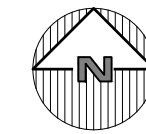


LOCATION MAP
NOT TO SCALE



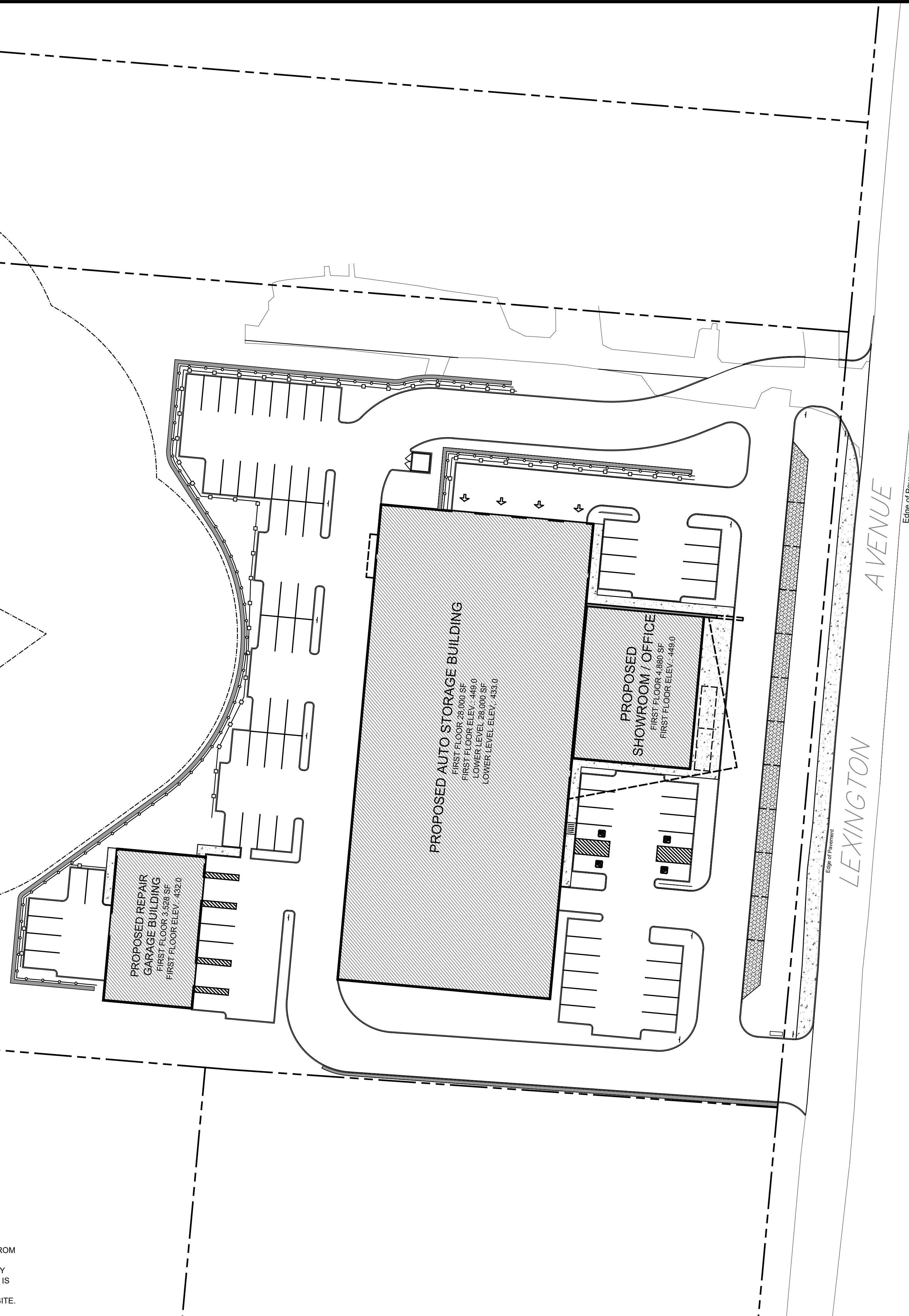
Tax Lot 2
Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
As Per Deed

E:\2019\19-54 JACK AHEARN - LEXINGTON AVENUE ENGINEERING\CD\19-54 JACK AHEARN - LEXINGTON AVENUE SITE PLAN\20-DWG-11192017.3.19-54.DWG

Tax Lot 30
N/F Hyman Mendelowitz

NOTE:
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NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



SITE DATA:

OWNER / DEVELOPER: JACK AHEARN
20 PARK ROAD
BRIARCLIFF MANOR, NY, 10510
PROJECT LOCATION: 3451 LEXINGTON AVE
CORTLANDT, NEW YORK, 10547
EXISTING TOWN ZONING: HC, HIGHWAY COMMERCIAL
PROPOSED USE: AUTO STORAGE
TOWN TAX MAP DATA: SECTION 13.19, BLOCK 2, LOT 2
SITE AREA: 16.55 ACRES (720,911 SF)
SEWAGE FACILITIES: ONSITE SSITS
WATER FACILITIES: PUBLIC WATER FACILITIES

ZONING DISTRICT: HC - Highway Commercial			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	20,000 SF.	720,911 SF.	NONE
MINIMUM LOT WIDTH:	100 FT.	407.4 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	30 FT.	37.5 FT.	NONE
REAR YARD SETBACK:	30 FT.	706.6 FT.	NONE
SIDE YARD SETBACK:	30 FT.	48.2 FT.	NONE
ACCESSORY BUILDINGS:			
FRONT YARD SETBACK:	30 FT.	267.9	NONE
REAR YARD SETBACK:	30 FT.	644.9 FT.	NONE
SIDE YARD SETBACK:	30 FT.	62.2 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
PRINCIPAL BUILDING COVERAGE:	20% OF LOT AREA 144,182.20 SF	4.9 % OF LOT AREA 34,880 SF	NONE NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET	34.51 FEET	NONE
PRINCIPAL BUILDING - STORIES:	2 1/2	2 1/2	NONE
ACCESSORY BUILDING - FEET:			NONE
ACCESSORY BUILDING - STORIES:			NONE

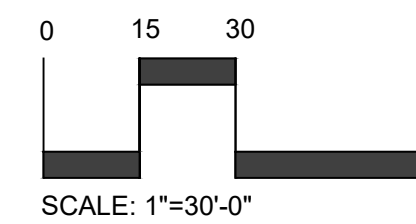
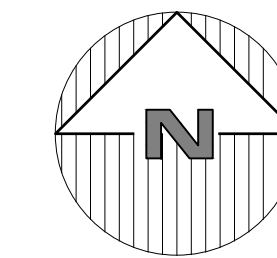
PARKING SCHEDULE

CAR STORAGE BUILDING:	1 SPACES PER 1000 SF OF BUILDING @56,000 = 56 SPACES
ACCESSORY STORAGE/ AUTO REPAIR BUILDING:	1 SPACES PER 1000 SF OF BUILDING @ 1880 = 2 SPACES 1 SPACES PER 150 SF OF BUILDING @ 1880 = 13 SPACES
SHOWROOM BUILDING:	1 PER 400 SF OF HABITABLE GROUND FLOOR SPACE @ 9,760 = 24 SPACES
TOTAL REQUIRED PARKING:	95 SPACES
TOTAL PROVIDED PARKING:	82 STANDARD 6 HANDICAP
TOTAL PROVIDED PARKING:	88 SPACES
PARKING VARIANCE REQUIRED:	0 SPACES

NOTE:
THE SITE IS LOCATED IN A FEMA ZONE X DESIGNATED AS BEING OUTSIDE OF 0.2% CHANCE FLOOD PLAIN

TOWN NOTES:

- PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, ALL TOWN AND NYSDEC WETLANDS SHALL BE RE-FLAGGED AND SURVEYED. THE WETLAND BOUNDARIES SHALL BE INCLUDED IN THE STAKE OUT LIMIT SKETCH.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL OBTAIN COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT FOR CONSTRUCTION ACTIVITY.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AN OWNER OR OPERATOR SHALL HAVE EACH CONTRACTOR AND SUBCONTRACTOR, THAT HAS BEEN IDENTIFIED AS BEING RESPONSIBLE FOR IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), IDENTIFY AT LEAST ONE EMPLOYEE FROM THEIR COMPANY (TRAINED CONTRACTOR) THAT HAS RECEIVED 4 HOURS OF ENDORSED E&S TRAINING. THE TRAINED CONTRACTOR MUST BE ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED AND WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE PRACTICES INCLUDED IN THE SWPPP.
- AN OWNER OR OPERATOR OF A REGULATED CONSTRUCTION PROJECT, WITH SOME EXCEPTIONS, SHALL HAVE A QUALIFIED INSPECTOR CONDUCT SPECIFIC SITE INSPECTIONS. CERTAIN QUALIFIED INSPECTORS WHO WORK ON THESE SITES (I.E. INDIVIDUALS WORKING UNDER DIRECT SUPERVISION OF, AND AT THE SAME COMPANY AS, A LICENSED PROFESSIONAL ENGINEER OR REGISTERED LANDSCAPE ARCHITECT OF NYS) ARE REQUIRED TO COMPLETE 4 HOURS OF E&S TRAINING UNDER THE GENERAL PERMIT.
- A ROAD OPENING PERMIT FILED WITH THE TOWN'S DEPARTMENT OF ENVIRONMENTAL SERVICES IS REQUIRED FOR ANY WORK WITHIN THE TOWN RIGHT-OF-WAY. CONTACT DES AT 914-737-0100.
- A WATER AND SEWER SERVICE PERMITS SHALL BE FILED WITH THE TOWN'S DEPARTMENT OF ENVIRONMENTAL SERVICES AS SHOWN ON THE APPROVED PLANS PRIOR TO THE RELEASE OF ANY BUILDING PERMIT.
- NO RECYCLED MATERIAL SHALL BE BROUGHT TO THE SITE WITHOUT PRIOR TOWN OF CORTLANDT WRITTEN ACKNOWLEDGEMENT. ALL RECYCLED MATERIAL MUST BE COMPLIANT WITH THE NYSDEC'S BENEFICIAL USE DETERMINATION AND BE UNCONTAMINATED.
- FILL MATERIAL PROPOSED TO BE IMPORTED AS PART OF THIS PROJECT SHALL MEET THE MATERIALS TESTING PROTOCOLS OF THE TOWN OF CORTLANDT AND NYSDEC AS MEET THE CRITERIA OF UNRESTRICTED FILL.
- CONCRETE AND OTHER WASTE MATERIAL SHALL NOT BE LEFT ON SITE. ALL MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE APPLICANT'S ENGINEER SHALL SUBMIT HYDROLOGIC AND HYDRAULIC CALCULATIONS AND SHALL CERTIFY THAT ALL STORM WATER INFRASTRUCTURE IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT NO IMPACT TO ADJACENT OR ADJOINING LANDOWNERS OCCURRED.
- THE APPLICANT IS AWARE THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLIANCE. DISTURBED AREAS SHALL BE RESTORED AND STABILIZED APPROPRIATELY IN A TIMELY MANNER. A NOTICE OF TERMINATION SHALL BE FILED WITH THE NYSDEC PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLIANCE, THE DESIGNER OF RECORD SHALL PROVIDE A SIGNED AND SEALED LETTER ADDRESSED TO "WHOM IT MAY CONCERN," STATING THAT THERE IS NO ADVERSE IMPACT TO ADJACENT OR ADJOINING
- THE TOWN SHALL NOT PROVIDE PICKUP FOR TRASH ENCLOSURE AT THIS LOCATION.



SCALE: 1"=30'-0"
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PROJECT # 13-05

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Revisions:	No.	Date	Comments
	1	4/14/20	Town Comments

SCALE: 1" = 30'

DRAWN BY: TK

DATE: 12/30/19

TITLE SHEET

PRELIMINARY SITE PLAN
PREPARED FOR

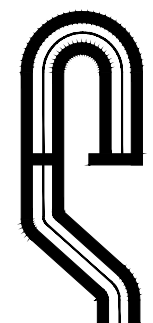
3451 LEXINGTON AVENUE
LLC

Westchester County, NY

Sheet

3451 LEXINGTON AVENUE
Town of Cortlandt

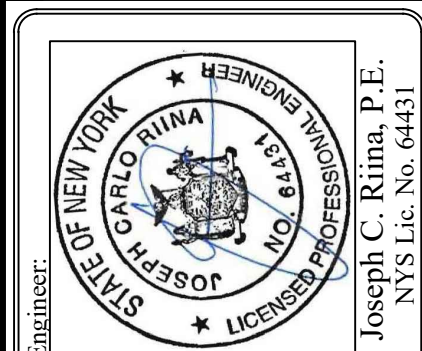
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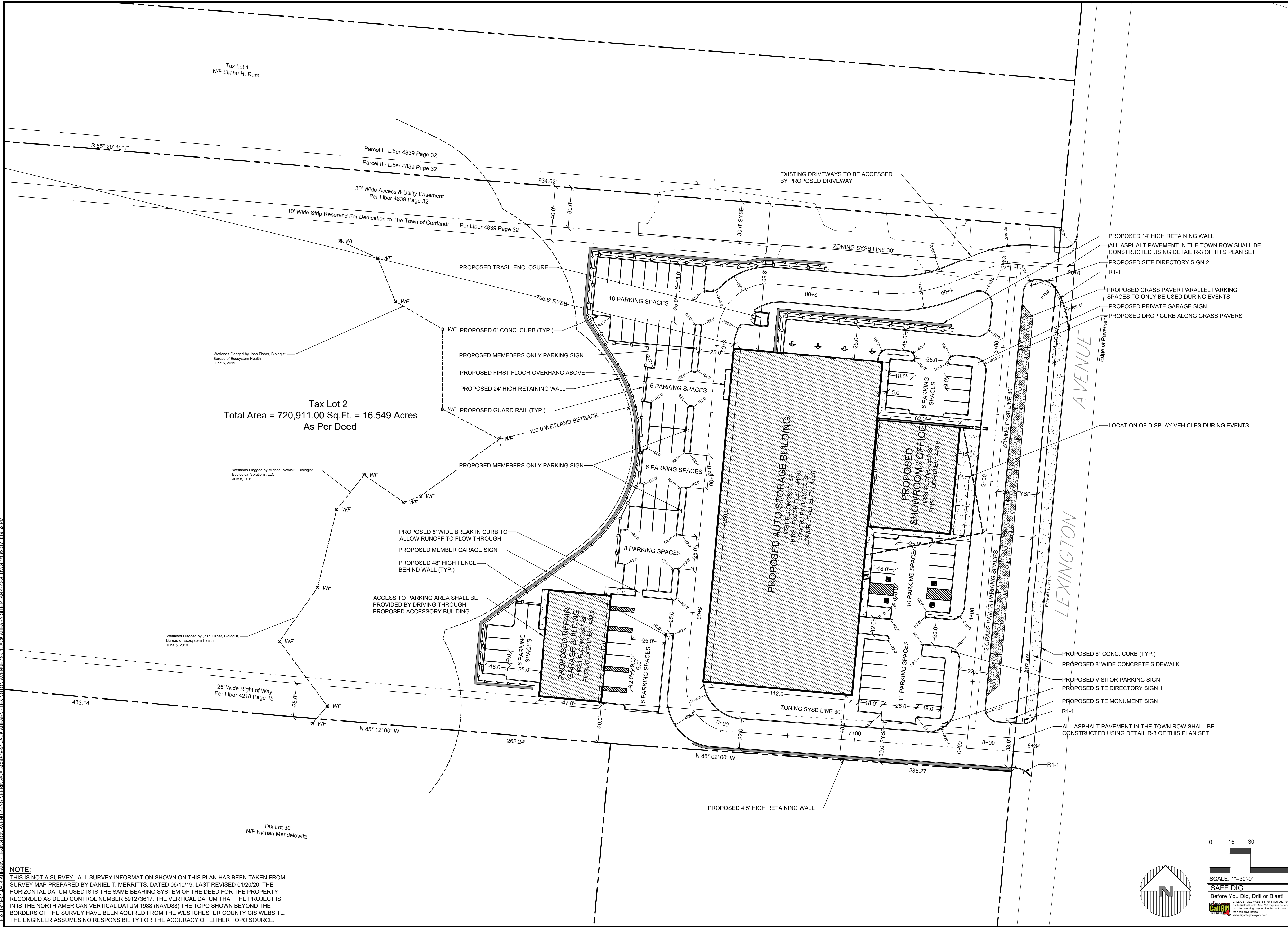
Revisions:	No.	Date	Comments
	1	4/14/20	Town Comments

SCALE:	1" = 30'
DRAWN BY:	TK
DATE:	12/30/19

SITE PLAN

PRELIMINARY SITE PLAN
PREPARED FOR
3451 LEXINGTON AVENUE
LLC
3451 LEXINGTON AVENUE
Town of Cortlandt
Westchester County, NY

Sheet **C-101**



Tax Lot 1
N/F Eilahu H. Ram

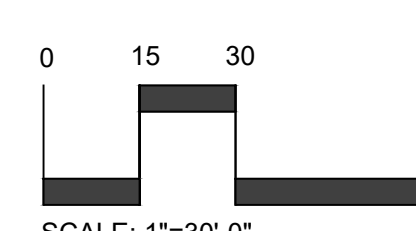
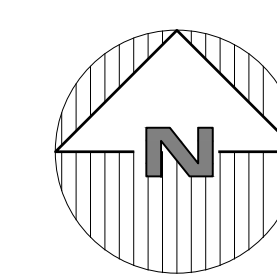
Tax Lot 2
Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
As Per Deed

Tax Lot 30
N/F Hyman Mendelowitz

FILED 12/30/19 5:54 JACK AHEARN - LEXINGTON AVENUE ENGINEERING CAD/CID 19-54 JACK AHEARN - SITE PLAN 4.20 DWG 11/19/2017 3:18:52 PM

NOTE:
THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, DATED 06/10/19, LAST REVISED 01/20/20. THE HORIZONTAL DATUM USED IS THE SAME BEARING SYSTEM OF THE DEED FOR THE PROPERTY RECORDED AS DEED CONTROL NUMBER 591273617. THE VERTICAL DATUM THAT THE PROJECT IS IN IS THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). THE TOPO SHOWN BEYOND THE BORDERS OF THE SURVEY HAVE BEEN ACQUIRED FROM THE WESTCHESTER COUNTY GIS WEBSITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.

