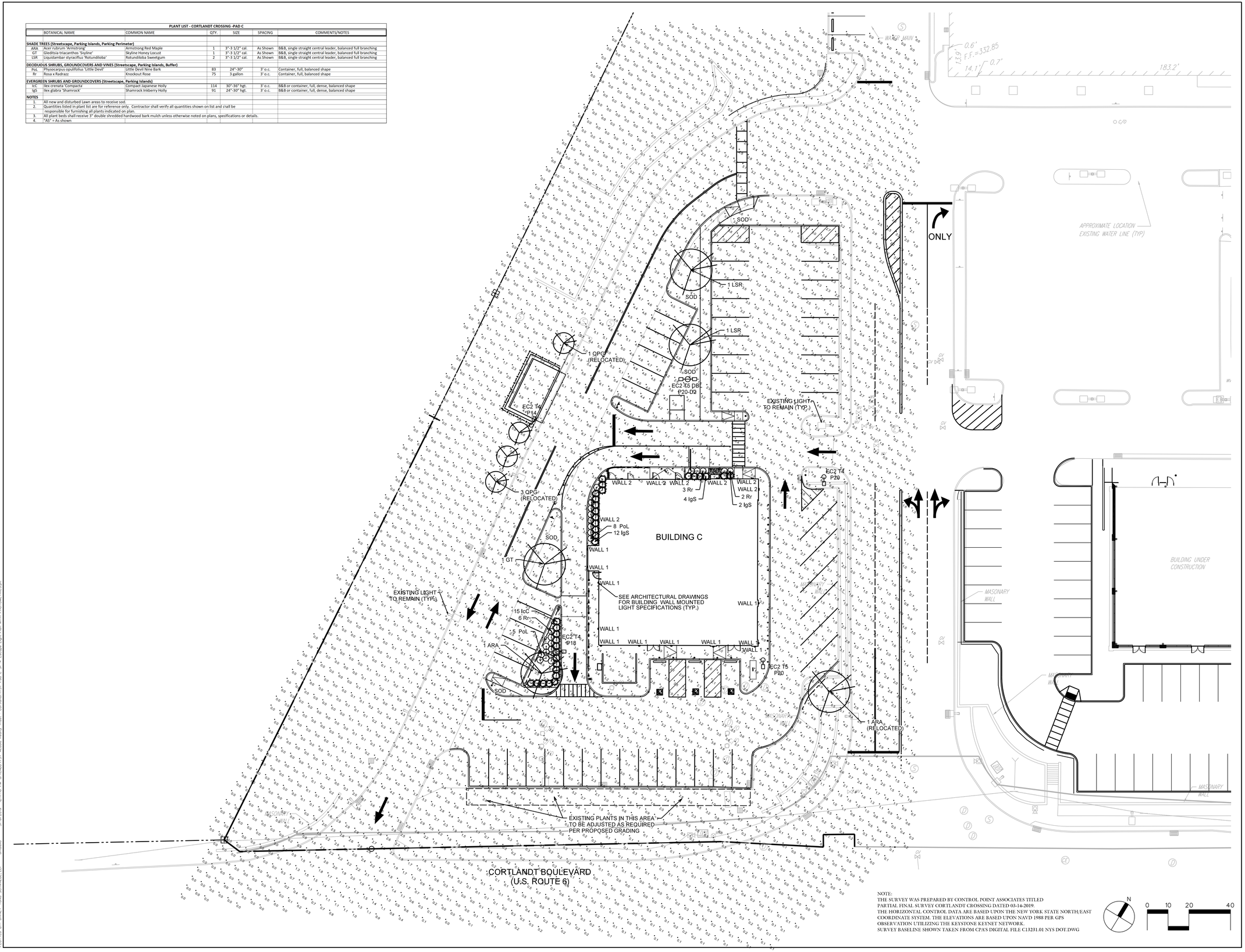
PLANT LIST - CORTLANDT CROSSING -PAD C						
	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	COMMENTS/NOTES
SHADE TREES (Streetscape, Parking Islands, Parking Perimeter)						
ARA	Acer rubrum 'Armstrong'	Armstrong Red Maple	1	3"-3 1/2" cal.	As Shown	B&B, single straight central leader, balanced full branching
GT	Gleditsia triacanthos 'Seyline'	Skyline Honey Locust	1	3"-3 1/2" cal.	As Shown	B&B, single straight central leader, balanced full branching
LSR	Liquidambar styraciflua 'Rotundiloba'	Rotundiloba Sweetgum	2	3"-3 1/2" cal.	As Shown	B&B, single straight central leader, balanced full branching
DECIDUOUS SHRUBS, GROUNDCOVERS AND VINES (Streetscape, Parking Islands, Buffer)						
PoL	Physocarpus opulifolius 'Little Devil'	Little Devil Nine Bark	83	24"-30"	3' o.c.	Container, full, balanced shape
Rr	Rosa x Radrazz	Knockout Rose	75	3 gallon	3' o.c.	Container, full, balanced shape
EVERGREEN SHRUBS AND GROUNDCOVERS (Streetscape, Parking Islands)						
IcC	Ilex crenata 'Compacta'	Compact Japanese Holly	114	30"-36" hgt.	3' o.c.	B&B or container, full, dense, balanced shape
IgS	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	91	24"-30" hgt.	3' o.c.	B&B or container, full, dense, balanced shape
NOTES						
1.	All new and disturbed lawn areas to receive sod.					
2.	Quantities listed in plant list are for reference only. Contractor shall verify all quantities shown on list and shall be responsible for furnishing all plants indicated on plan.					
3.	All plant beds shall receive 3" double shredded hardwood bark mulch unless otherwise noted on plans, specifications or details.					
4.	"AS" = As shown					



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LANDSCAPE AND LIGHTING PLAN

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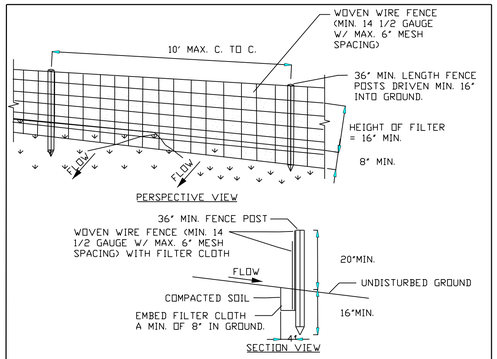
SHEET NO. SP-4	

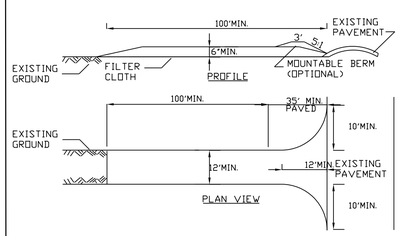
EDITED BY: DIVNEY TUNG SCHWALBE, LLP 03/20/2019 03:01:10 PM C:\ACAD\757 Acadia Realty Trust - Cortlandt\757 Pad C SP-4 Escape Light Plan WITH PROTOMETRICS.plt



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

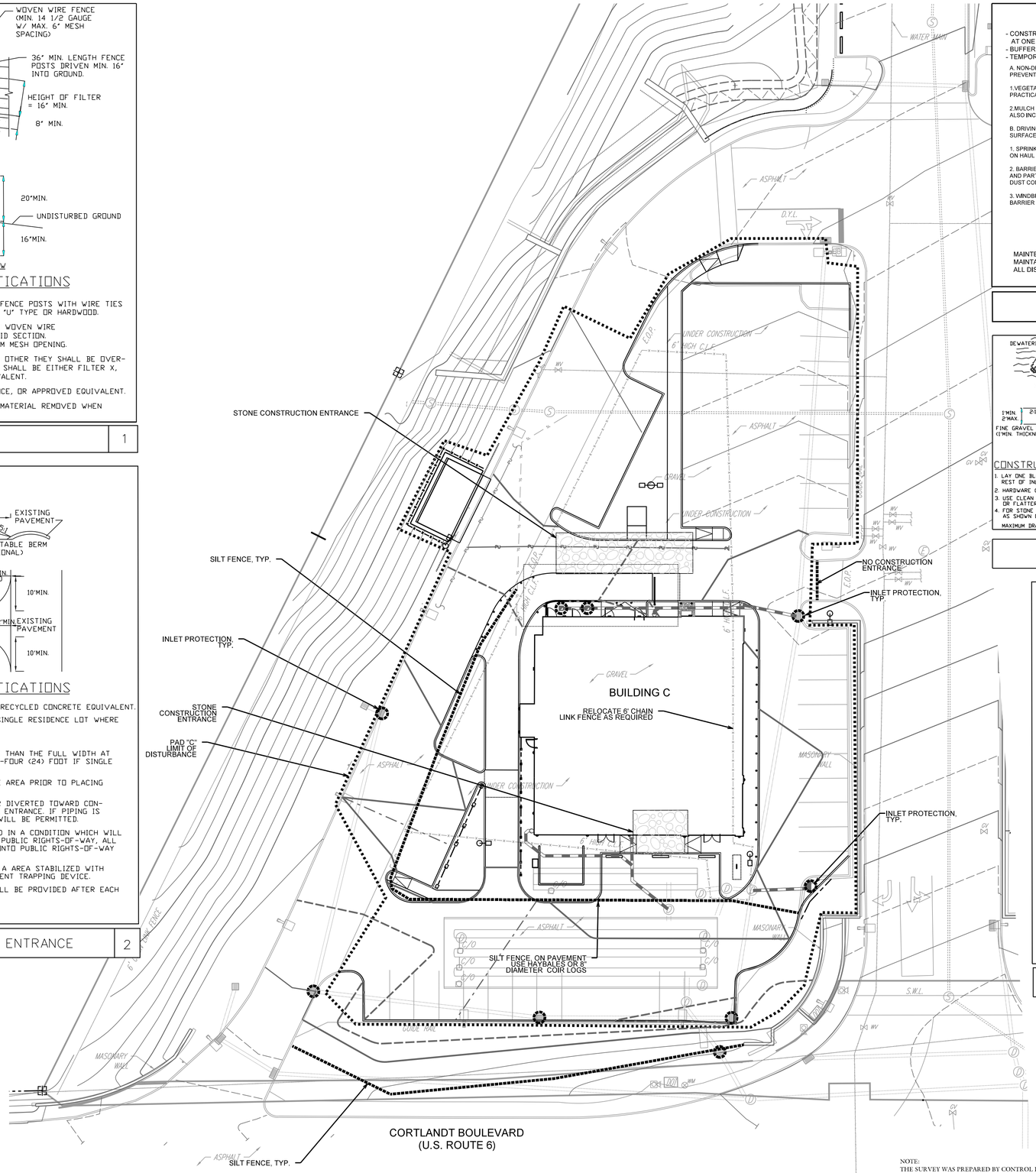
SILT FENCE | 1



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2"MIN. STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 75 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CON-STRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE | 2



- CONSTRUCTION OPERATIONS SHOULD BE SCHEDULES TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ONE TIME.
- BUFFER AREAS OF VEGETATION SHOULD BE LEFT WHERE PRACTICAL.
- TEMPORARY OR PERMANENT STABILIZATION MEASURES SHALL BE INSTALLED.

A. NON-DRIVING AREAS THESE AREAS USE PRODUCTS AND MATERIALS APPLIED OR PLACED ON SOIL SURFACES TO PREVENT AIRBORNE MIGRATION OF SOIL PARTICLES.

1.VEGETATIVE COVER FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL.

2.MULCH (INCLUDING GRAVEL MULCH) MULCH OFFERS A FAST EFFECTIVE MEANS OF CONTROLLING DUST. THIS CAN ALSO INCLUDE ROLLED EROSION CONTROL BLANKETS.

B. DRIVING AREAS THESE AREAS UTILIZE WATER AND BARRIERS TO PREVENT DUST MOVEMENT FROM THE TRAFFIC SURFACES INTO THE AIR.

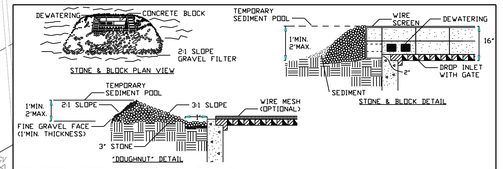
1. SPRINKLING THE SITE MAY BE SPRAYED WITH WATER UNTIL THE SURFACE IS WET. THIS IS ESPECIALLY EFFECTIVE ON HAUL ROADS AND ACCESS ROUTES.

2. BARRIERS WOVEN GEOTEXTILES CAN BE PLACED ON THE DRIVING SURFACE TO EFFECTIVELY REDUCE DUST THROW AND PARTICLE MIGRATION ON HAUL ROADS. STONE CAN ALSO BE USED FOR CONSTRUCTION ROADS FOR EFFECTIVE DUST CONTROL.

3. WINDBREAK A SILT FENCE OR SIMILAR BARRIER CAN CONTROL AIR CURRENT A INTERVALS EQUAL TO TEN TIMES THE BARRIER HEIGHT. PRESERVE EXISTING WIND BARRIER VEGETATION AS MUCH AS PRACTICAL.

MAINTENANCE:
MAINTAIN DUST CONTROL MEASURES DURING THE DURATION OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS HAVE ACHIEVED PERMANENT STABILIZATION.

DUST CONTROL NOTES | 3

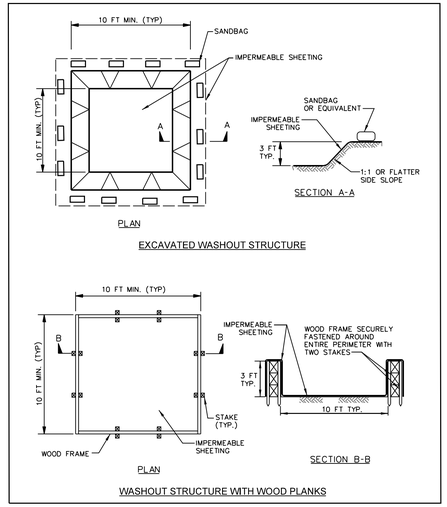


CONSTRUCTION SPECIFICATIONS

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST THE INLET FOR SUPPORT.
2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH AS SHOWN ON THE DRAWINGS.

MAXIMUM DRAINAGE AREA 1 ACRE

INLET PROTECTION | 4



CONCRETE WASHOUT PIT | 5

NOTE:
THE SURVEY WAS PREPARED BY CONTROL POINT ASSOCIATES TITLED PARTIAL FINAL SURVEY CORTLANDT CROSSING DATED 03-14-2019.
THE HORIZONTAL CONTROL DATA ARE BASED UPON THE NEW YORK STATE NORTH/EAST COORDINATE SYSTEM. THE ELEVATIONS ARE BASED UPON NAVD 1988 PER GPS OBSERVATION UTILIZING THE KEYSTONE KEYNET NETWORK.
SURVEY BASELINE SHOWN TAKEN FROM CPA'S DIGITAL FILE C13231.01 NYS DOT.DWG

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CORTLANDT CROSSING - PAD C

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REVISIONS

NO.	DATE	ISSUE

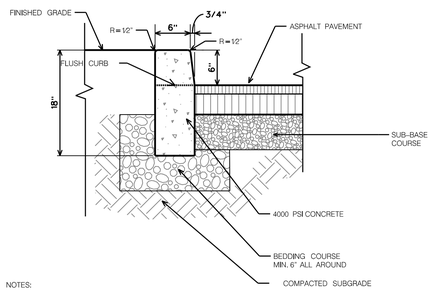
DRAWING TITLE:

EROSION AND SEDIMENT CONTROL PLAN AND DETAILS

STATE OF NEW YORK · GERHARD MARTIN SCHWALBE · 064469 · LICENSED PROFESSIONAL ENGINEER
GERHARD M. SCHWALBE, P.E.

DRAWN BY: MJS	CHECKED BY: GMS
PROJECT NO. 757	DATE: 03/20/19
SHEET NO. SP-5	

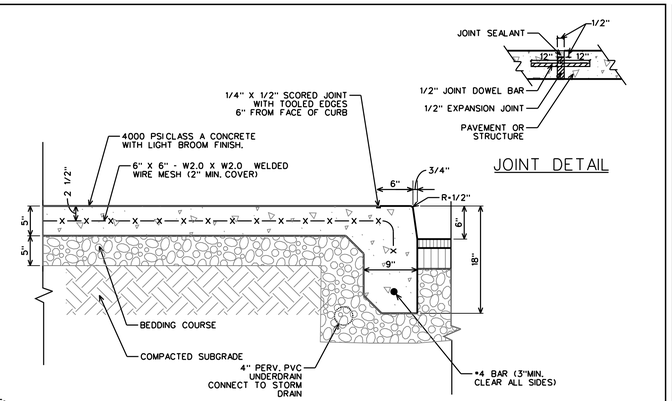
PLOTTED BY: DIVNEY TUNG SCHWALBE, LLP gms@dtsb 3/19/2019 12:07:34 PM C:\ACAD\757 Acadia Realty Trust - Cortlandt\757 Pad C SP-5 Erosion Plan and Details.plt



NOTES:
1. EXPOSED SURFACES TO HAVE BROOM FINISH
2. PROVIDE 1/2" PREMOLDED EXPANSION JOINT AND SEALANT EVERY 20' O.C.
3. PROVIDE 1/2" PREMOLDED EXPANSION JOINT AND SEALANT WHEN CONCRETE PAVEMENT ABUTS CONCRETE CURB.
4. MOUNTABLE CONCRETE CURBS TO BE NYSDOT MODEL M150 9" WIDE, 2" VERTICAL, 6" EXPOSED HEIGHT, 18" TOTAL HEIGHT

CONCRETE CURB
(NOT TO SCALE)

1



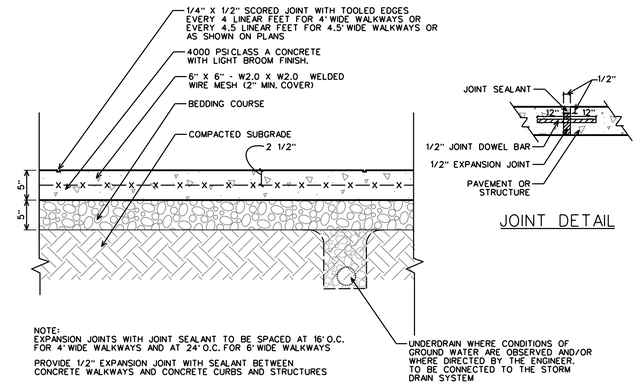
NOTE:
EXPANSION JOINTS WITH JOINT SEALANT TO BE SPACED AT 16' O.C. FOR 4' WIDE WALKWAYS AND AT 24' O.C. FOR 6' WIDE WALKWAYS

PROVIDE 1/2" EXPANSION JOINT WITH SEALANT BETWEEN CONCRETE WALKWAYS AND CONCRETE CURBS AND STRUCTURES

1/4" X 1/2" SCORED JOINT WITH TOOLED EDGES EVERY 4 LINEAR FEET FOR 4' WIDE WALKWAYS OR EVERY 6 LINEAR FEET FOR 6' WIDE WALKWAYS OR AS SHOWN ON PLANS

CONCRETE WALKWAY - TYPE 1 WITH INTEGRAL CURB
(ALONG DRIVEWAYS, ADJACENT TO BUILDINGS) (NOT TO SCALE)

2

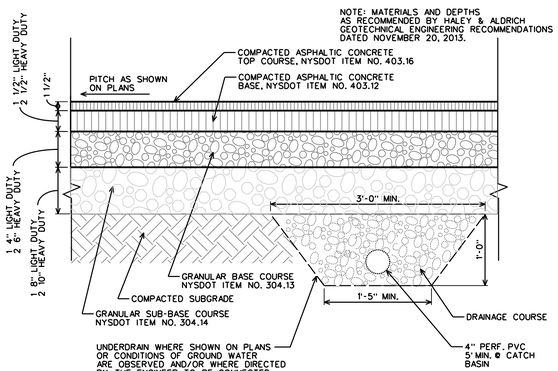


NOTE:
EXPANSION JOINTS WITH JOINT SEALANT TO BE SPACED AT 16' O.C. FOR 4' WIDE WALKWAYS AND AT 24' O.C. FOR 6' WIDE WALKWAYS