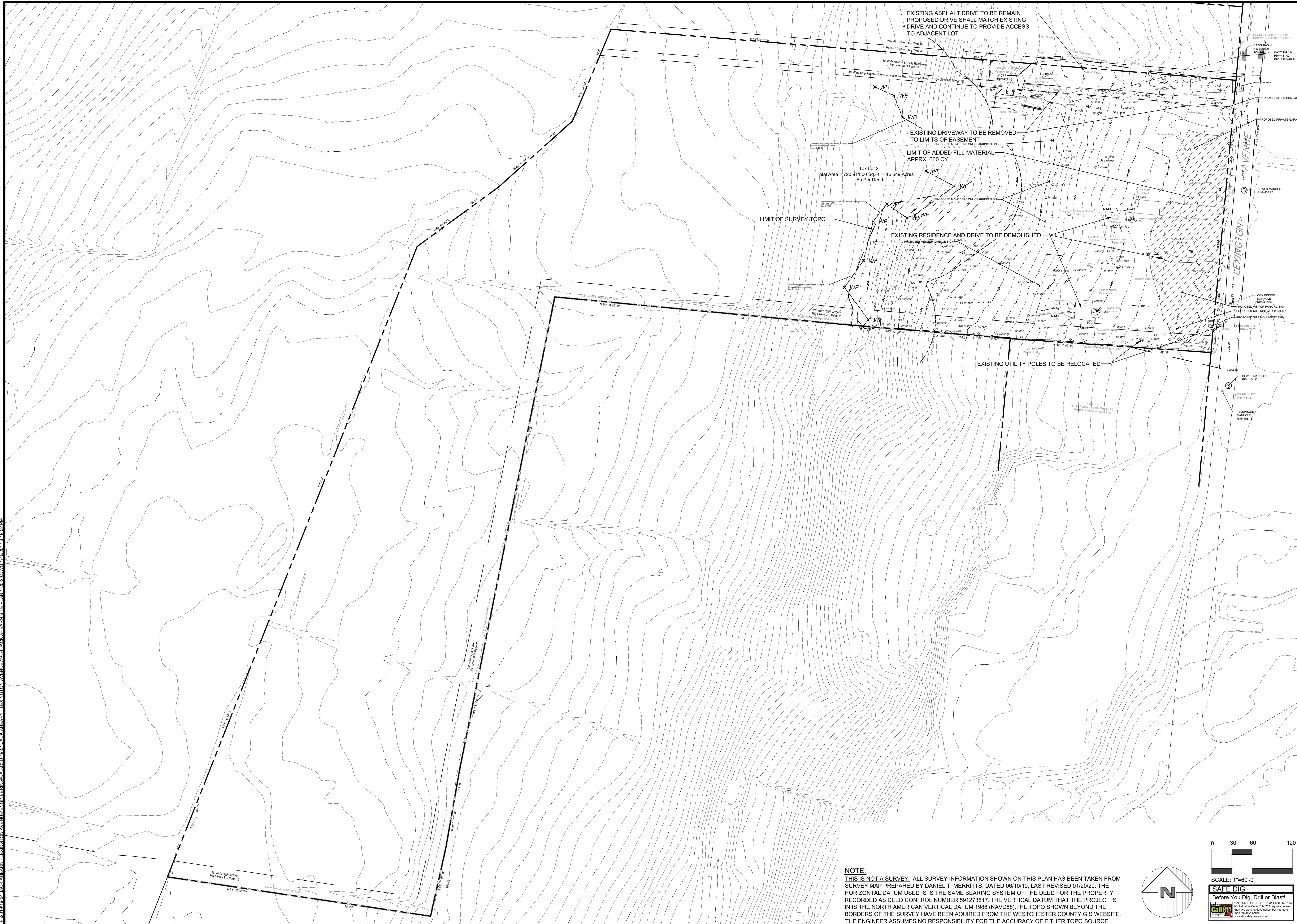
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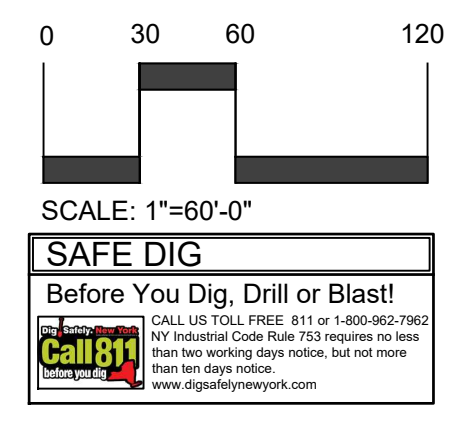
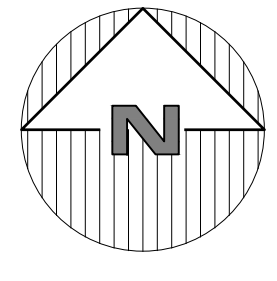
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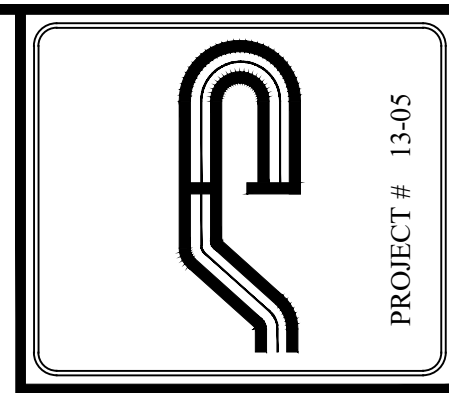
EX-2018-19-54 JACK AHEARN, LEXINGTON AVENUE ENGINEERING CAD/CID 19-54 JACK AHEARN, LEXINGTON AVENUE SITE PLAN 4.20.20 DWG 4/16/2017 2:18:52 PM



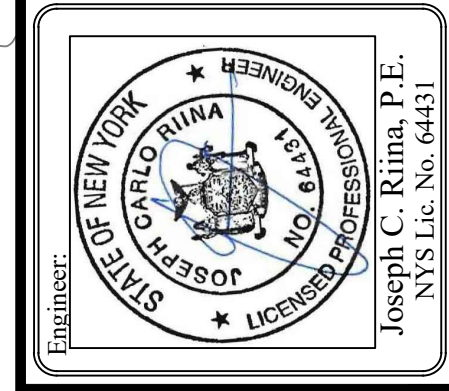
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Revisions:

No.	Date	Comments
1	4/14/20	Town Comments

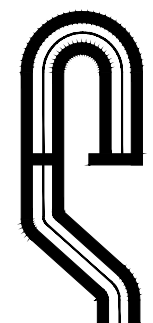
SCALE: 1" = 60'
DRAWN BY: TK
DATE: 12/30/19

EXISTING CONDITIONS

PRELIMINARY SITE PLAN
PREPARED FOR
3451 LEXINGTON AVENUE LLC
3451 LEXINGTON AVENUE
Town of Cortlandt Westchester County, NY

Sheet **C-102**

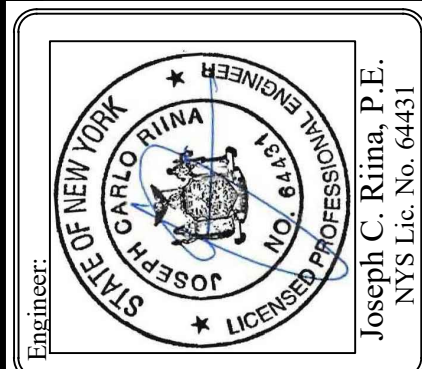
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PROJECT # 13-05

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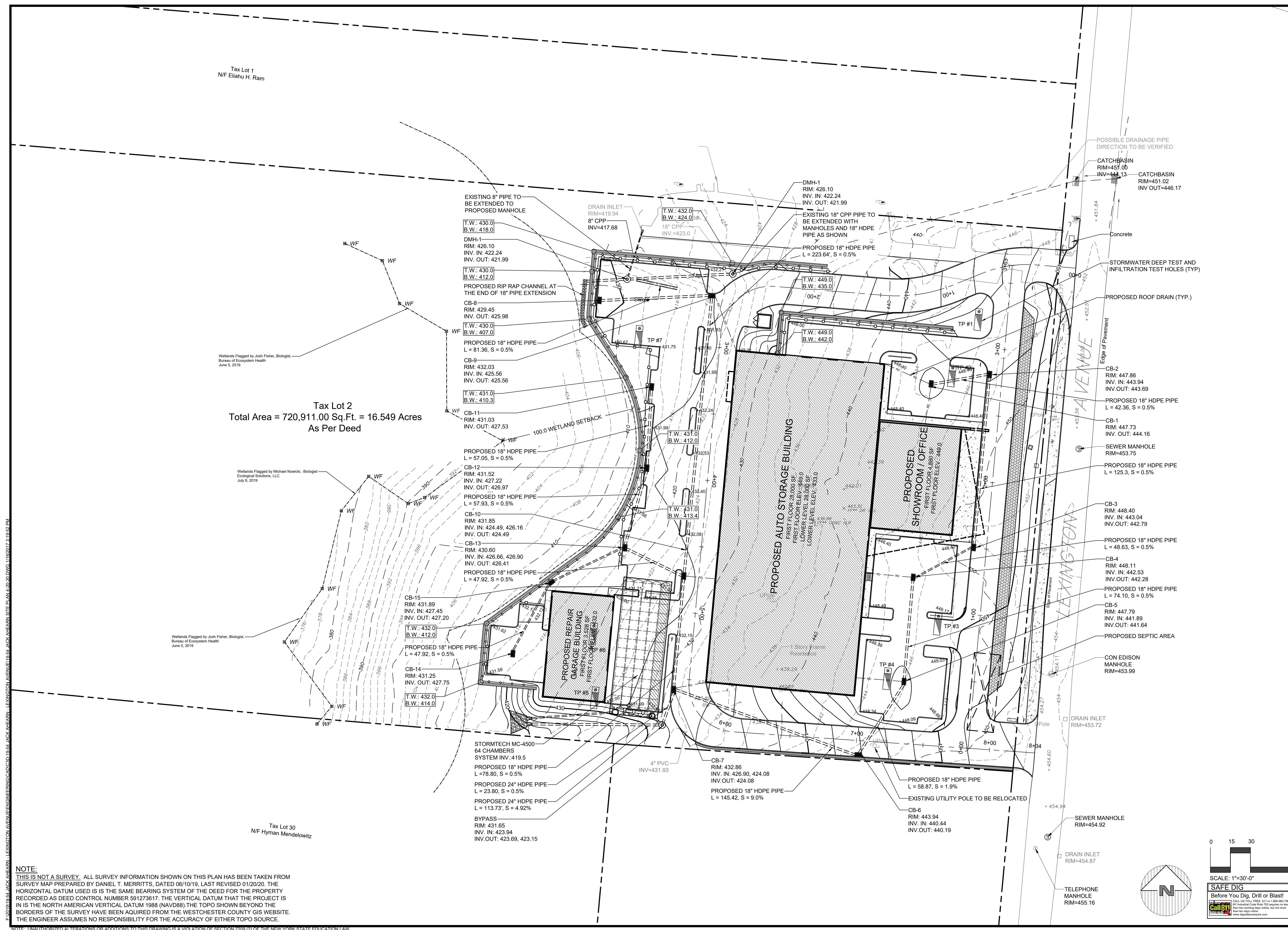
Revisions:	No.	Date	Comments
	1	4/14/20	Town Comments

SCALE:	1" = 30'
DRAWN BY:	TK
DATE:	12/30/19

IMPROVEMENT PLAN

PRELIMINARY SITE PLAN
PREPARED FOR
3451 LEXINGTON AVENUE LLC
3451 LEXINGTON AVENUE
Westchester County, NY

Sheet **C-104**



Tax Lot 1
N/F Elahu H. Ram

Tax Lot 2
Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
As Per Deed

Wetlands Flagged by Josh Fisher, Biologist,
Bureau of Ecosystem Health
June 5, 2019

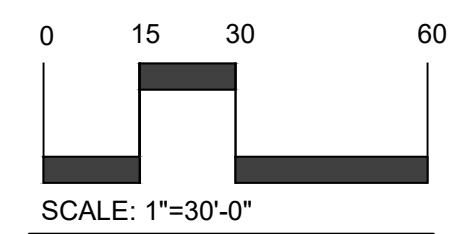
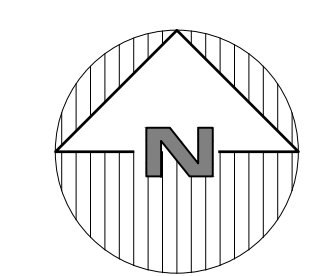
Wetlands Flagged by Michael Nowicki, Biologist,
Ecological Solutions, LLC
July 9, 2019

Wetlands Flagged by Josh Fisher, Biologist,
Bureau of Ecosystem Health
June 5, 2019