PROVIDE 1/2" EXPANSION JOINT WITH SEALANT BETWEEN CONCRETE WALKWAYS AND CONCRETE CURBS AND STRUCTURES

CONCRETE WALKWAY - TYPE 2
(ADJACENT TO LANDSCAPE AREAS OR OTHER NON-CURBED AREAS) (NOT TO SCALE)

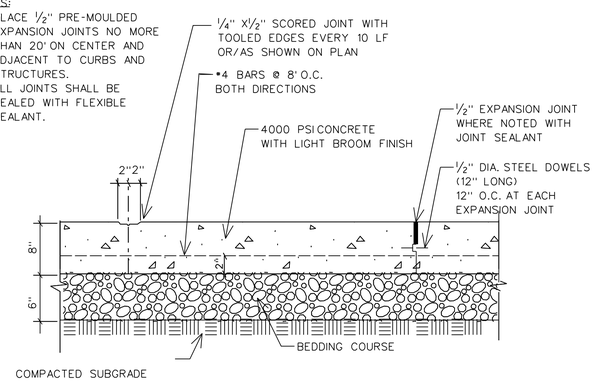
3



ASPHALT PAVEMENT - HEAVY AND LIGHT DUTY
(NOT TO SCALE)

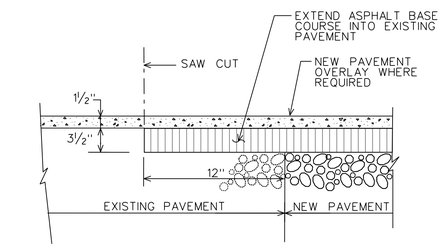
4

NOTES:
1. PLACE 1/2" PRE-MOULDED EXPANSION JOINTS NO MORE THAN 20' ON CENTER AND ADJACENT TO CURBS AND STRUCTURES.
2. ALL JOINTS SHALL BE SEALED WITH FLEXIBLE SEALANT.



HEAVY DUTY CONCRETE PAVEMENT
(REFUSE AREA & PICK-UP LANE) (NOT TO SCALE)

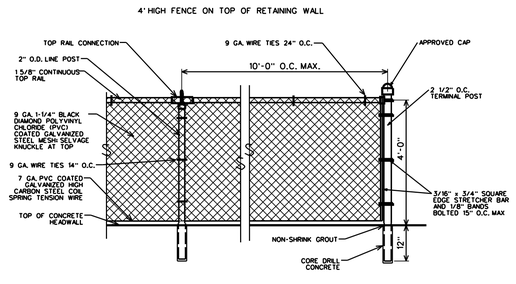
5



NOTE:
SAW CUT INTO EXISTING PAVEMENT APPLIES TO PAVEMENT REPLACEMENT AT TRENCHES

SAW-CUT PAVEMENT KEY-IN
(NOT TO SCALE)

6



NOTES:
ALL POSTS, RAILS, ACCESSORES AND HARDWARE SHALL BE GALVANIZED OR ALUMINIZED.

TERMINAL POSTS SHALL CONSIST OF END, CORNER, ANGLE AND PULL POSTS.

FABRIC SHALL BE INSTALLED ON THE OUTSIDE.

COLOR OF POSTS, RAILS, ACCESSORES TO MATCH COLOR OF FENCE

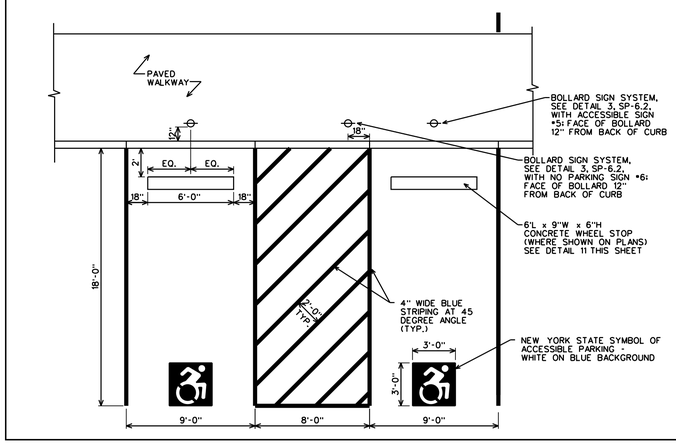
PROVIDE SHOP DRAWINGS FOR ALL FENCES TO SITE ENGINEER FOR APPROVAL PRIOR TO FABRICATION

CHAIN LINK FENCE
(NOT TO SCALE)

7

TITLE
(NOT TO SCALE)

8



ACCESSIBLE PARKING
(NOT TO SCALE)

9

CORTLANDT CROSSING - PAD C

Town of Cortlandt, New York

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DRAWING TITLE:

SITE DETAILS

STATE OF NEW YORK · GERHARD MARTIN SCHWALBE · 084469 · LICENSED PROFESSIONAL ENGINEER

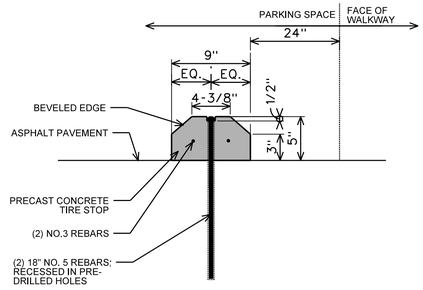
GERHARD M. SCHWALBE, P.E.

DRAWN BY:	CHECKED BY:
DMM	GMS
PROJECT NO. 757	DATE: 03/20/19

SHEET NO.

SP-6.1

PLOTTED BY: DIVNEY TUNG SCHWALBE, LLP dmm@dtsl 3/19/2019 12:01:01 PM G:\CAD\757 Acadia Realty Trust - Cortlandt\757 Pad C SP-01 Site Details.dwg

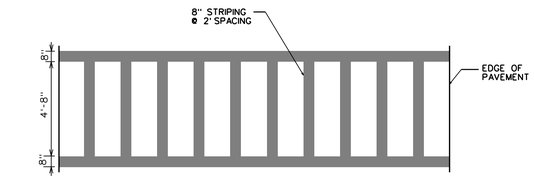


NOTES:

1. OVERALL TIRE DIMENSIONS: 6'L x 9"W x 5"H
2. TIRE STOP AS MANUFACTURED BY PRECAST CONCRETE SALES CO. OR APPROVED EQUAL
3. CONCRETE TO TEST 4000 PSI @ 28 DAYS, STEEL REINFORCED 2 #3 REBARS

CONCRETE WHEEL STOPS
(NOT TO SCALE)

1

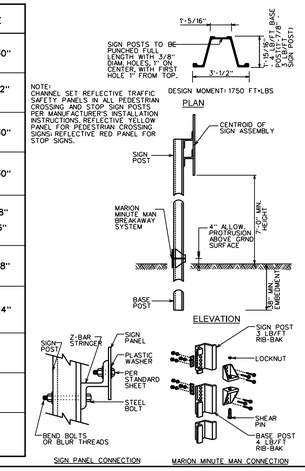


NOTES:
1. ALL CROSSWALK MARKINGS SHALL BE WHITE
2. EPOXY PAINT WITH GLASS BEADS (SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION)

PEDESTRIAN CROSSWALK
(NOT TO SCALE)

2

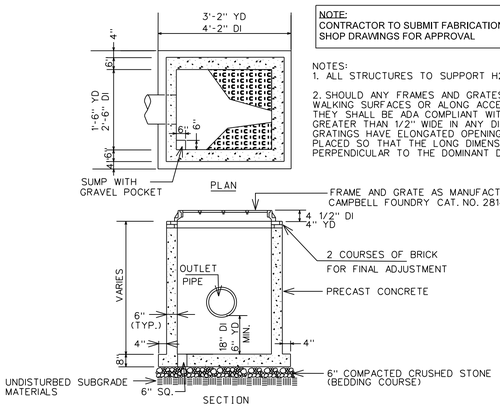
NO.	DESCRIPTION	IMAGE	MUTCD #	SIZE
1.	STOP SIGN	STOP	R1-1	30"x30"
2.	ONE-WAY	ONE WAY	R6-1	36"x12"
3.	CROSSWALK		W5-2C	30"x30"
4.	DO NOT ENTER	DO NOT ENTER	R5-1	30"x30"
5.	ACCESSIBLE PARKING SPACE WITH VAN ACCESSIBLE SIGN	PARKING PERMIT ONLY / VAN ACCESSIBLE	NY R7-8 ; R7-8P	12"x18" 12"x6"
6.	ACCESSIBLE ACCESS ASLE	NO PARKING ANY TIME	R7-1D	12"x18"
7.	NO RIGHT TURN		R3-1	24"x24"
8.				
9.				



NOTE:
CHANNEL SET REFLECTIVE TRAFFIC SAFETY PANELS IN ALL PEDESTRIAN CROSSING AND STOP SIGN POSTS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFLECTIVE YELLOW PANEL FOR PEDESTRIAN CROSSING SIGNS; REFLECTIVE RED PANEL FOR STOP SIGNS.