Tax Lot 30
N/F Hyman Mendelowitz

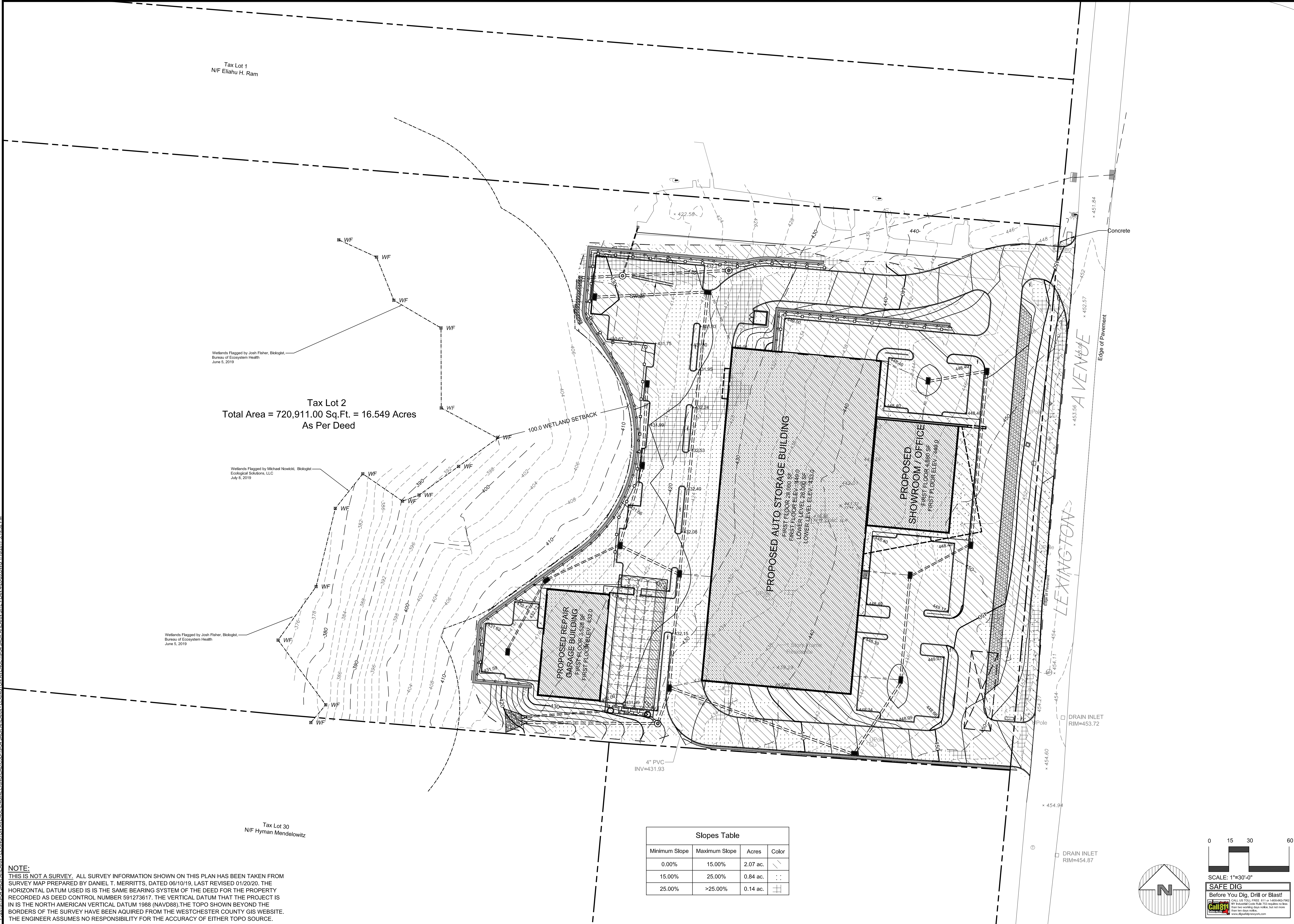
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E:\2018\18-54 JACK AHEARN - LEXINGTON AVENUE\ENGINEERING\DWG\18-54 JACK AHEARN - LEXINGTON AVENUE SITE PLAN 4.20.20.DWG, 11/20/2017 3:18:52 PM



Tax Lot 1
N/F Eliahu H. Ram

Tax Lot 2
Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
As Per Deed

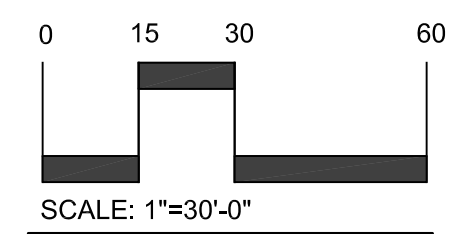
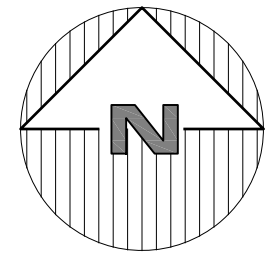
Tax Lot 30
N/F Hyman Mendelowitz

Wetlands Flagged by Josh Fisher, Biologist,
Bureau of Ecosystem Health
June 5, 2019

Wetlands Flagged by Michael Nowicki, Biologist,
Ecological Solutions, LLC
July 9, 2019

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June 5, 2019

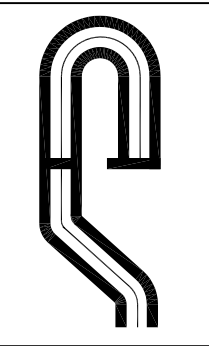
Slopes Table			
Minimum Slope	Maximum Slope	Acres	Color
0.00%	15.00%	2.07 ac.	///
15.00%	25.00%	0.84 ac.	:::
25.00%	>25.00%	0.14 ac.	+



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PROJECT # 13-05

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Engineer:
Joseph C. Rinna, P.E.
NYS Lic. No. 64431

Revisions:	No.	Date	Comments
	1	4.14.20	Town Comments

SCALE:
1" = 30'

DRAWN BY:
TK

DATE:
12/30/19

**STEEP SLOPES
MAP**

PRELIMINARY SITE PLAN
PREPARED FOR

**3451 LEXINGTON AVENUE
LLC**

3451 LEXINGTON AVENUE
Town of Cortlandt
Westchester County, NY

Sheet
C-105

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Average Grade and Building Height Calculation

Project Name: Ahearn Project Number: 19-54
 Prepared By: Site Design Consultants Date: 4/14/2020
 Completed By: Thomas Kerrigan

Tax Lot 1
 N/F Eliahu H. Ram

Wall Grade Change	Wall Length	Grade Area
433.17 + 434.54 2.00	39.81	= 17271.77 ft ²
435.04 + 446.90 2.00	x 112.91	= 49789.92 ft ²
446.90 + 448.70 2.00	x 8.89	= 3980.94 ft ²
448.20 + 448.12 2.00	x 21.5	= 9635.44 ft ²
448.12 + 448.54 2.00	x 43.64	= 19565.12 ft ²
448.54 + 448.25 2.00	x 14.6	= 6546.57 ft ²
448.25 + 448.26 2.00	x 37.86	= 16970.93 ft ²
448.26 + 448.24 2.00	x 10.87	= 4872.48 ft ²
448.24 + 448.59 2.00	x 30.54	= 13694.59 ft ²
449.09 + 449.27 2.00	x 10.97	= 4927.50 ft ²
448.77 + 448.84 2.00	x 4.52	= 2028.60 ft ²
448.84 + 448.67 2.00	x 60.01	= 26929.79 ft ²
448.67 + 448.44 2.00	x 60.01	= 26917.79 ft ²
448.44 + 448.40 2.00	x 4.50	= 2017.89 ft ²
448.90 + 448.90 2.00	x 11.00	= 4937.90 ft ²
448.40 + 448.01 2.00	x 30.47	= 13656.81 ft ²
448.01 + 448.22 2.00	x 16.09	= 7210.17 ft ²
448.22 + 448.10 2.00	x 43.44	= 19468.07 ft ²
448.10 + 449.00 2.00	x 94.44	= 42361.06 ft ²
449.50 + 449.50 2.00	x 5.50	= 2472.25 ft ²
449.50 + 438.00 2.00	x 2.00	= 887.50 ft ²
438.00 + 433.50 2.00	x 25.56	= 11137.77 ft ²
433.00 + 431.96 2.00	x 24.41	= 10556.84 ft ²
431.96 + 431.90 2.00	x 15.02	= 6487.59 ft ²
431.90 + 432.65 2.00	x 90.54	= 39138.18 ft ²
432.65 + 431.90 2.00	x 90.54	= 39138.18 ft ²
431.90 + 433.17 2.00	x 93.91	= 40619.36 ft ²

Total = 443221.01 ft²
 Perimeter = 1003.55 ft
 Average Grade = 441.65 ft
 Elev. Of Avg. Roof Hgt. = ft
 Building Height = ft

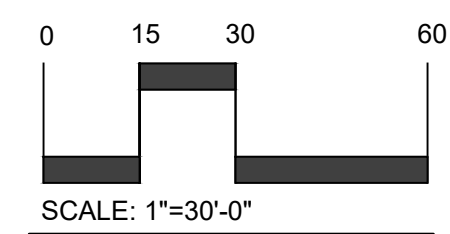
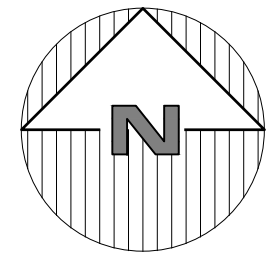
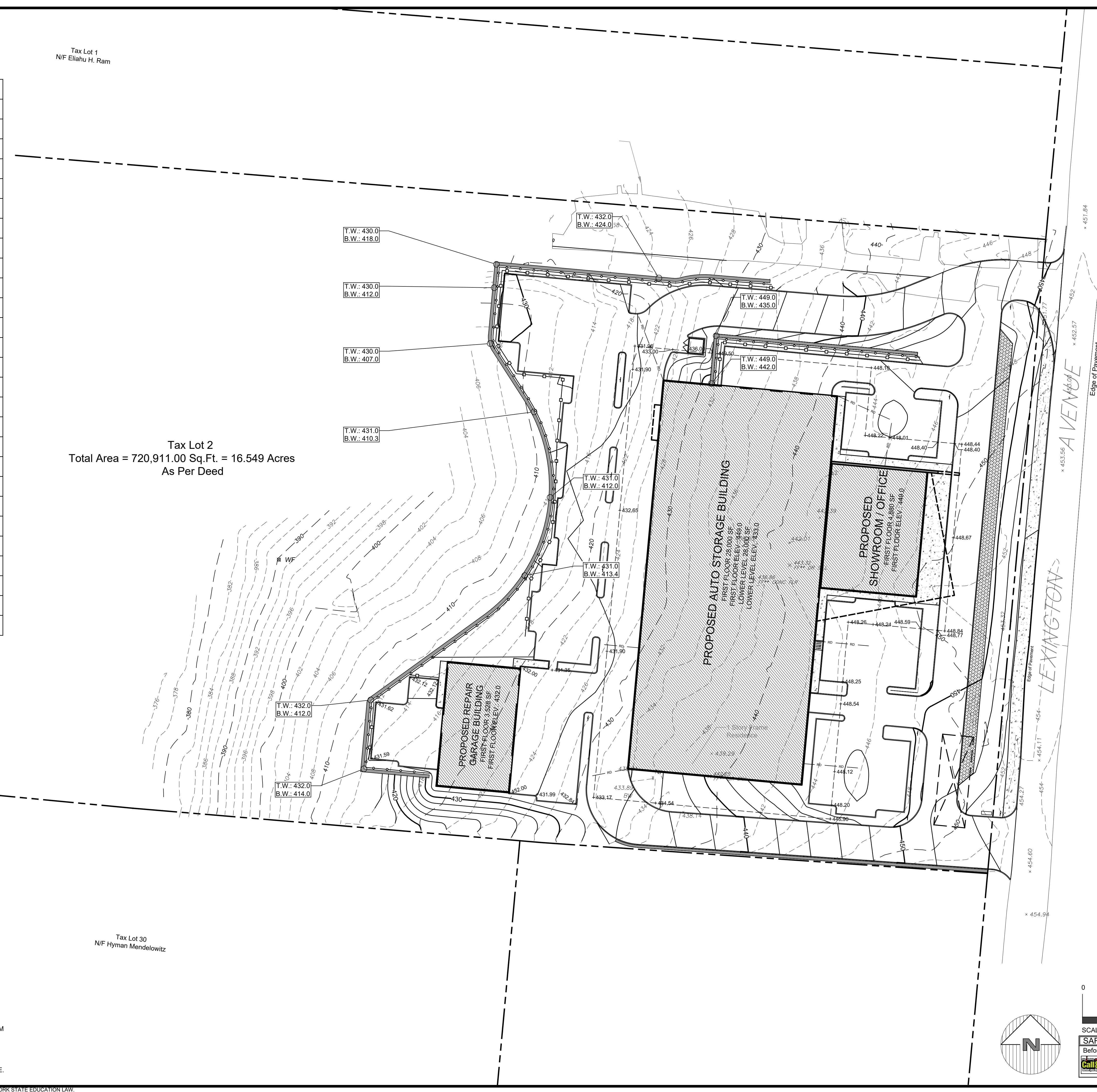
Tax Lot 2
 Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
 As Per Deed

Tax Lot 30
 N/F Hyman Mendelowitz

E:\2019\19-54 JACK AHEARN - LEXINGTON AVENUE\19-54 JACK AHEARN SITE PLAN\4.20.DWG, 4/14/2020 2:18:52 PM

NOTE:
 THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, DATED 06/10/19, LAST REVISED 01/20/20. THE HORIZONTAL DATUM USED IS THE SAME BEARING SYSTEM OF THE DEED FOR THE PROPERTY RECORDED AS DEED CONTROL NUMBER 591273617. THE VERTICAL DATUM THAT THE PROJECT IS IN IS THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). THE TOPO SHOWN BEYOND THE BORDERS OF THE SURVEY HAVE BEEN ACQUIRED FROM THE WESTCHESTER COUNTY GIS WEBSITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.

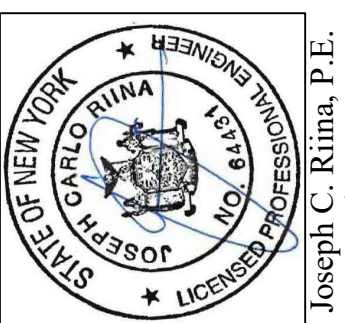
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PROJECT # 13-05

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 www.sitedesignconsultants.com