SIGNAGE POST AND SIGNS
(NOT TO SCALE)

3

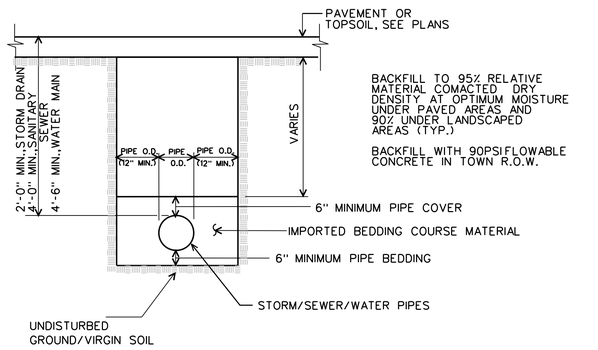


NOTE:
CONTRACTOR TO SUBMIT FABRICATION SHOP DRAWINGS FOR APPROVAL

NOTES:
1. ALL STRUCTURES TO SUPPORT H20 LOADING
2. SHOULD ANY FRAMES AND GRATES BE LOCATED IN WALKING SURFACES OR ALONG ACCESSIBLE ROUTES, THEY SHALL BE ADA COMPLIANT WITH SPACES NO GREATER THAN 1/2" WIDE IN ANY DIRECTION. IF GRATINGS HAVE ELONGATED OPENINGS, THEY SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

DRAIN INLET / YARD DRAIN
(NOT TO SCALE)

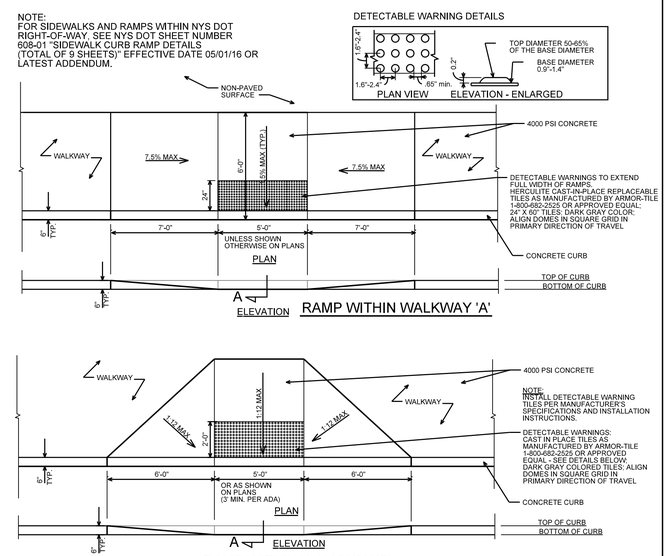
4



NOTE:
WHEN PIPES ARE TO BE INSTALLED IN FILL SECTIONS, THE CONTRACTOR SHALL INSTALL CRUSHED STONE, GRAVEL OR APPROVED STRUCTURAL FILL.

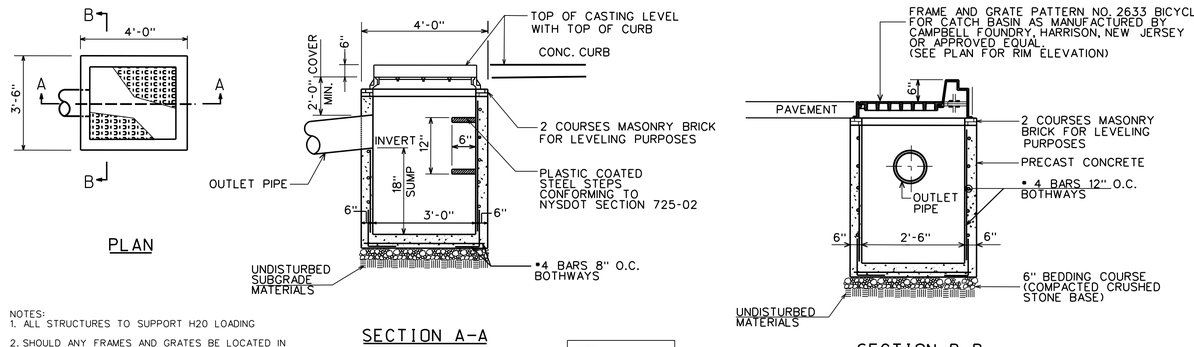
TRENCH DETAIL
(NOT TO SCALE)

5



PEDESTRIAN RAMPS
(NOT TO SCALE)

7



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NOTE:
CONTRACTOR TO SUBMIT FABRICATION SHOP DRAWINGS FOR APPROVAL

CATCH BASIN (CURB TYPE)
(NOT TO SCALE)

6

CORTLANDT CROSSING - PAD C

Town of Cortlandt, New York

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Intelligent Land Use
Divney Tung Schwalbe, LLP
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ARCHITECT:
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545 West 45th Street, 4th Floor
New York, New York 10036

LEGAL COUNSEL:
ZARIN & STEINMETZ
81 Main Street, Suite 415
White Plains, New York 10601

SURVEYOR:
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NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:

SITE DETAILS

STATE OF NEW YORK · GERHARD MARTIN SCHWALBE · 084469 · LICENSED PROFESSIONAL ENGINEER

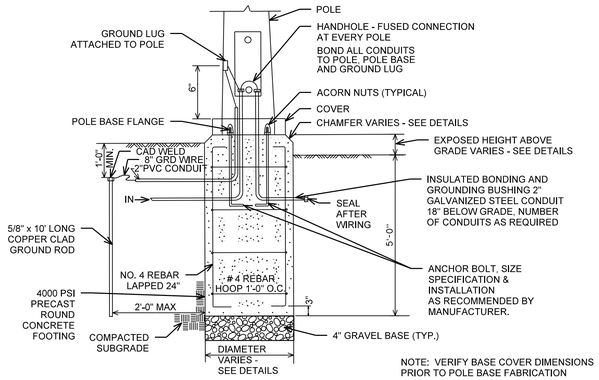
GERHARD M. SCHWALBE, P.E.

DRAWN BY:	CHECKED BY:
DMM	GMS
PROJECT NO. 757	DATE: 03/20/19

SHEET NO.

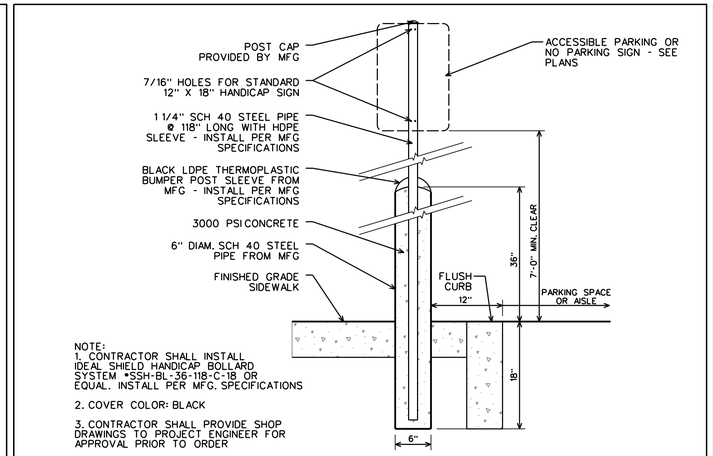
SP-6.2

PLOTTED BY: DIVNEY TUNG SCHWALBE, LLP 3/19/2019 12:18:22 PM G:\ACAD\757 Acadia Realty Trust - Cortlandt\757 Pad C SP-62 Site Details.dwg



LIGHT POLE FOUNDATION
(NOT TO SCALE)

1



BOLLARD SIGN SYSTEM
(NOT TO SCALE)

2

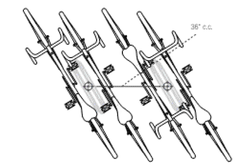
CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO ORDER PLACEMENT.

MANUFACTURER: FORMS • SURFACES

MODEL: CORDIA BIKE RACK

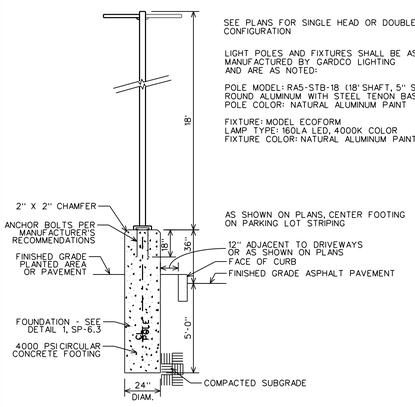
COLOR/MATERIAL: SOLID CAST ALUMINUM CONSTRUCTION WITH ARGENTO TEXTURE POWDERCOAT (TO BE CONFIRMED BY OWNER)

INSTALL PER MANUFACTURER'S SPECIFICATIONS AND MOUNTING/HARDWARE DETAILS

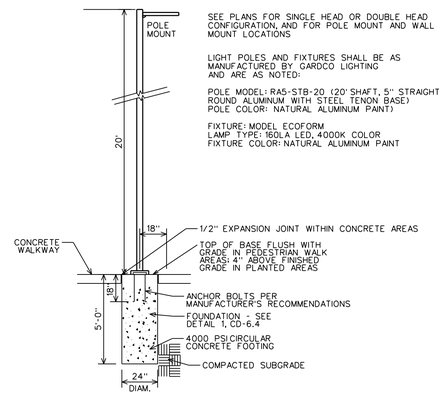


BICYCLE RACK
(NOT TO SCALE)

3



FIXTURE ON 18' POLE (P18)



FIXTURE ON 20' POLE (P20)

SITE LIGHTING
(NOT TO SCALE)

4

ELECTRICAL SITE LIGHTING NOTES:

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND WESTCHESTER COUNTY RULES, LAWS AND REGULATIONS.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WORK AS REQUIRED BY OSHA REGULATIONS.
3. THE CONTRACTOR SHALL REVIEW ALL OF THE SITE CONDITIONS PRIOR TO THE SUBMISSION OF THEIR BID TO ACADIA. ANY CLARIFICATIONS REQUIRED BY THE CONTRACTOR SHALL BE SUBMITTED TO ACADIA FOR RESPONSE, PRIOR TO FINALIZATION OF BID SUBMISSIONS.
4. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE FULL SCOPE OF THE WORK, AND SHALL SUBMIT BIDS THAT REFLECT THE REQUIRED SCOPE OF WORK TO COMPLETE THE WORK.
5. ALL NEW LIGHT POLE BASES SHALL BE PRECAST CONCRETE TYPE, SUITABLE FOR THE PROPOSED LIGHT POLE AND FIXTURE ASSEMBLIES REQUIRED AT EACH LOCATION. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED EXCAVATION, PAVEMENT REPAIR, AND REMOVAL OF SOIL SPOILS AS A PART OF THE WORK.
6. ALL NEW LIGHT POLES AND LIGHT FIXTURES SHALL BE GROUNDED, IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE. GROUND CONDUCTORS WILL ALL TIE BACK INTO THE PANELBOARD GROUND BAR WHERE THE CIRCUIT IS DERIVED.
7. ALL NEW LIGHT FIXTURES SHALL BE EQUIPPED WITH FUSE CUT OUTS, ACCESSIBLE IN THE HAND HOLE OF EACH LIGHT POLE. FIXTURES SHALL BE INDIVIDUALLY FUSED. CARTRIDGE FUSES SHALL BE PROVIDED FOR EACH INDIVIDUAL FIXTURE. CARTRIDGE FUSES SHALL BE SIZED FOR 125% OF FULL LOAD CURRENT OF EACH FIXTURE.
8. PROVIDE A WARNING TAPE ABOVE ALL SITE LIGHTING CONDUIT PATHWAYS, YELLOW BACKGROUND, BLACK LETTERING, 4" WIDE, STATING: WARNING ELECTRIC BELOW. WARNING TAPE SHALL BE EQUIPPED WITH COPPER TRACING STRIP. INSTALL 12" BELOW FINISHED GRADE.

ELECTRICAL SITE LIGHTING NOTES
(NOT TO SCALE)

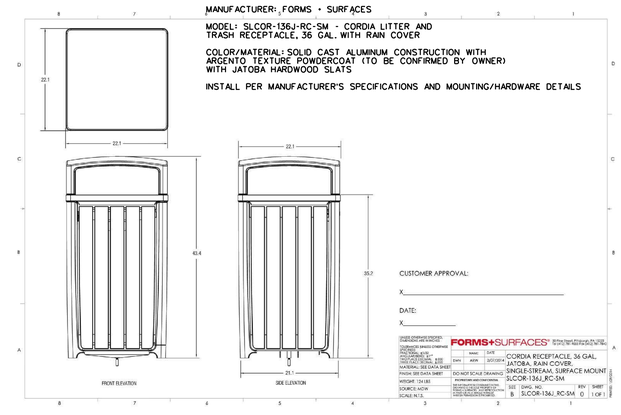
5

MANUFACTURER: FORMS • SURFACES

MODEL: SLCOR-136J-RC-SM - CORDIA LITTER AND TRASH RECEPTACLE, 36 GAL. WITH RAIN COVER

COLOR/MATERIAL: SOLID CAST ALUMINUM CONSTRUCTION WITH ARGENTO TEXTURE POWDERCOAT (TO BE CONFIRMED BY OWNER) WITH JATOBA HARDWOOD SLATS

INSTALL PER MANUFACTURER'S SPECIFICATIONS AND MOUNTING/HARDWARE DETAILS



TRASH RECEPTACLE
(NOT TO SCALE)

6

TITLE
(NOT TO SCALE)

7

TITLE
(NOT TO SCALE)

8

TITLE
(NOT TO SCALE)

9

CORTLANDT CROSSING - PAD C

Town of Cortlandt, New York

ACADIA REALTY TRUST
1311 Mamaroneck Ave. Suite 260
White Plains, NY 10605

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT:
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REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:

SITE DETAILS

STATE OF NEW YORK · GERHARD MARTIN SCHWALBE · 064469 · LICENSED PROFESSIONAL ENGINEER

GERHARD M. SCHWALBE, P.E.

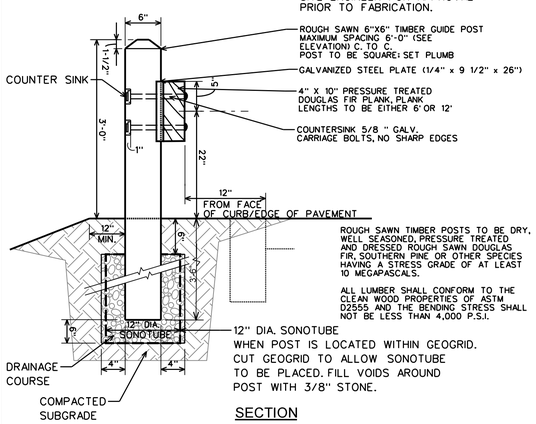
DRAWN BY: DMM	CHECKED BY: GMS
PROJECT NO. 757	DATE: 03/20/19

SHEET NO.

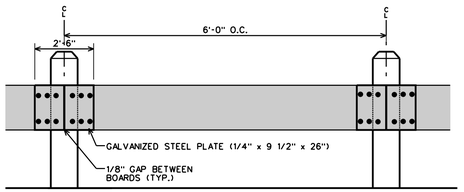
SP-6.3

PLOTTED BY: DIVNEY TUNG SCHWALBE, LLP dmmedo 3/19/2019 12:18:41 PM C:\CADD\757 Acadia Realty Trust - Cortlandt\757 Pad C SP-6.3 Site Details.plt

SUBMIT SHOP DRAWINGS TO SITE ENGINEER FOR APPROVAL PRIOR TO FABRICATION.



SECTION



ELEVATION

WOOD BUMPER GUARD
(NOT TO SCALE)

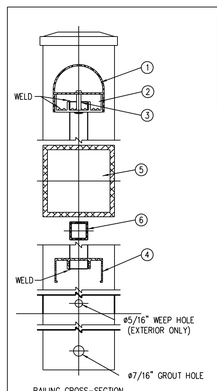
1

COLONIAL PICKET RAILING WITH 3" POSTS AND WELDED PICKETS AS MANUFACTURED BY STERLING DULA/KANE ARCHITECTURAL INNOVATIONS (1-800-773-2439) OR APPROVED EQUAL RAIL SYSTEM.

MATERIAL: ALUMINUM
COLOR: BLACK (TO BE CONFIRMED WITH ARCHITECT PRIOR TO ORDER)

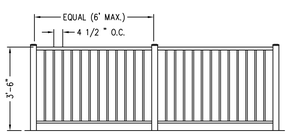
FENCE POSTS TO BE INSTALLED IN CONCRETE FOOTINGS NEAR TOP OF RETAINING WALLS WHERE SHOWN ON PLANS; SEE RETAINING WALL DETAILS FOR RAILING INSTALLATION

FABRICATE AND INSTALL PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.



RAILING CROSS-SECTION

COLONIAL SYSTEM W/ WELD PICKETS & 3" POST		
1	CHOICE OF STANDARD TOP RAILS	6063-T6
2	CH-125A INSERT CHANNEL	6063-T6
3	AB-616-AV POP RIVETS	ALUM.
4	CH-201 CHANNEL 1" x 2" x 1"	6063-T6
5	POST 3" SQUARE	6061-T6
6	PT-206 PICKET 3/4" SQ	6063-T6



TYPICAL RAILING ELEVATION

STERLING DULA
RAILINGS + FENCING BY KANE

COLONIAL SYSTEM W/ WELDED PICKETS & 3" POST
DATE: 4/10/14
800.773.2439
KaneInnovations.com

NOTES:
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO SITE ENGINEER FOR APPROVAL PRIOR TO FABRICATION.

FENCE RAIL
(NOT TO SCALE)

7

TITLE
(NOT TO SCALE)

2

TITLE
(NOT TO SCALE)

3

TITLE
(NOT TO SCALE)

5

TITLE
(NOT TO SCALE)

6

TITLE
(NOT TO SCALE)

8

TITLE
(NOT TO SCALE)

9

CORTLANDT CROSSING - PAD C

Town of Cortlandt, New York

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REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:

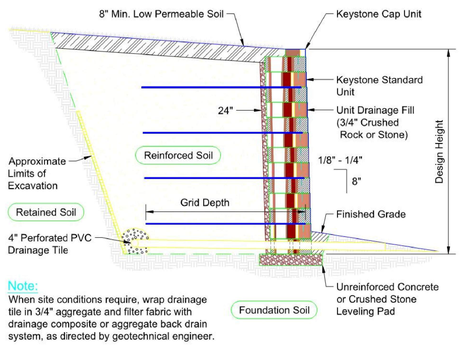
SITE DETAILS

STATE OF NEW YORK · GERHARD MARTIN SCHWALBE · 084469 · LICENSED PROFESSIONAL ENGINEER

GERHARD M. SCHWALBE, P.E.

DRAWN BY: DMM	CHECKED BY: GMS
PROJECT NO. 757	DATE: 03/20/19
SHEET NO. SP-6.4	

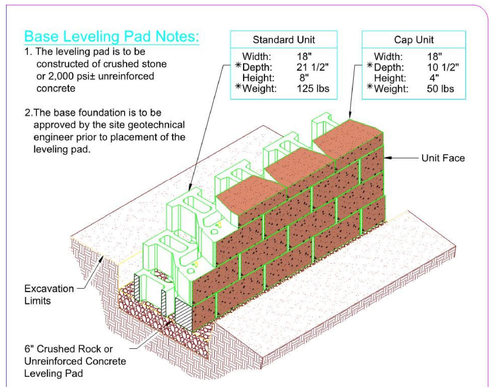
PLOTTED BY: DIVNEY TUNG SCHWALBE, LLP dmmadm 3/19/2019 12:19:13 PM G:\CADD\757 Acadia Realty Trust - Cortlandt\757 Pad C SP-64 Site Details.dwg



Note:
When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.

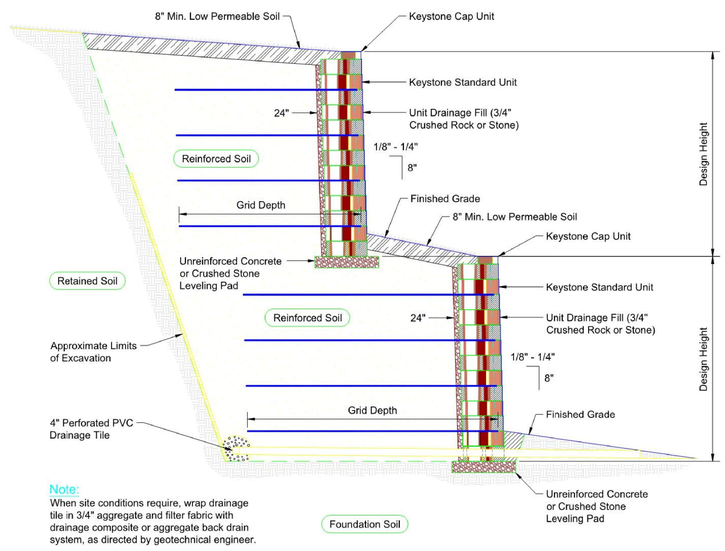
Typical Reinforced Wall Section

Standard Unit - Near Vertical Setback



Standard Unit/Base Pad Isometric Section View

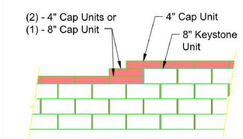
* Dimensions & Weight May Vary by Region



Note:
When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.