 Joseph C. Rima, P.E.
 NYS Lic. No. 64431

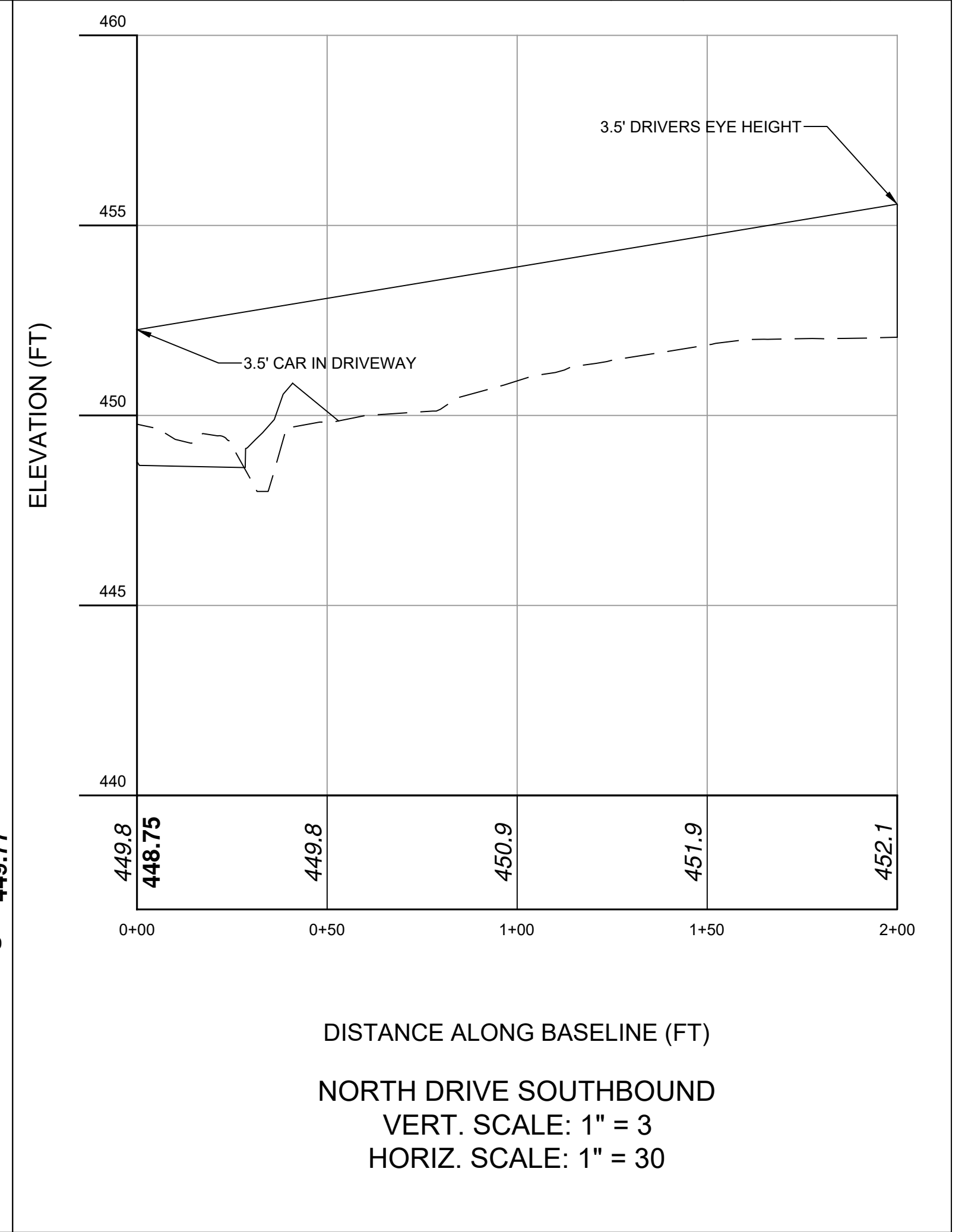
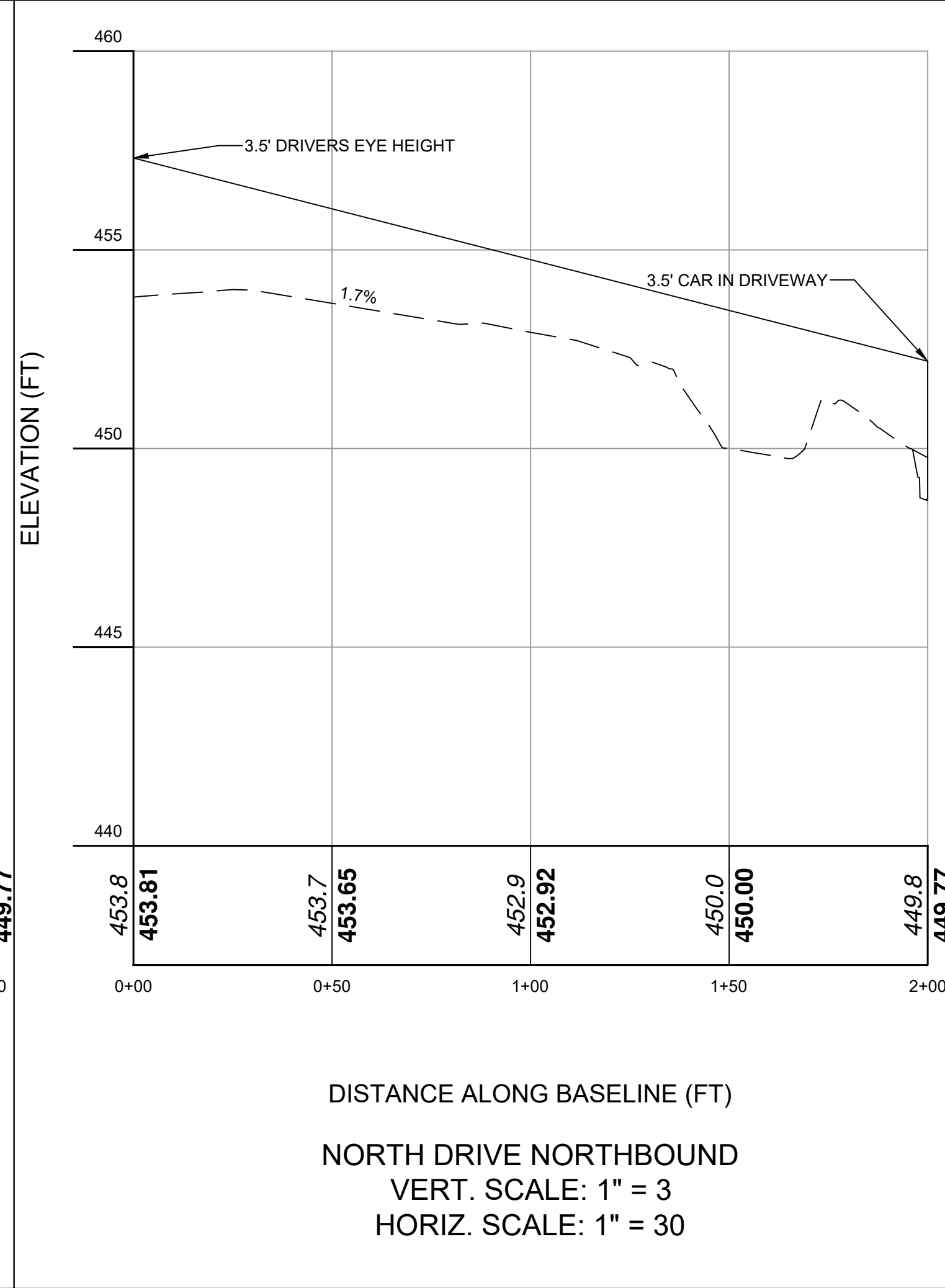
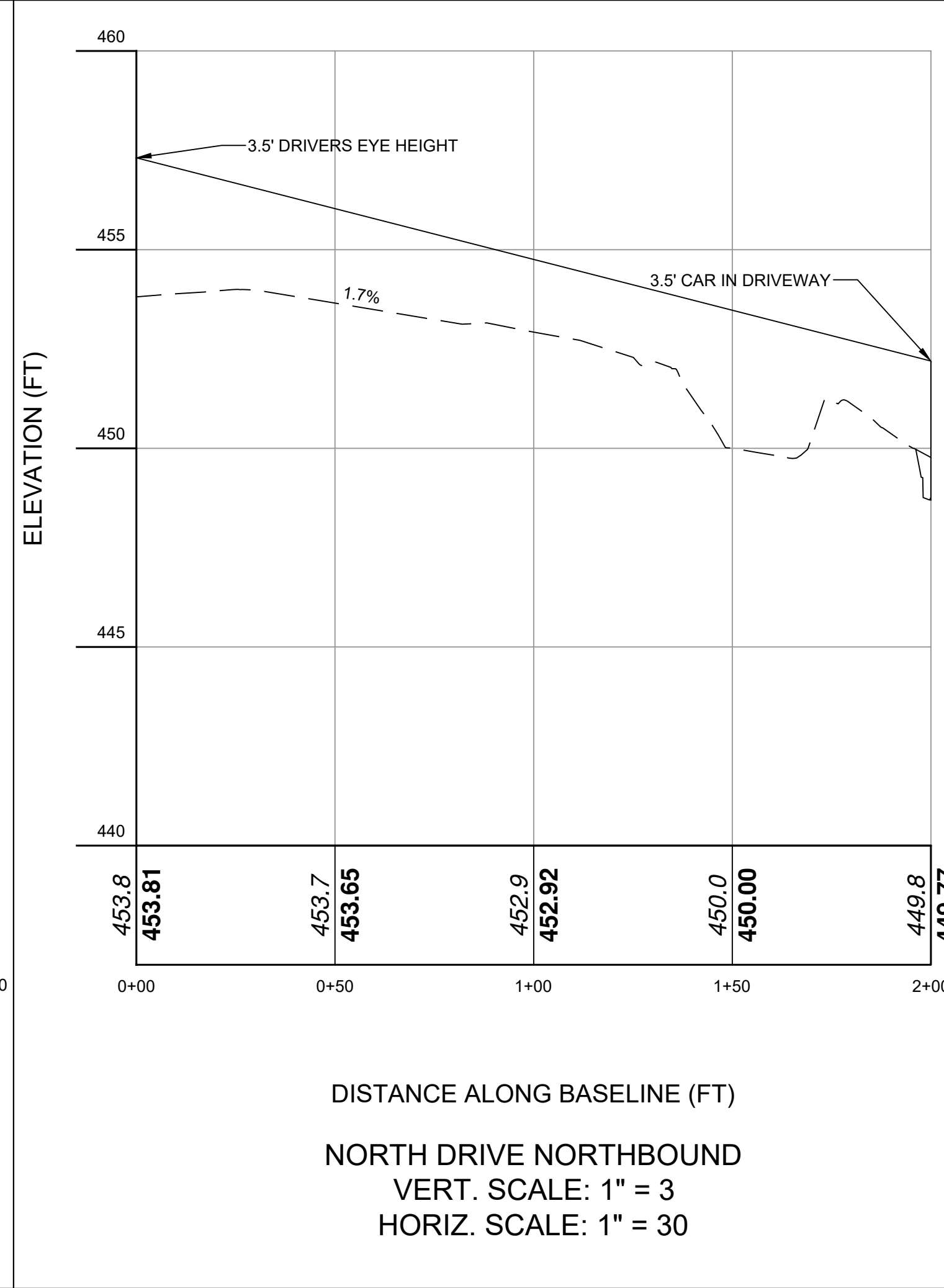
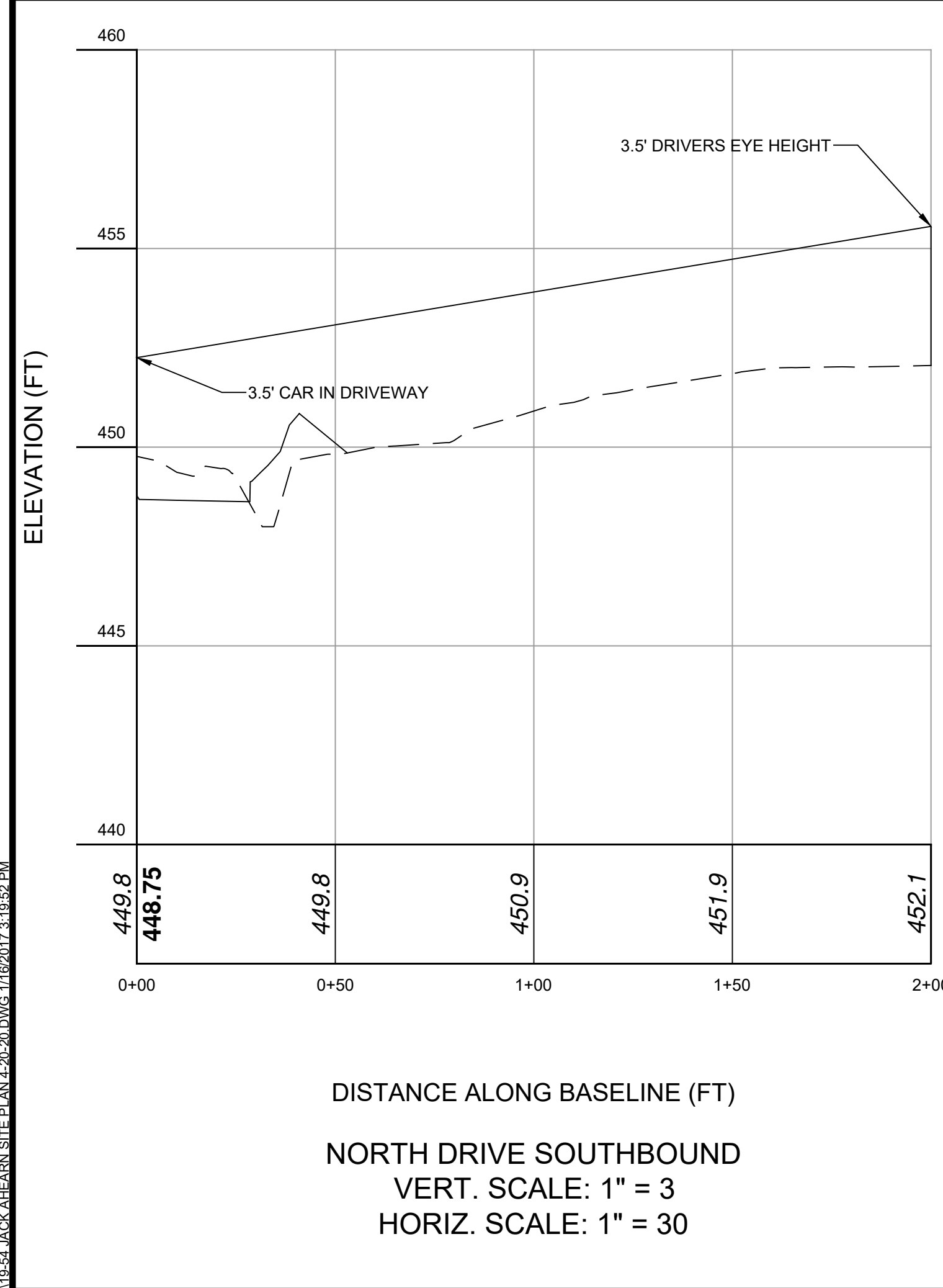
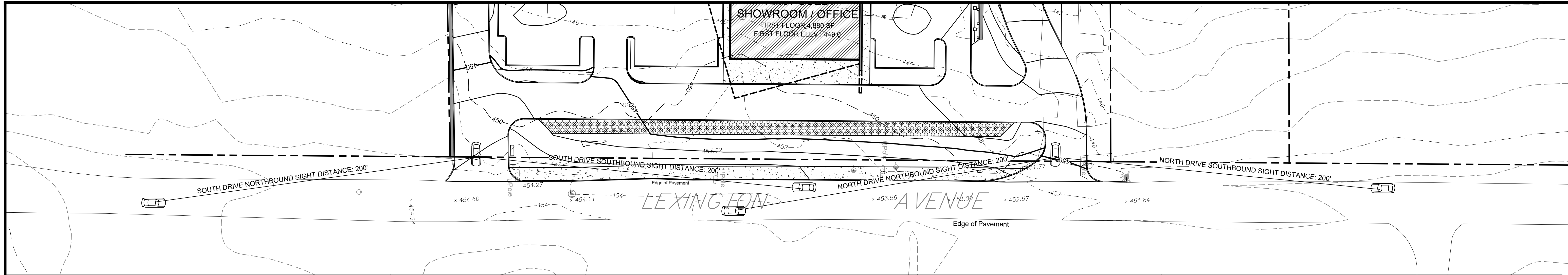
Revisions:	No.	Date	Comments
	1	4/14/20	Town Comments

SCALE: 1" = 30'
 DRAWN BY: TK
 DATE: 12/30/19

AVERAGE
GRADE PLAN

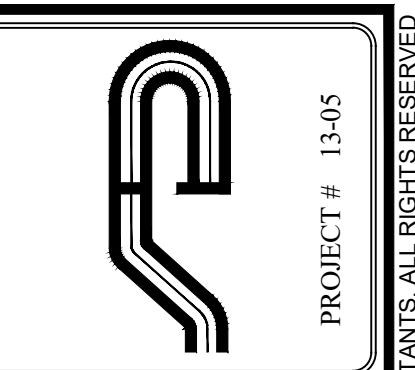
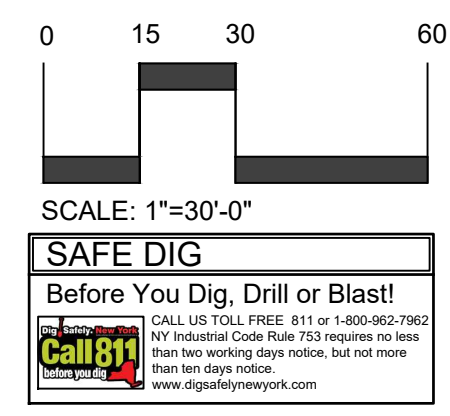
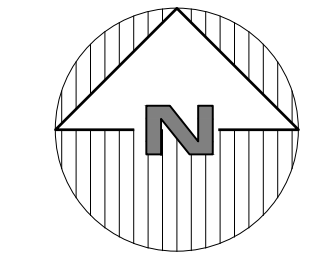
PRELIMINARY SITE PLAN
 PREPARED FOR
**3451 LEXINGTON AVENUE
 LLC**
 3451 LEXINGTON AVENUE
 Town of Cortlandt
 Westchester County, NY