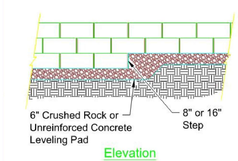
Typical Reinforced Tiered Wall Section

Standard Unit - Near Vertical Setback



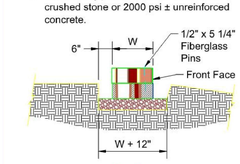
Note:
1. Secure all cap units with Keystone Kapseal or equal.

Top of Wall Steps



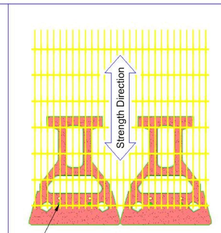
Elevation

Note:
1. The leveling pad is to be constructed of crushed stone or 2000 psi ± unreinforced concrete.

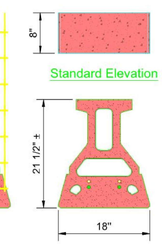


Section

Leveling Pad Detail



Grid & Pin Connection

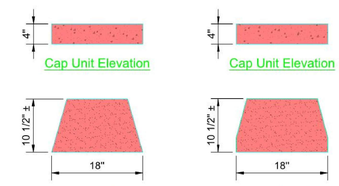


Standard Elevation

Standard Plan

Standard Unit

* Dimensions May Vary by Region



Cap Unit Elevation

Cap Unit Elevation

Cap Unit Plan

Cap Unit Plan

Universal Cap Unit Option

* Dimensions & Availability Will Vary by Region

Straight Split Cap Unit Option

* Dimensions & Availability Will Vary by Region

Leveling Pad Detail

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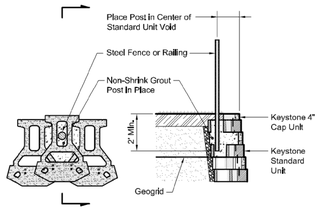
Design is for internal stability of the KEYSTONE wall structure only. External stability, including but not limited to foundation and slope stability is the responsibility of the Owner. The design is based on the assumption that the materials within the retained mass, methods of construction, and quality of materials conform to KEYSTONE's specification for this project.

This drawing is being furnished for this specific project only. Any party accepting this document does so in confidence and agrees that it shall not be duplicated in whole or in part, nor disclosed to others without the consent of Keystone Retaining Wall Systems, Inc.

No.	Date	Revision	By

KEYSTONE RETAINING WALL SYSTEMS
A CONTECH COMPANY
4444 W 78th Street
Minneapolis, MN 55435
952-897-1040

Designed By: RKM	Title: Standard Unit 21 - Straight Face Details	Date:
Checked By: CDM	Project: Keystone Retaining Wall Systems Typical Wall Details	Project No:
Scale: No Scale		Drawing No:



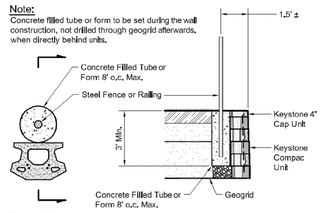
Fence Plan Detail

Fence SectionDetail

Standard Unit - 1" Setback

NOTE: CHAIN LINK FENCE BEHIND TOP OF WALL WHERE SHOWN ON PLANS

Note:
Concrete filled tube or form to be set during the wall construction, not drilled through geogrid afterwards, when directly behind units.

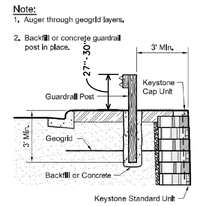


Fence Plan Detail

Fence Section & Plan Detail

Compacll Unit - Near Vertical Setback

Note:
1. Auger through geogrid layers.
2. Backfill or concrete guardrail post in place.



Typical Guardrail Detail

Standard Unit - Near Vertical Setback Shown

NOTE: SEE SHEET SP-7.3 FOR WOOD BUMPER GUARD DETAIL

TYPE 1 RETAINING WALL
(NOT TO SCALE)

1

NOTES:
1. SEALED & SIGNED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

2. WALLS LOCATED ON ROCK EMBANKMENT ALONG WESTERLY SIDE OF PROPERTY LINE SHALL BE PLACED ON REINFORCED CONCRETE LEVELING PAD AND KEYED AND/OR DOWELED INTO ROCK.

3. ALL WALLS GREATER THAN 3' HIGH AND/OR WHICH EXPERIENCE ANY SURCHARGE REQUIRE A BUILDING PERMIT FROM THE TOWN PRIOR TO WALL CONSTRUCTION.

4. ALL WALLS SHALL BE DESIGNED BY A LICENSED NYS PROFESSIONAL ENGINEER AND DESIGN COMPUTATIONS INCLUDING GLOBAL STABILITY ANALYSIS SUBMITTED UPON FILING OF A BUILDING PERMIT.

5. COLOR OF WALLS SHALL BE EARTHTONE. SUBMIT COLOR SAMPLE TO LANDSCAPE ARCHITECT AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDER.

CORTLANDT CROSSING - PAD C

Town of Cortlandt, New York

ACADIA REALTY TRUST
1311 Mamaroneck Ave. Suite 260
White Plains, NY 10605

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT:
DIVNEY • TUNG • SCHWALBE
Intelligent Land Use
Divney Tung Schwalbe, LLP
One North Broadway
White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

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REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:

SITE DETAILS

STATE OF NEW YORK · GERHARD MARTIN SCHWALBE · 084469 · LICENSED PROFESSIONAL ENGINEER

GERHARD M. SCHWALBE, P.E.

DRAWN BY: DMM	CHECKED BY: GMS
PROJECT NO. 757	DATE: 03/20/19
SHEET NO. SP-6.5	

PLOTTED BY: DIVNEY TUNG SCHWALBE, LLP 3/19/2019 12:19:22 PM G:\CADD\757 Acadia Realty Trust - Cortlandt\757 Pad C SP-65 Retaining Wall Details.pln

CORTLANDT CROSSING - PAD C

Town of Cortlandt, New York

ACADIA REALTY TRUST

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PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT:

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Intelligent Land Use

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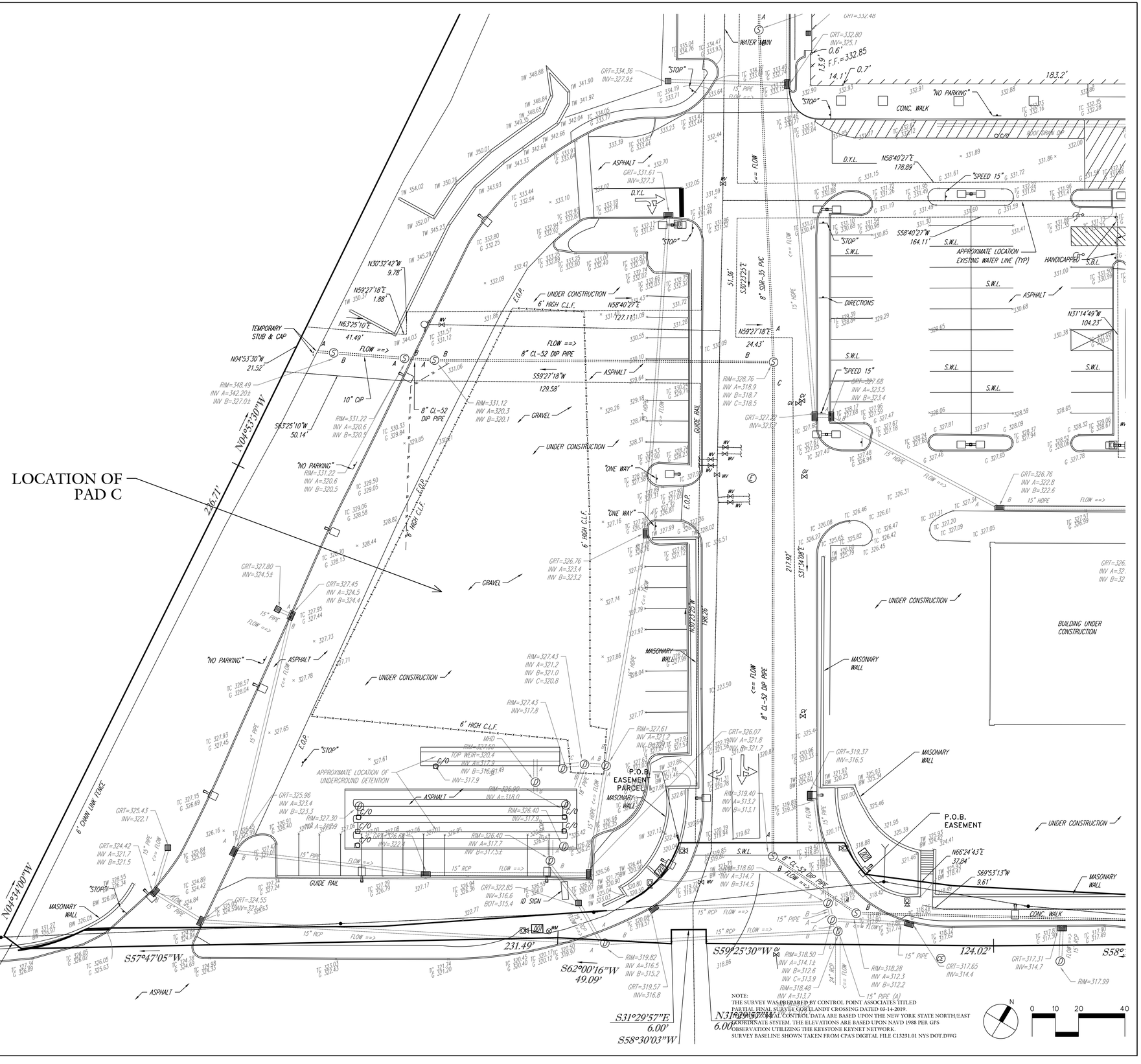
REVISIONS

NO.	DATE	ISSUE



NOTE:
THE SURVEY WAS PREPARED BY CONTROL POINT ASSOCIATES TITLED PARTIAL FINAL SURVEY COR LANDT CROSSING DATED 03-14-2019.
THE HORIZONTAL CONTROL DATA ARE BASED UPON THE NEW YORK STATE NORTH/EAST COORDINATE SYSTEM. THE ELEVATIONS ARE BASED UPON NAVD 1988 PER GPS OBSERVATION UTILIZING THE KEYSTONE KEYNET NETWORK.
SURVEY BASELINE SHOWN TAKEN FROM CPA'S DIGITAL FILE C13231.01 NYS DOT.DWG

DRAWING TITLE:

EXISTING CONDITIONS PLAN

STATE OF NEW YORK · GERHARD MARTIN SCHWALBE · 084469 · LICENSED PROFESSIONAL ENGINEER

GERHARD M. SCHWALBE, P.E.