Sheet
C-106

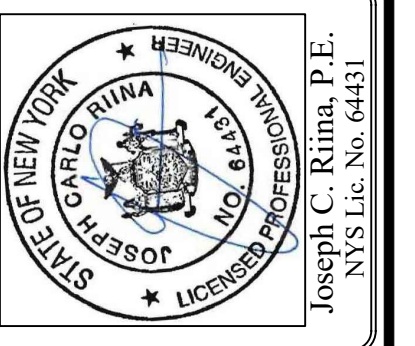


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SCALE: 1" = 30'
DRAWN BY: TK
DATE: 12/30/19

**SIGHT
DISTANCE
PLAN**

PRELIMINARY SITE PLAN
PREPARED FOR
**3451 LEXINGTON AVENUE
LLC**
3451 LEXINGTON AVENUE
Town of Cortlandt Westchester County, NY

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E:\2018\18-54 JACK AHEARN - LEXINGTON AVENUE\ENGINEERING\CADD\18-54 JACK AHEARN - LEXINGTON AVENUE SITE PLAN.dwg, 4/16/2017 3:18:52 PM

Tax Lot 1
N/F Eilahu H. Ram

Tax Lot 2
Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
As Per Deed

Tax Lot 30
N/F Hyman Mendelowitz

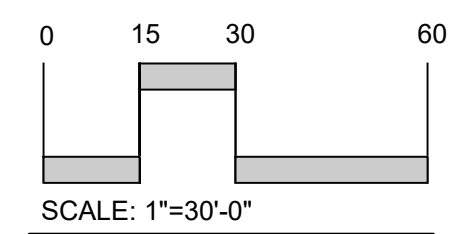
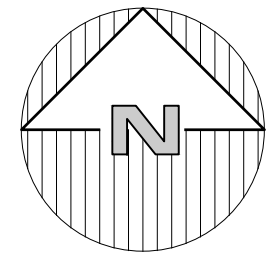
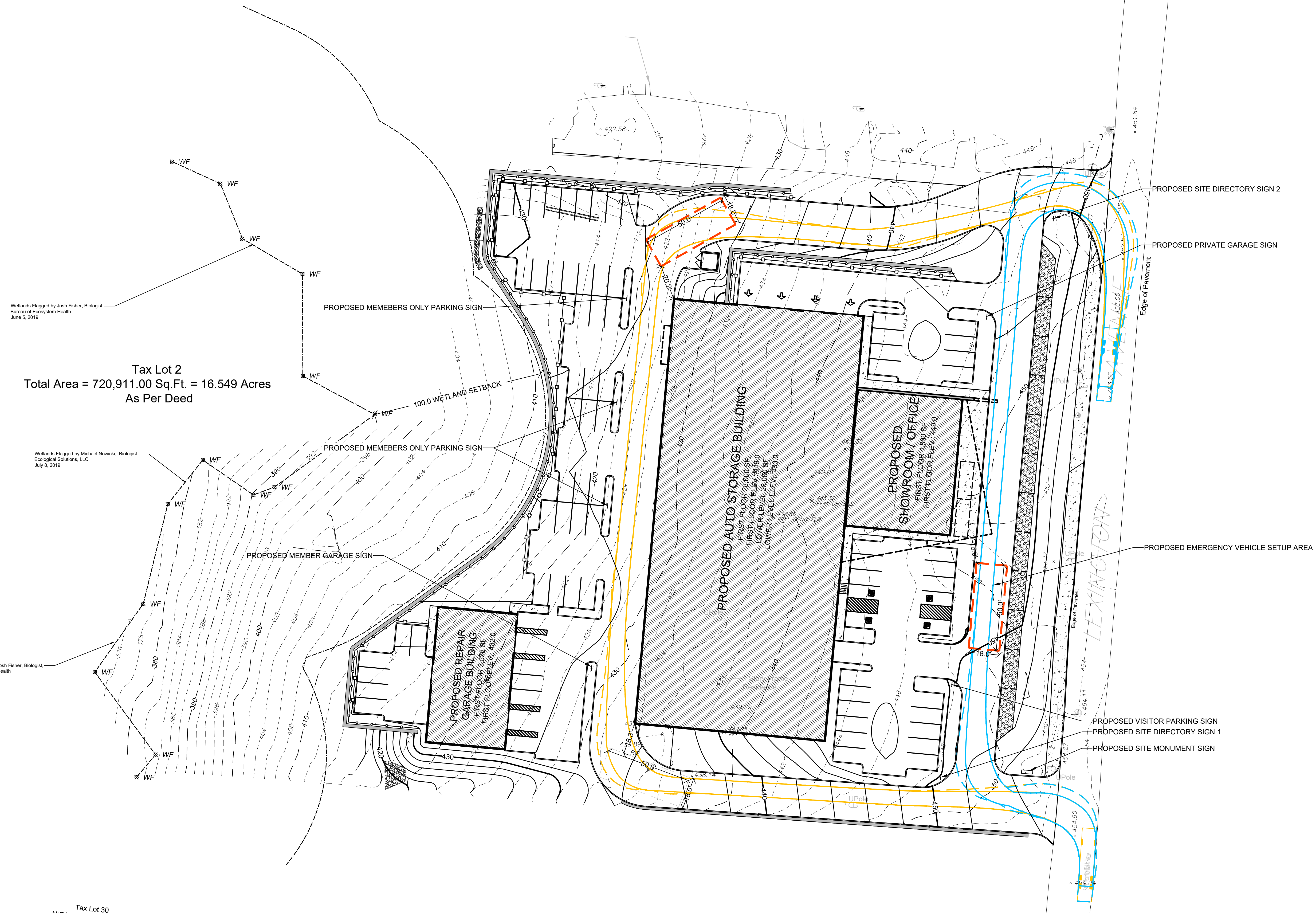
Wetlands Flagged by Josh Fisher, Biologist,
Bureau of Ecosystem Health
June 5, 2019

Wetlands Flagged by Michael Nowicki, Biologist,
Ecological Solutions, LLC
July 8, 2019

Wetlands Flagged by Josh Fisher, Biologist,
Bureau of Ecosystem Health
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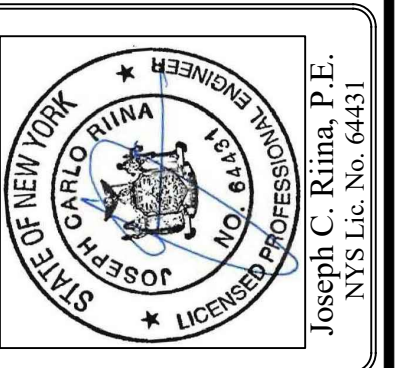
SCALE: 1" = 30'
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VEHICLE TURNING PLAN

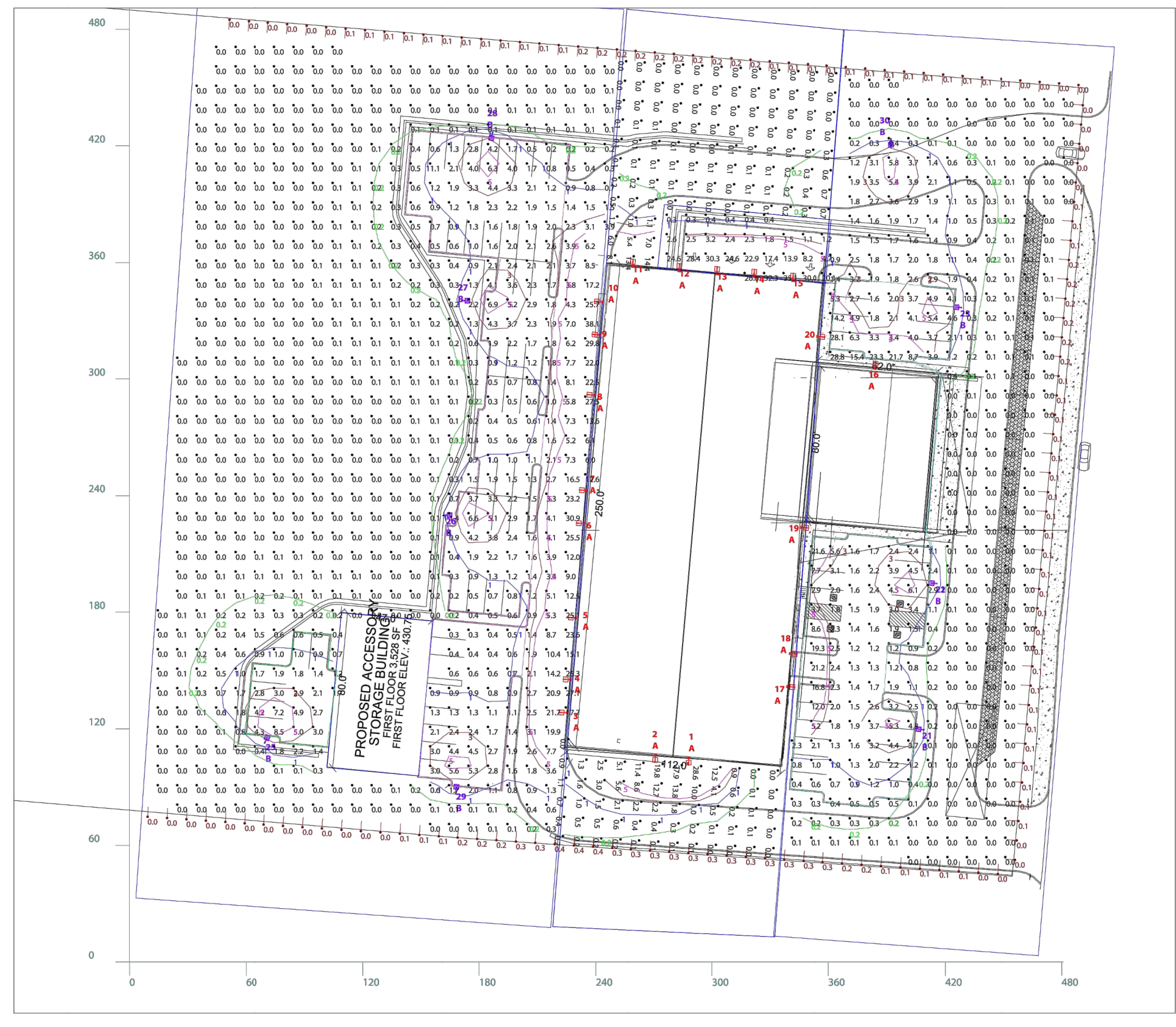
PRELIMINARY SITE PLAN
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3451 LEXINGTON AVENUE LLC
3451 LEXINGTON AVENUE
Town of Cortlandt
Westchester County, NY

Sheet **C-108**

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Scale: 1 inch=60 Ft.

RAB
170 Ludlow Avenue, Northvale, NJ 07647
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Prepared For: **Darin Sales**
28 Brunswick Ave
Edison, NJ 08817

Job Name: **3451 Lexington Ave**
Cortlandt, NY
Lighting Layout
Version B

Scale: as noted
Date: 4/15/2020
Filename: 3451 Lexington Ave Layout 00374415.BAGI

PROJECT #: 150590
CASE #: 00374415

Drawn By: A. Murphy

File name: C:\Users\anna.murphy\Desktop\Temp folder\3451 Lexington Ave Layout 00374415.BAGI

The Lighting Analysis, est. report, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by the RAB Lighting Inc. ("RAB") represent an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.

RAB neither warrants, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design. The Lighting Design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpCr	PtSpCb	Meter Type
CalcPts - Behind Storage Bldg	Illuminance	Fc	1.42	38.1	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	10	10	Horizontal
CalcPts - Front of Site	Illuminance	Fc	1.47	28.8	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	10	10	Horizontal
Property Line - Front	Illuminance	Fc	0.10	0.2	0.0	N.A.	N.A.	Readings taken at 5'-0" AFG	10	N.A.	Vert-PerpCCW
Property Line - North	Illuminance	Fc	0.10	0.2	0.0	N.A.	N.A.	Readings taken at 5'-0" AFG	10	N.A.	Vert-PerpCCW
Property Line - South	Illuminance	Fc	0.16	0.4	0.0	N.A.	N.A.	Readings taken at 5'-0" AFG	10	N.A.	Vert-PerpCCW
Retaining Wall_Top	Illuminance	Fc	11.38	35.1	0.3	37.93	117.00	Readings taken on Wall	10	10	Normal
Slope of Parking Lots, Grade	Illuminance	Fc	1.55	28.6	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	10	10	Normal
Back of Building Parking	Illuminance	Fc	1.77	6.9	0.2	8.85	34.50	Readings taken at 0'-0" AFG	10	10	Normal
Back Storage Parking	Illuminance	Fc	3.21	8.5	0.9	3.57	9.44	Readings taken at 0'-0" AFG	10	10	Normal
Front of Building Parking	Illuminance	Fc	3.65	23.3	0.4	9.13	58.25	Readings taken at 0'-0" AFG	10	10	Normal

Symbol	Qty	Tag	Label	Arrangement	LF	Description	BUG Rating
	20	A	WPLED2T78	SINGLE	1,000	Type II Wall Mount	B1-U0-G2
	9	B	ALED4T785FN-PCS	SINGLE	1,000	Type IV Slipfitter Mount	B1-U0-G2

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	287.908	102.444	0.616	270	0
2	A	270.679	103.813	0.697	265.801	0
3	A	221.983	128.504	-8.45	176.295	0
4	A	224.148	145.495	-8.45	176.295	0
5	A	226.837	177.367	-8.45	176.295	0
6	A	230.878	225.93	-8.45	176.295	0
7	A	232.465	242.92	-8.45	176.295	0
8	A	236.321	292.015	-8.45	176.295	0
9	A	239.03	323.009	-8.45	176.295	0
10	A	240.187	340.054	-8.45	176.295	0
11	A	259.285	360.746	-3.34	85.68	0
12	A	283.148	358.51	9.002	85.68	0
13	A	302.54	356.929	9.002	85.68	0
14	A	321.626	355.524	9.002	85.68	0
15	A	341.571	353.507	9.002	85.68	0
16	A	384.134	308.253	8.093	85.68	0
17	A	341.45	141.579	7.682	355.915	0
18	A	342.726	158.649	7.682	355.915	0
19	A	348.501	223.523	7.682	355.915	0
20	A	357.177	321.791	7.682	355.915	0
21	B	407.013	119.789	20	173.839	10
22	B	413.8	194.973	20	174.663	10
23	B	426.445	336.99	20	175.87	10
24	B	70.551	114.684	2.976	65.71	0
25	B	163.861	230.042	2.976	0	10
26	B	173.016	340.431	2.976	0	10
27	B	186.375	424.993	2.976	259.178	10
28	B	168.135	89.309	2.976	84.059	10
29	B	392.066	421.593	20	270	10

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Prepared For: **Darin Sales**
28 Brunswick Ave
Edison, NJ 08817

Job Name: **3451 Lexington Ave**
Cortlandt, NY
Lighting Layout
Version B

Scale: as noted
Date: 4/15/2020
Filename: 3451 Lexington Ave Layout 00374415.BAGI

PROJECT #: 150590
CASE #: 00374415

Drawn By: A. Murphy

File name: C:\Users\anna.murphy\Desktop\Temp folder\3451 Lexington Ave Layout 00374415.BAGI

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WPLED2T78



Color: Bronze Weight: 34.8 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: Constant Current	Watts: 78W
120V: 0.66A	Color Temp: 5000K (Cool)
208V: 0.41A	Color Accuracy: 71 CRI
240V: 0.35A	L70 Lfespans: 100000
277V: 0.30A	Lumens: 9552
Input Watts: 78W	Efficacy: 123 LPW
Efficiency: N/A	

Technical Specifications

Listings:
UL Listed: Suitable for wet locations as a downlight
DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P00017AG

IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

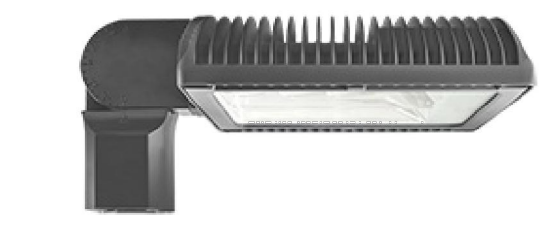
LED Characteristics
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
LEDs: Six (6) multi-chip, 13W, high-output, long-life LEDs
Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent future-to-future color
Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period
Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction
IP Rating: Ingress Protection rating of IP66 for dust and water
Ambient Temperature: Suitable for use in 40°C (104°F) ambient temperatures
Cold Weather Starting: Minimum starting temperature is -40°C (-40°F)
Housing: Die cast aluminum housing, lens frame and mounting arm
Reflector: Specular vacuum-metallized polycarbonate
Gaskets: High temperature silicone gaskets
Finishes: Formulated for high-durability and long lasting color
Green Technology: Mercury and UV-free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOCs or toxic heavy metals.
For use on LEED Buildings: IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction

Optical
Specification Grade Optics: The Type II distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.
BUG Rating: B1 U0 G2
Electrical
Drivers: Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%
THD: 5.0% at 120V, 12.3% at 277V
Surge Protection: 6kV
Other
Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com
Patents: The WPLED design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.
Replacement: Replaces 400W Metal Halide

Need help? Tech help line: (888) RAB-1000 Email: sales@rablighting.com Website: www.rablighting.com
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ALED4T785FN/PCS



Color: Bronze Weight: 32.0 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: Constant Current	Watts: 78W
120V: 0.66A	Color Temp: 4000K (Neutral)
208V: N/A	Color Accuracy: 72 CRI
240V: N/A	L70 Lfespans: 100000
277V: N/A	Lumens: 9804
Input Watts: 78W	Efficacy: 129 LPW
Efficiency: N/A	

Technical Specifications

Electrical
Photocell: 120V Swivel Photocell included. Photocell is only compatible with 120V.
Driver: Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%
Surge Protection: 6kV
Surge Protector: ALED78 is available with a 6kV surge protector (SP6). SP6 available

Listings
DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P000179W

UL Listing: Suitable for wet locations as a downlight

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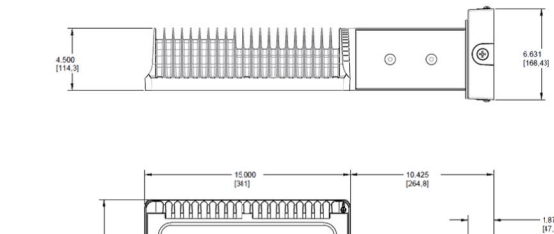
LED Characteristics
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
LEDs: Six (6) multi-chip, 13W, high-output, long-life LEDs

Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent future-to-future color
Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period
Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Housing: Die cast aluminum housing, lens frame and mounting arm
Mounting: Slipfitter with 180° pivot available for mounting on 2 3/8" tenon
IP Rating: Ingress Protection rating of IP66 for dust and water
Reflector: Specular vacuum-metallized polycarbonate
Gaskets: High temperature silicone gaskets
Finishes: Formulated for high-durability and long lasting color
Green Technology: Mercury and UV-free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOCs or toxic heavy metals.
For use on LEED Buildings: IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction

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WPLED2T78



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Project:	Type:
Prepared By:	Date:

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277V: 0.30A	Lumens: 9552
Input Watts: 78W	Efficacy: 123 LPW
Efficiency: N/A	

Technical Specifications (continued)

Other
Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions

Features
High performance LED light engine
Maintains 70% of initial lumens at 100,000 hours
Weatherproof high temperature silicone gaskets
Superior heat sinking with die cast aluminum housing and external fins
Replaces 400W MH
100 up to 277 Volts
5-year warranty

Ordering Matrix

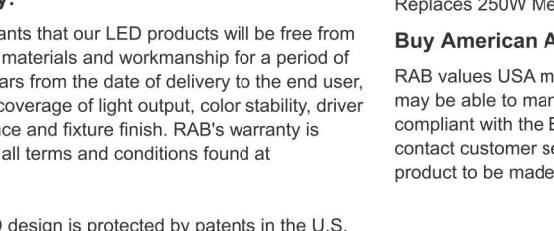
Family	Optics	Wattage	Color Temp	Mounting	Finish	Driver Options	Photocell Options
WPLED	2T	78	A	A	A	A	A

4T = Type IV 150 = 150W Blank = 5000K (Cool) Blank = Arm Blank = Standard
3T = Type III 125 = 125W N = 4000K (Neutral) FX = No Arm W = White
2T = Type II 105 = 105W Y = 3000K (Warm)

Blank = 480V
/BL = Bi-Level
/D10 = 0-10V Dimming
/PC1 = 120-277V TwistLock Photocell
/PC2 = 480V TwistLock Photocell
/PC3 = 120V Swivel Photocell
/PC4 = 480V Swivel Photocell
/PC5 = 277V Swivel Photocell
/WS2 = Multi-Level Motion Sensor (20 ft. mt. ht.)
/WS4 = Multi-Level Motion Sensor (40 ft. mt. ht.)

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ALED4T785FN/PCS



Color: Bronze Weight: 32.0 lbs

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Input Watts: 78W	Efficacy: 129 LPW
Efficiency: N/A	

Technical Specifications (continued)

Other
Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com
Patents: The ALED design is protected by patents in the U.S. Pat. 668,370, Canada Pat. 1449,956, China ZL20120100164.X, and Mexico Pat. 39423. Pending patents in Taiwan.

Replacement: Replaces 250W Metal Halide
BUG Rating: B1 U0 G2

Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions

Features
66% energy cost savings vs. HID
100,000-hour LED lifespan
5-year warranty

Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T	78	SF	N	A	A	/PCS	A

4T = 50W mount
3T = 78W SF = N = 4000K (Neutral) Roadway Gray
2T = 105W Type II
50 = 50W
SF = Splitter
Y = 3000K (Warm)
W = White

Blank = 120-277V
480 = 480V (not available for 150W)
/BL = Bi-Level
/D10 = 0-10V Dimming
/WS2 = Multi-Level Motion Sensor 20 ft. (Only available 0-10V dimming models)
/WS4 = Multi-Level Motion Sensor 40 ft. (Only available 0-10V dimming models)

Blank = No Option
/LC = LightsOut Controller (Pole mount models only)
/WS2 = Multi-Level Motion Sensor 20 ft. (Only available 0-10V dimming models)
/WS4 = Multi-Level Motion Sensor 40 ft. (Only available 0-10V dimming models)

USA = BAA Compliant
Blank = Standard

Need help? Tech help line: (888) RAB-1000 Email: sales@rablighting.com Website: www.rablighting.com
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PROJECT # 13-05

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STATE OF NEW YORK
JOSEPH P. RINA
LICENSED PROFESSIONAL ENGINEER
No. 10000
Joseph C. Rina, P.E.
NYS Lic. No. 64431

REVISIONS:
No. Date Comments
4/14/20 Town Comments

SCALE: #####
DRAWN BY: TK
DATE: 12/20/19

LIGHTING PLAN

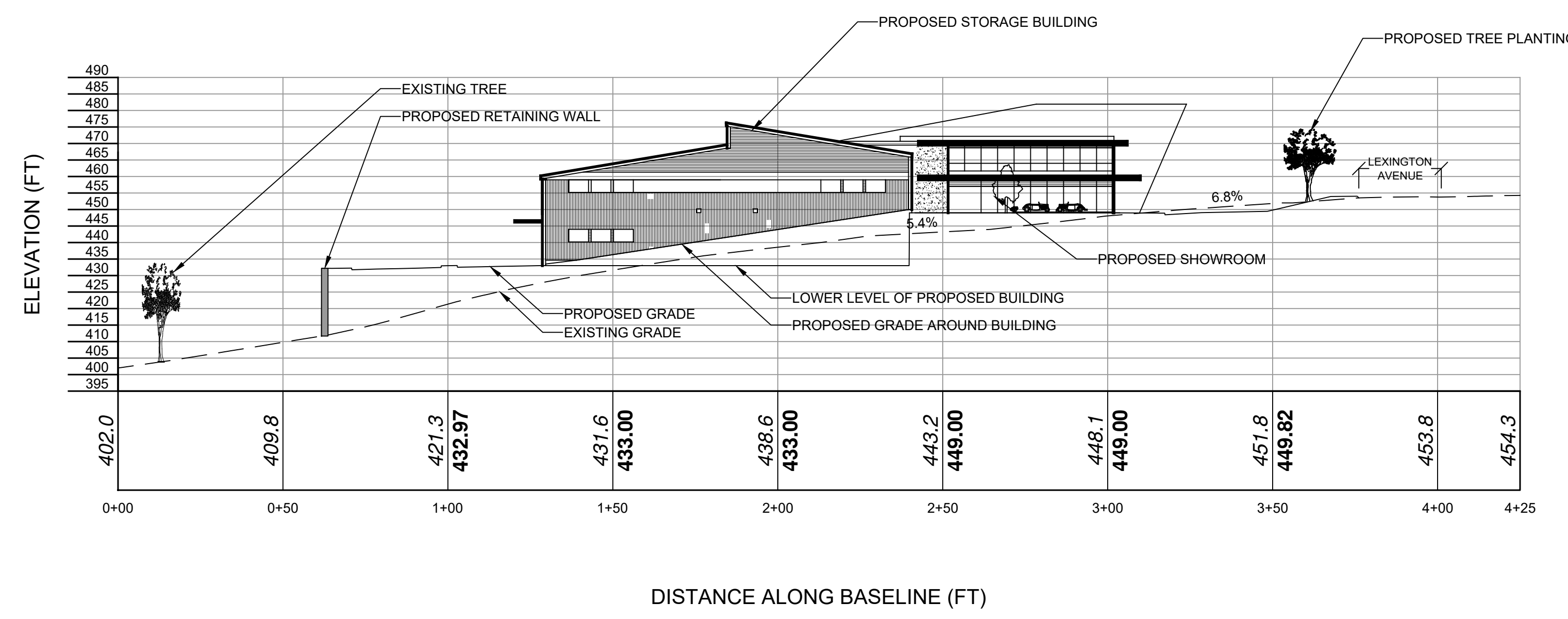
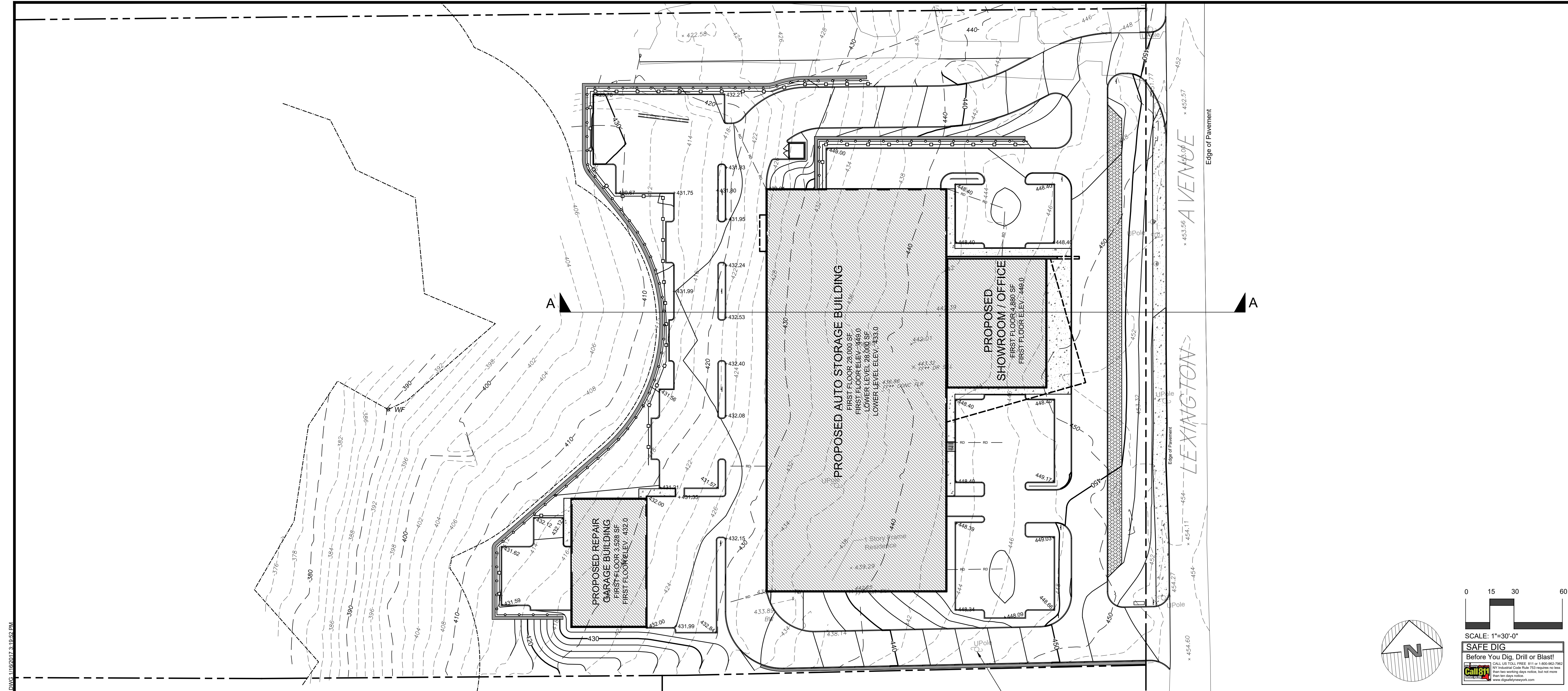
PRELIMINARY SITE PLAN PREPARED FOR
3451 LEXINGTON AVENUE LLC
3451 LEXINGTON AVENUE
Town of Cortlandt
Westchester County, NY

Sheet C-109

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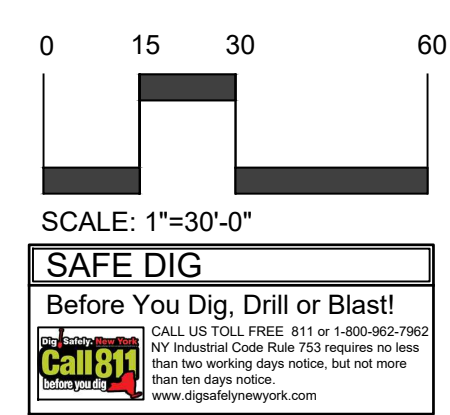
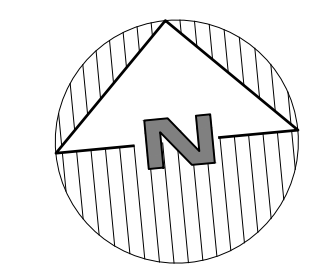
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SECTION A-A
 VERT. SCALE: 1" = 30
 HORIZ. SCALE: 1" = 30

NOTE:
 THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, DATED 06/10/19, LAST REVISED 01/20/20. THE HORIZONTAL DATUM USED IS THE SAME BEARING SYSTEM OF THE DEED FOR THE PROPERTY RECORDED AS DEED CONTROL NUMBER 591273617. THE VERTICAL DATUM THAT THE PROJECT IS IN IS THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). THE TOPO SHOWN BEYOND THE BORDERS OF THE SURVEY HAVE BEEN ACQUIRED FROM THE WESTCHESTER COUNTY GIS WEBSITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.

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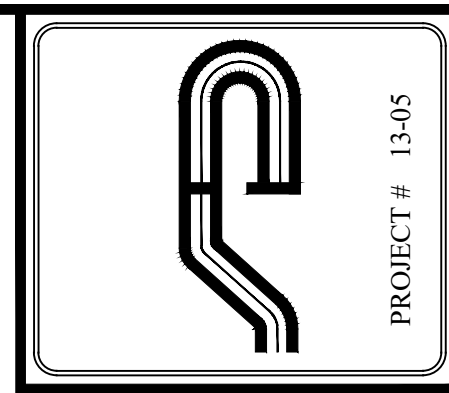
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	1	4/14/20	Town Comments

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DRAWN BY:	TK
DATE:	12/30/19

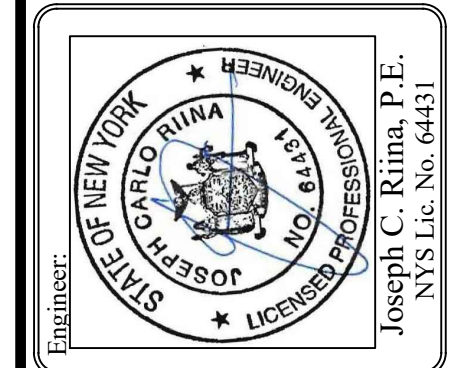
SITE SECTION

PRELIMINARY SITE PLAN
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3451 LEXINGTON AVENUE
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 3451 LEXINGTON AVENUE
 Town of Cortlandt
 Westchester County, NY

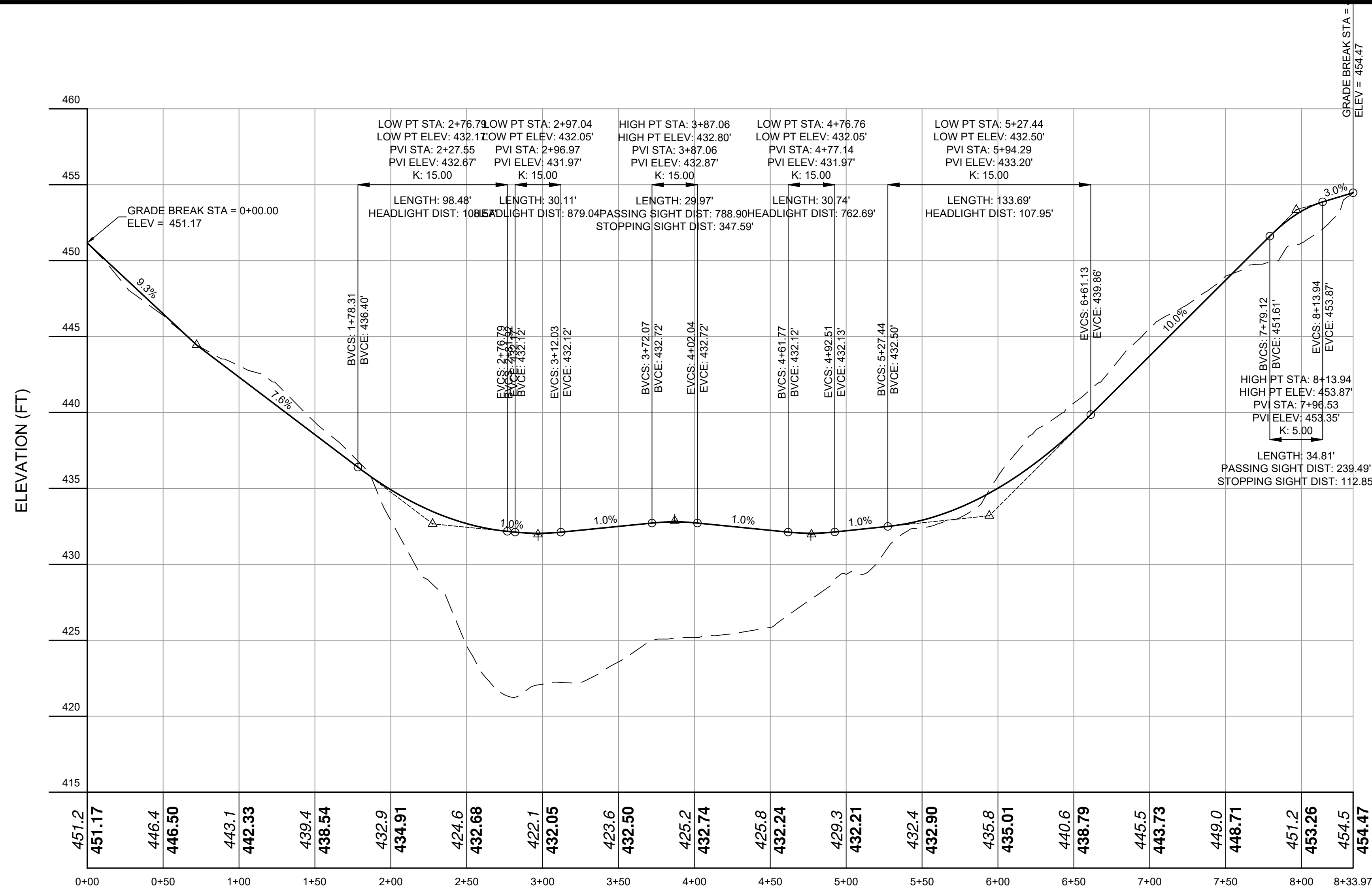
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C-110



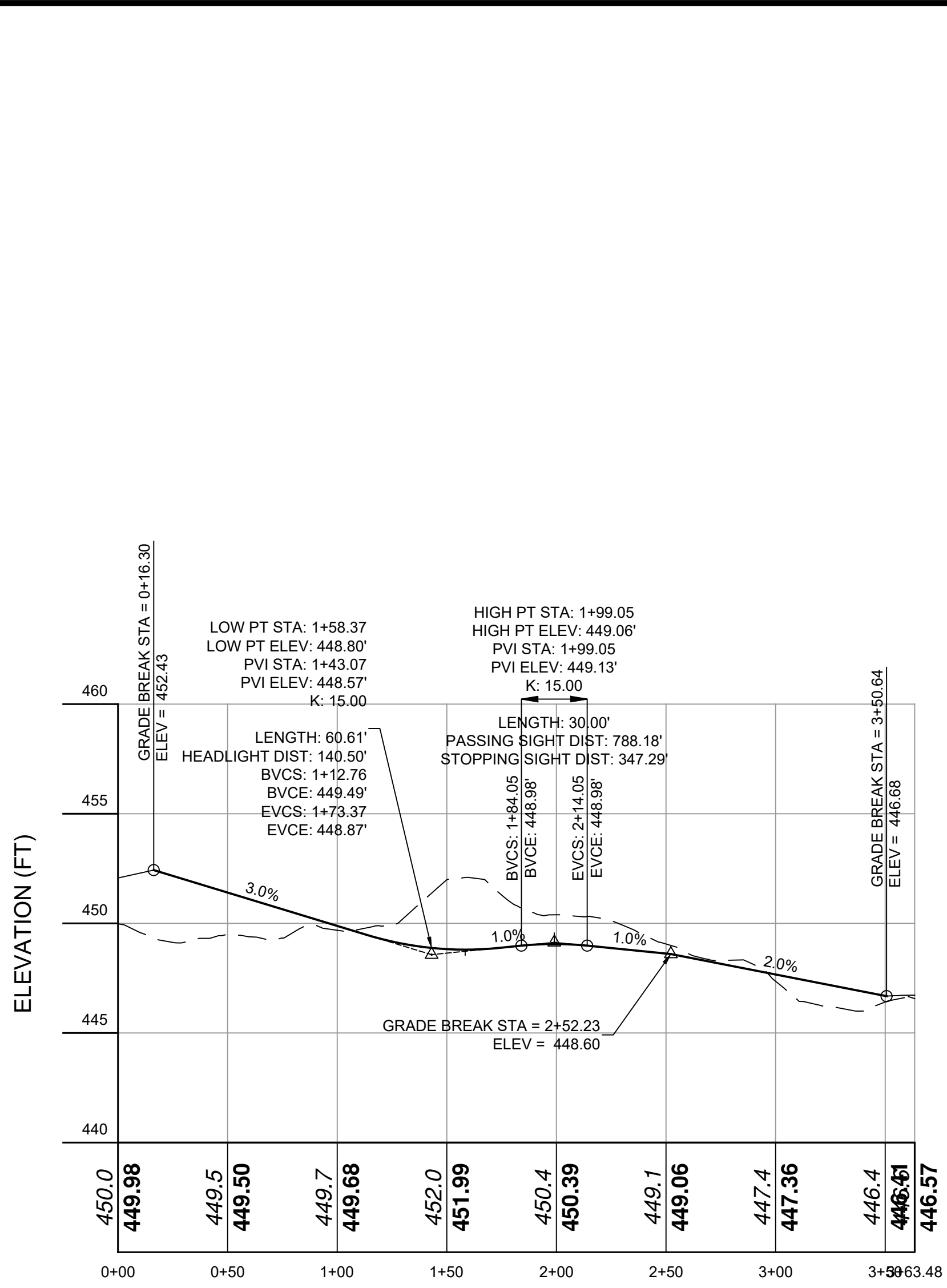
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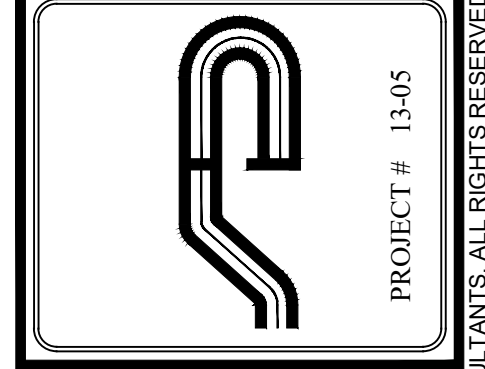


DISTANCE ALONG BASELINE (FT)
 PROPOSED MAIN DRIVE
 VERT. SCALE: 1" = 5
 HORIZ. SCALE: 1" = 50

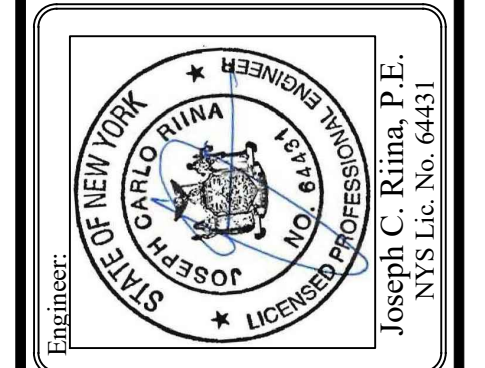


DISTANCE ALONG BASELINE (FT)
 FRONT DRIVE
 VERT. SCALE: 1" = 5
 HORIZ. SCALE: 1" = 50

NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, DATED 6/10/19, LAST REVISED 7/8/19. THE TOPO SHOWN BEYOND THE BORDERS OF THE SURVEY HAVE BEEN ACQUIRED FROM THE WESTCHESTER COUNTY GIS WEBSITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.



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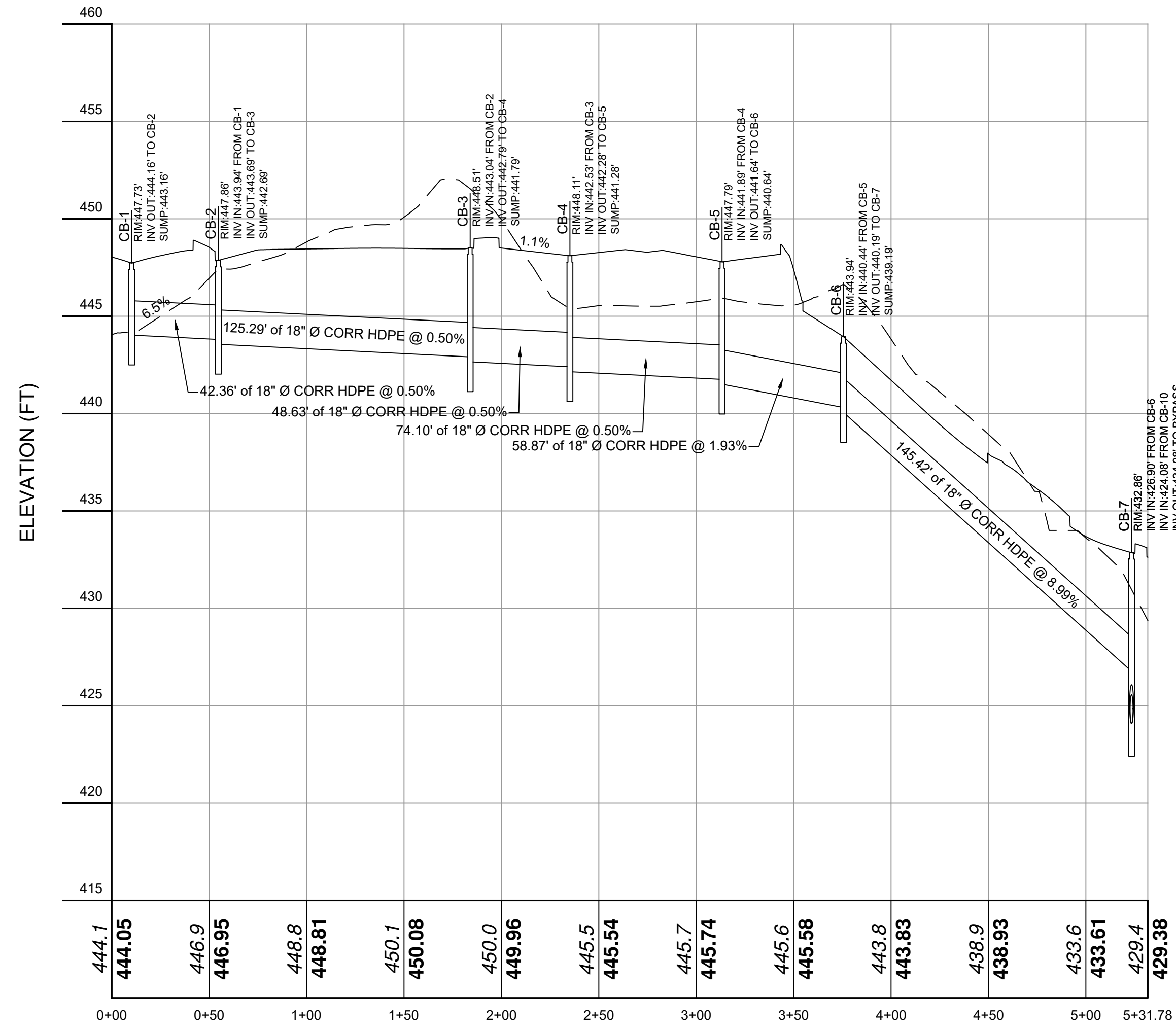
Revisions:	No.	Date	Comments