DRAWN BY:	CHECKED BY:
DMM	GMS
PROJECT NO.	DATE:
757	03/20/19

SHEET NO.

EC-1

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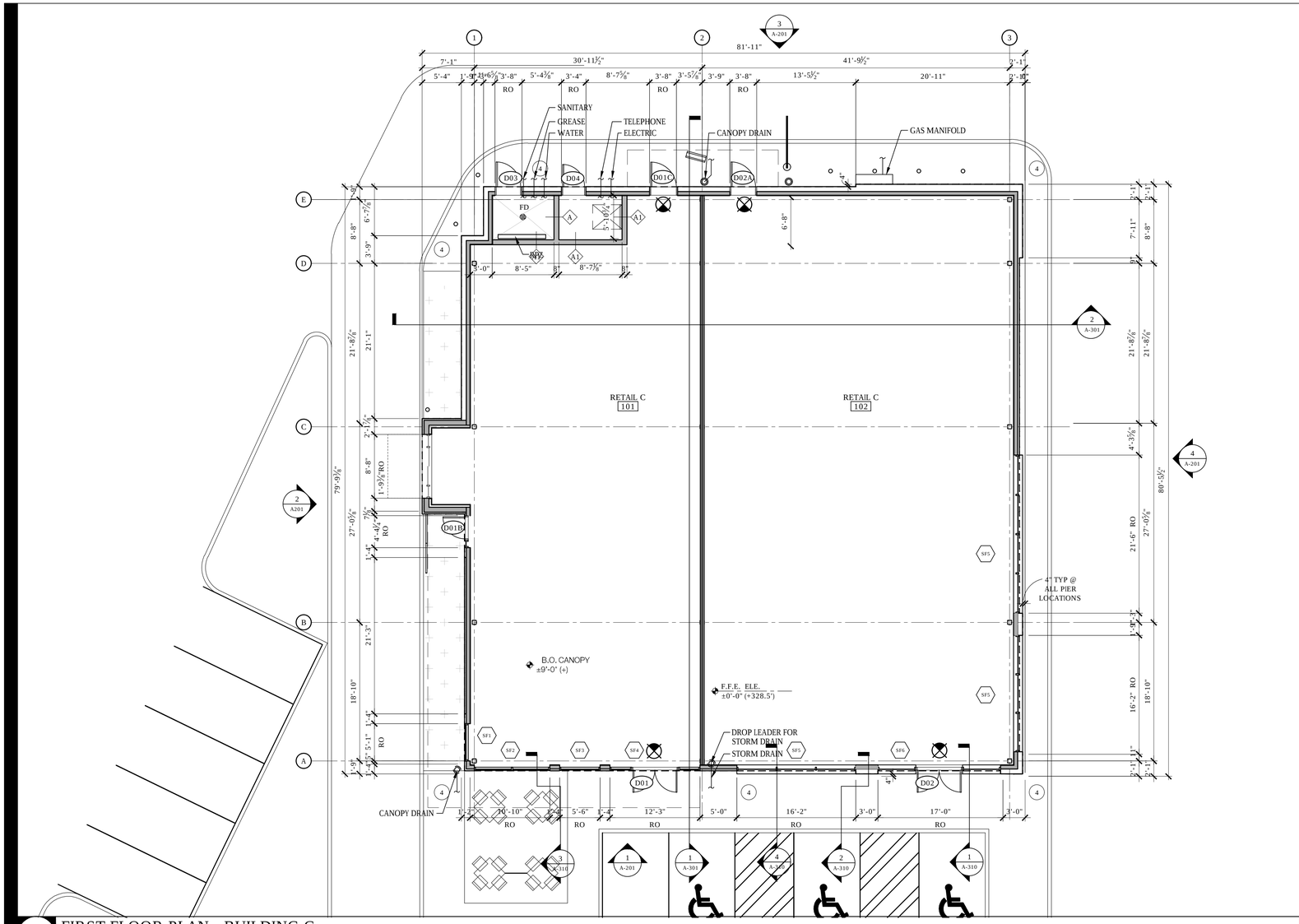


1 FIRST FLOOR PLAN - BUILDING C

SCALE: 1/8" = 1'-0"

KEYNOTES

1. USE MOISTURE RESISTANCE IN WATER ROOM
2. APPLY EPOXY TO FLOOR. TURN UP 8" ON WALLS
3. OUTLINE OF RTU ON ROOF - SEE MEP DRAWINGS
4. SEE CIVIL DRAWINGS FOR ALL SITE AND SIDEWALK WORK
5. 2" Ø LEADER FROM CANOPY TO CATCH BASIN. SEE CIVIL AND PLUMBING DRAWINGS.

2 KEYNOTES

SCALE: N/A

AIR BARRIER NOTES

1. THE AIR BARRIER SHALL BE CONTINUOUS FOR ALL ASSEMBLIES THAT ARE THE THERMAL ENVELOPE OF THE BUILDING AND ACROSS THE JOINTS AND ASSEMBLIES

2. AIR BARRIER JOINTS AND SEAMS SHALL BE SEALED INCLUDING SEALING TRANSITIONS IN PLACE AND CHANGES IN MATERIAL.

3. RECESSED LIGHTING FIXTURES SHALL COMPLY WITH SECTION C404.2.8. WHERE SIMILAR OBJECTS ARE INSTALLED WHICH PENETRATE THE AIR BARRIER, PROVESSIONS SHALL BE MADE TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER.

4. MATERIALS WITH AN AIR PERMIABILITY NO GREATER THAN .004 CFM/SQFT UNDER A PRESSURE DIFFERENTIAL OF 0.3 INCHES WATER GAUGE WHEN TESTED IN ACCORDANCE WITH ASTM E 2188. MATERIALS SHALL COMPLY SUBJECT THAT ALL JOINTS ARE SEALED AND MATERIALS ARE INSTALLED AS AIR BARRIERS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. MATERIALS DEEMED COMPLIANT:
   - A. PLYWOOD WITH A THICKNESS OF NO LESS THAN 3/8"
   - B. EXTRUDED POLYSTYRENE INSULATION BOARD HAVING A THICKNESS OF MINIMUM 1/2"
   - C. FOIL BACKED POLYISOCYANURATE INSULATION BOARD HAVING A THICKNESS OF MINIMUM 1/2"
   - D. EXTERIOR OR INTERIOR GYP BOARD MIN 1/2"
   - E. FULLY ADHERED SINGLE-PLY ROOF MEMBRANE
   - F. CAST-IN-PLACE AND PRECAST CONCRETE
   - G. FULLY GROUTED CONCRETE BLOCK MASONRY

5. DESIGN IS IN COMPLIANT WITH NYS 2015 ENERGY CODE AND 2016 ENERGY CODE SUPPLEMENT SECTION 402.4.1

6. THE AIR BARRIER IS IN COMPLIANCE WITH 402.4.1.1

TYPICAL STOREFRONT SYSTEM (U.N.O.)

KAWNEER 451T

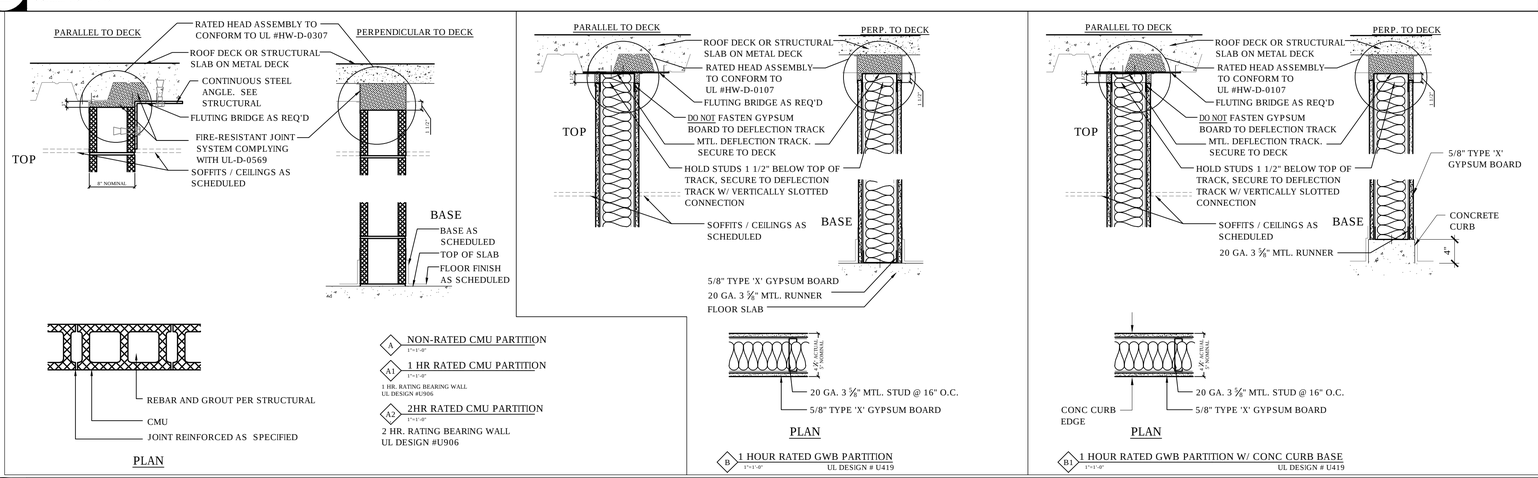
GLAZING: ALL GLAZING TO BE 1" IGU SOLARBAN 60 OR APPROVED EQUAL (1/4" CLEAR EXTERIOR W/ VE1-2M COATING, 1/2" AIR SPACE, 1/4" CLEAR TEMPERED INTERIOR)

MAX WINTER U-VALUE:	0.29
MAX SUMMER U-VALUE:	0.26
MAX SHGC (PF < 0.25):	0.38

FRAME: REINFORCED VERTICAL MULLIONS AS REQ'D. CENTER PLANE, OUTSIDE GLAZED
2" X 4 1/2" TYP. FRAMING SIZE U.N.O.

MAX DOOR AIR LEAKAGE:	0.5 CFM/SF
MAX FIXED GL. AIR LEAKAGE:	0.3 CFM/SF

FINISH: ANODOIZED BRONZE



4 PARTITION TYPES

SCALE: 1" = 1'-0"

3 CONSTRUCTION NOTES

SCALE: N/A

SYMBOL	DESCRIPTION
	CMU PARTITION
	CONCRETE WALL
	GYP. BD. PARTITION
	EXTERIOR WALL
	DOOR
1	KEY NOTE
	ELECTRICAL PANEL
FE	FIRE EXTINGUISHER ON BRACKET
#	DOOR TYPE
#	PARTITION TYPE

SYMBOL	DESCRIPTION
	UNDERGROUND SEWER PIPE
	CONNECT TO EXISTING PLUMBING
FCO	FLOOR CLEANOUT -SEE MEP DWGS
GCO	GROUND CLEANOUT
SFX	STORE FRONT / LOUVER / CURTAINWALL,
RD	ROOF DRAIN
TS	TIME SWITCH -SEE ELEC DWGS
	PLYWOOD BACKBOARD -SEE ELEC DWGS

5 LEGEND

SCALE: N/A

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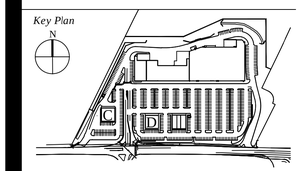
Revisions/Issues

1	03/06/18	AS PER DOB COMMENT
2	03/20/19	ARC FAÇADE UPGRADES

Key Plan



Seal

Project Title
CORTLANDT CROSSING- BUILDING 'C'
3130 - 3160 MAIN STREET (ROUTE 6)
CORTLANDT, NY 10547
TAX I.D. 24.06-1-4

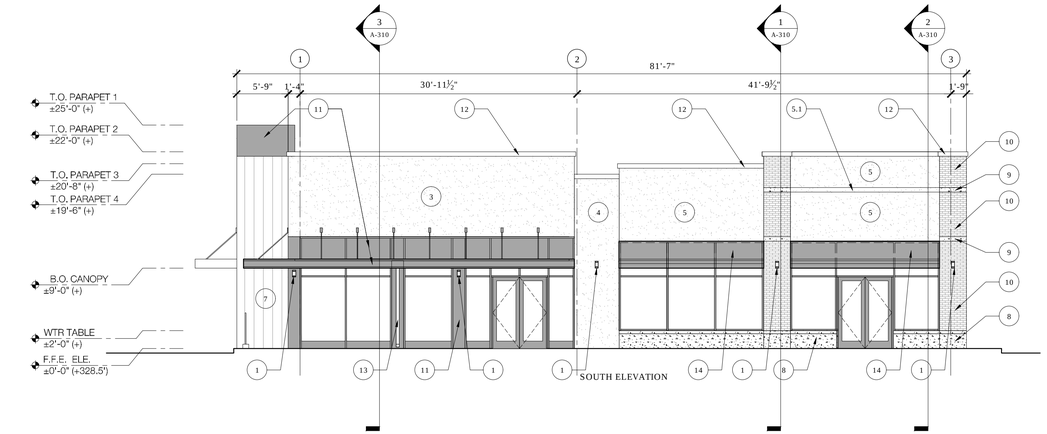
Drawing
FIRST FLOOR PLAN

Job Number 015700

Scale AS INDICATED
Drawing Date **03-20-2019**

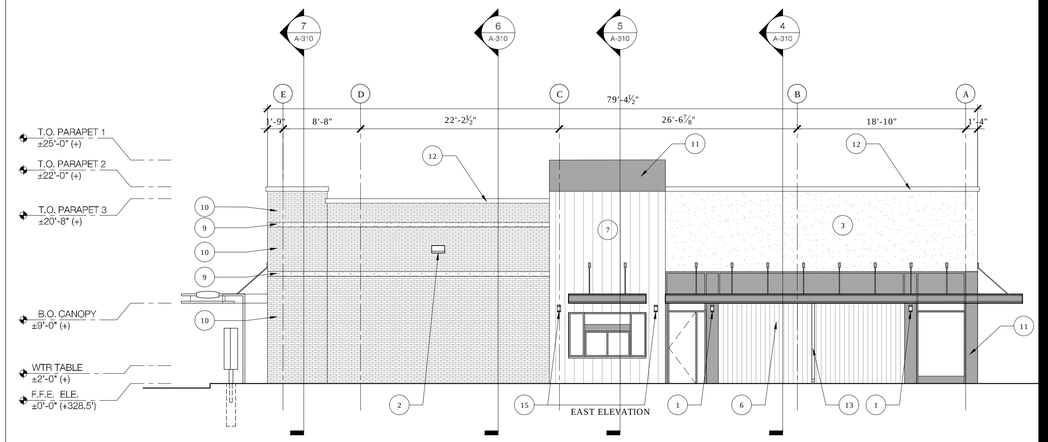
Drawing No.

A-101



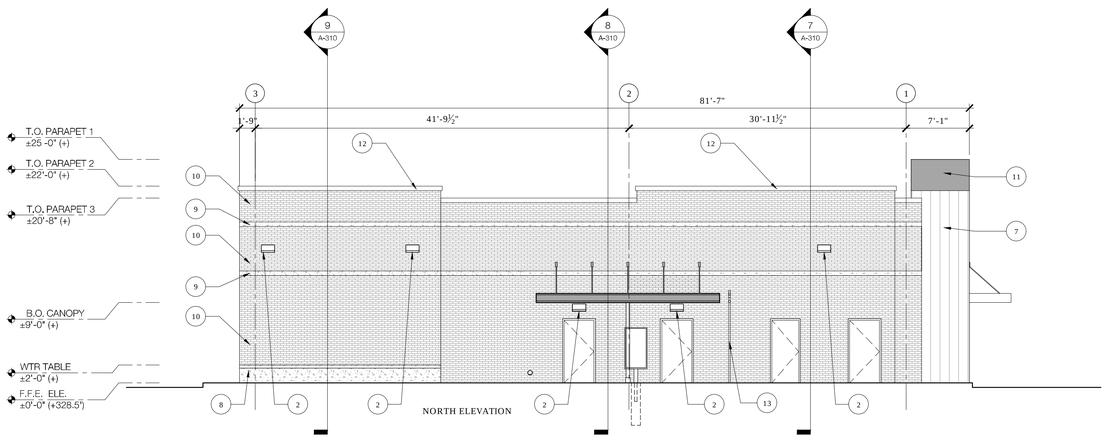
1 EXTERIOR ELEVATION - STOREFRONT

SCALE: 1/8" = 1'-0"



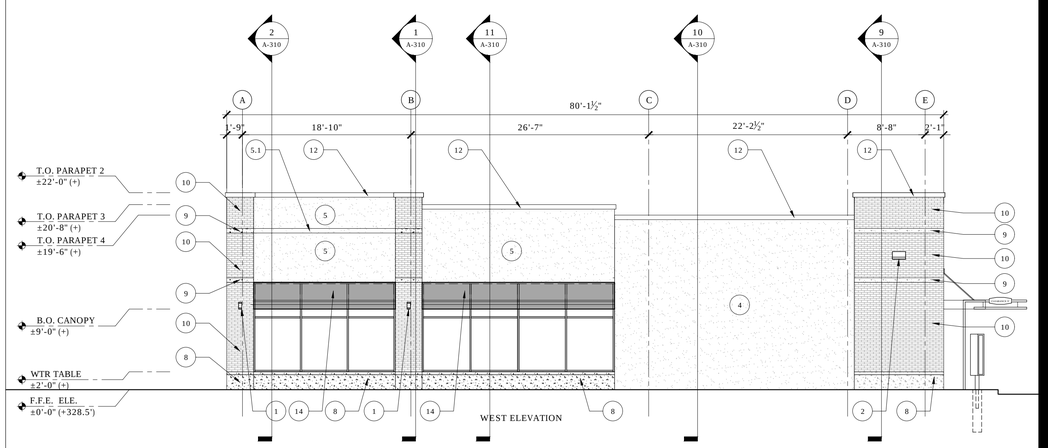
2 EXTERIOR ELEVATION - SIDE

SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - REAR

SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - SIDE

SCALE: 1/8" = 1'-0"

1. EXTERIOR WALL SCONCE, UP/DOWN LIGHT - OLLWU LED P1 40K 120V DDB
2. EXTERIOR WALL LIGHT WITH INTEGRAL BATTERY BACKUP - WST LED P1 30K VW 120 E7WH
3. DRYVIT EIFS : WHITE = E1
4. DRYVIT EIFS : 418A CLAY = E2
5. DRIVIT EIFS : 381 MONASTERY BROWN = E3
5.1. DRIVIT EIFS : 383 HONEY TWIST = E4
6. CORRUGATED EIFS = E4
7. CORRUGATED EIFS = E5
8. PRECAST WATERTABLE FINISH = PC-1
9. PRECAST CONCRETE FINISH = PC-2
10. BRICK VENEER - FINISH = B-1
11. GRAY METAL FINISH = M-1
12. METAL COPING FINISH = MP-1
13. DOWNSPOUT
14. WINDOW AWNING
15. TENANT SPECIFIED EXTERIOR LIGHT

5 KEY NOTES

SCALE: 1/8" = 1'-0"

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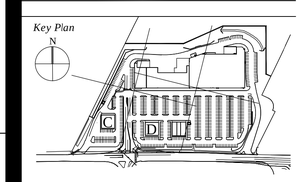
Revisions / Issues

Key Plan



Seal

Project Title
CORTLANDT CROSSING- BUILDING 'C'
3130 - 3160 MAIN STREET (ROUTE 6)
CORTLANDT, NY 10547
TAX I.D. 24.06-1-4

Drawing
EXTERIOR ELEVATIONS - BUILDING 'C'

Job Number 015700

Scale AS INDICATED
Drawing Date **03-20-2019**

Drawing No.

A-201