SCALE: #####
 DRAWN BY: TK
 DATE: 12/30/19

PROFILES

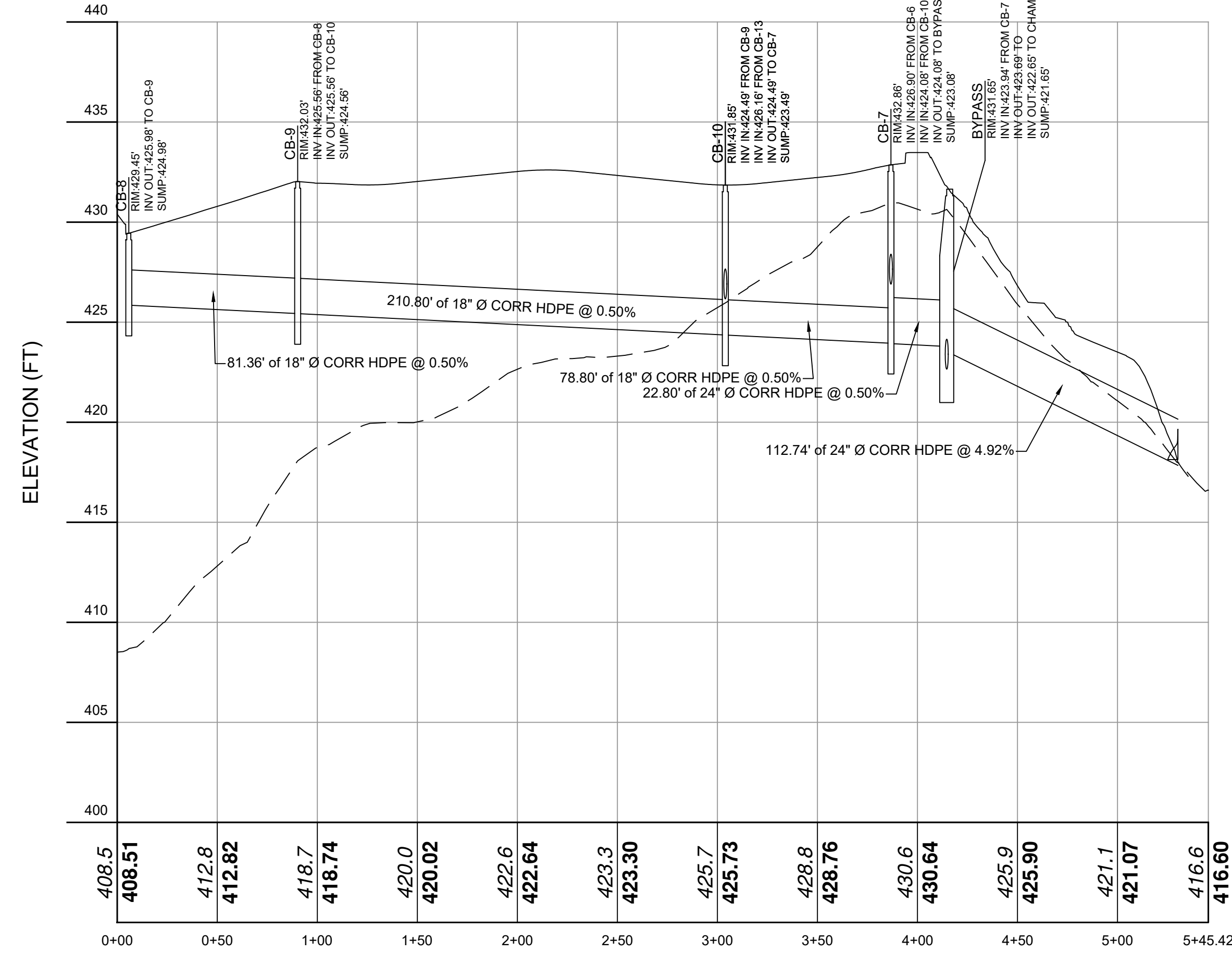
PRELIMINARY SITE PLAN
 PREPARED FOR
3451 LEXINGTON AVENUE
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 Town of Cortlandt Westchester County, NY

Sheet **C-301**



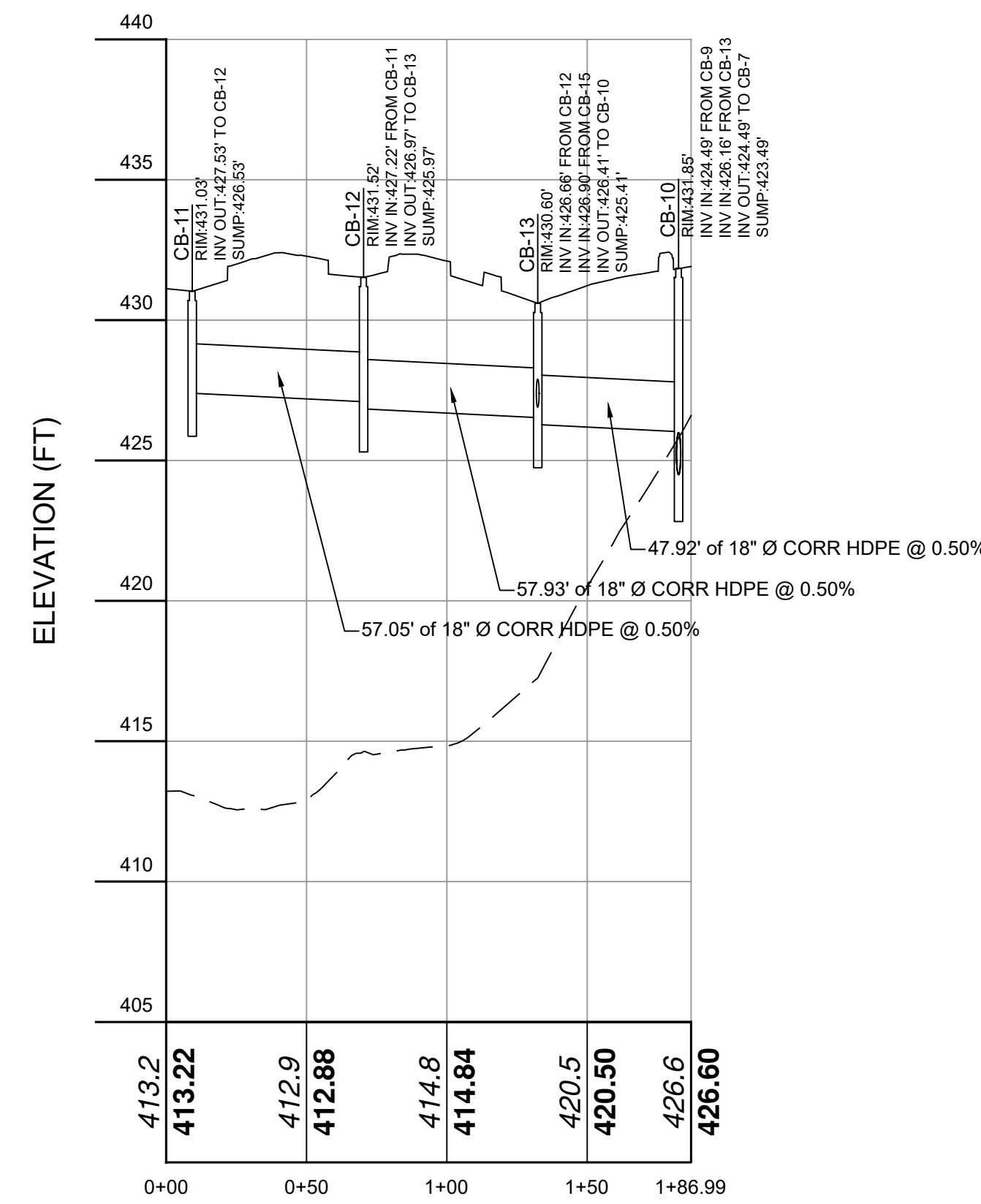
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CB-1 TO CB-7
VERT. SCALE: 1" = 5
HORIZ. SCALE: 1" = 50



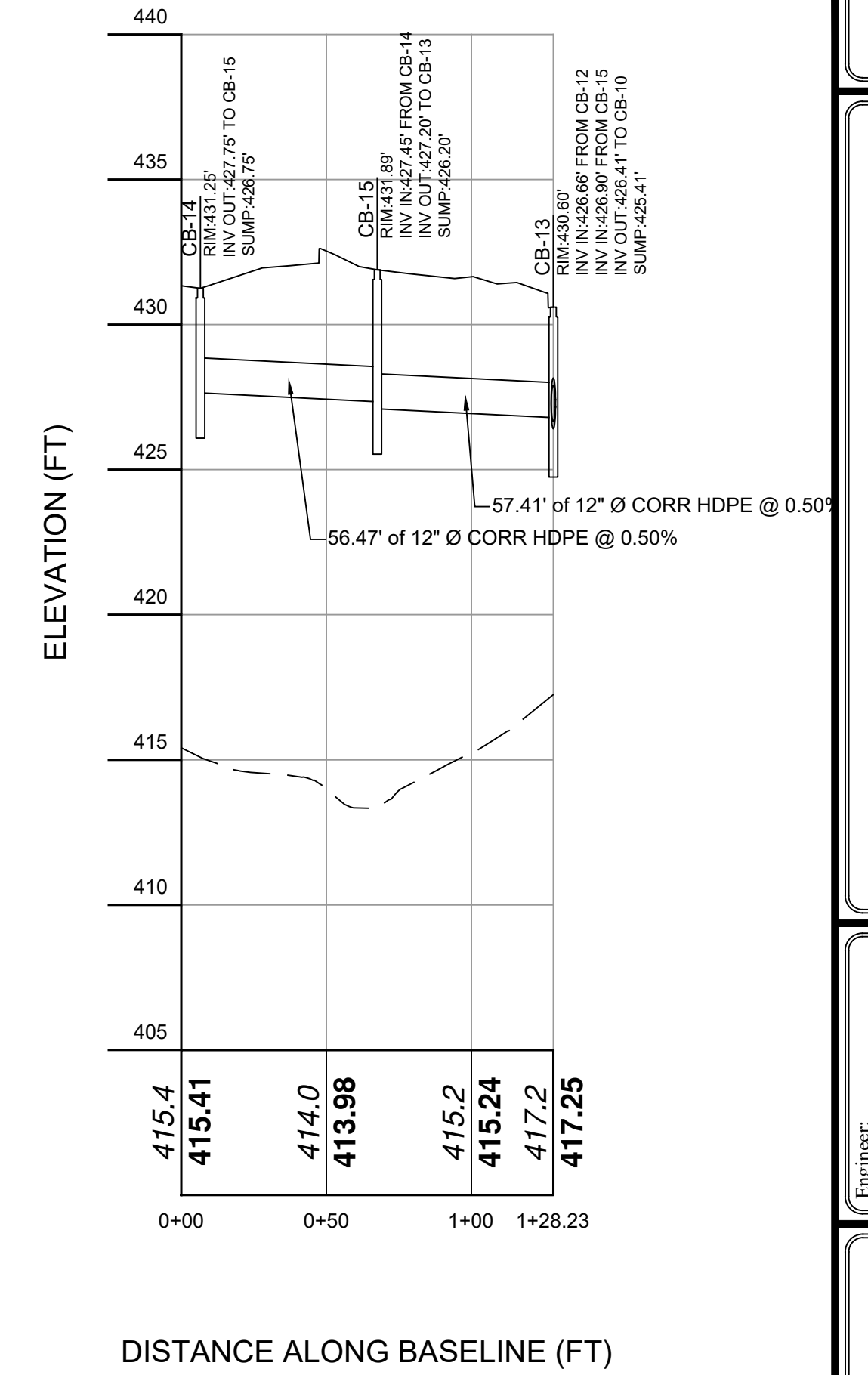
DISTANCE ALONG BASELINE (FT)

CB-8 TO OUTLET
VERT. SCALE: 1" = 5
HORIZ. SCALE: 1" = 50



DISTANCE ALONG BASELINE (FT)

CB-11 TO CB-10
VERT. SCALE: 1" = 5
HORIZ. SCALE: 1" = 50



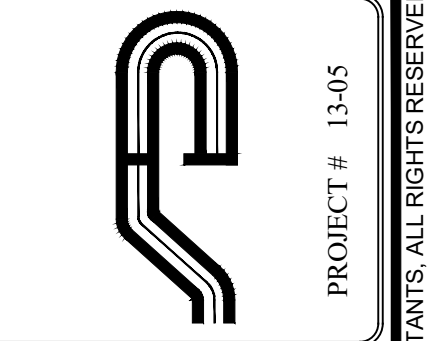
DISTANCE ALONG BASELINE (FT)

CB-14 TO CB-13
VERT. SCALE: 1" = 5
HORIZ. SCALE: 1" = 50

FOR 1918.54, JACK AHEARN, LEXINGTON AVENUE ENGINEERING, CAD/CADD, 19.54, JACK AHEARN, LEXINGTON AVENUE 19.54, JACK AHEARN, GRADE BASE, 4.7, 20, DIV. 1, 1/16/2017, 3, 10, 52, PM

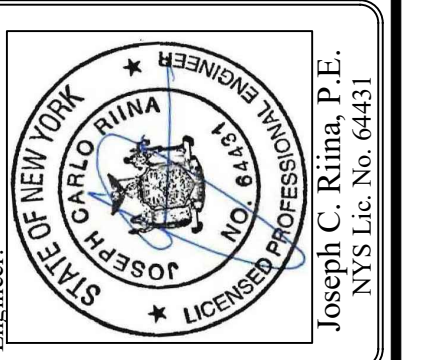
NOTE:
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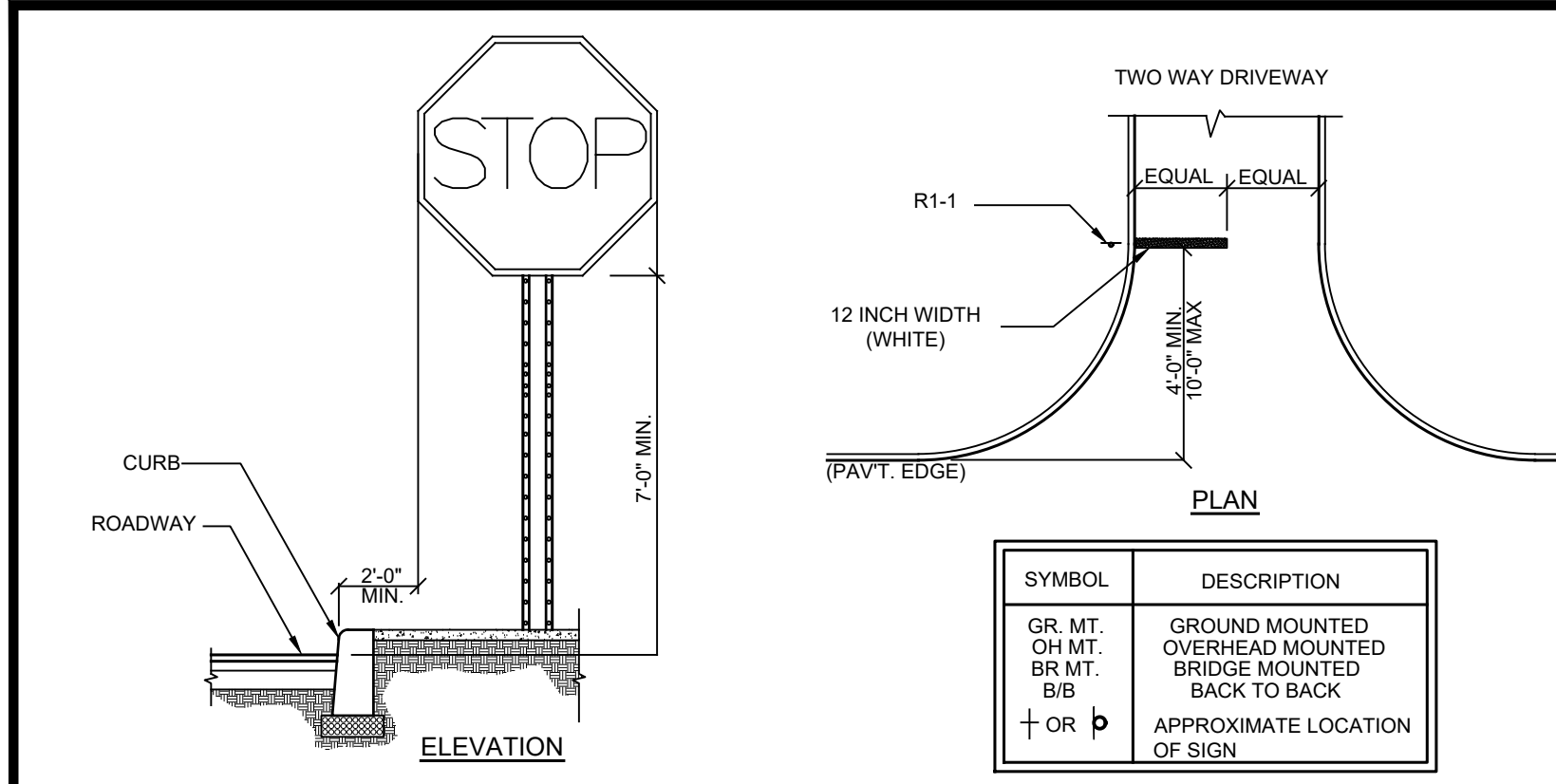
Revisions:	No.	Date	Comments

SCALE:	NTS
DRAWN BY:	TK
DATE:	12/30/19

UTILITY PROFILES

PRELIMINARY SITE PLAN
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 3451 LEXINGTON AVENUE
 Town of Cortlandt Westchester County, NY

Sheet **C-302**



TYPICAL INSTALLATION GUIDELINES

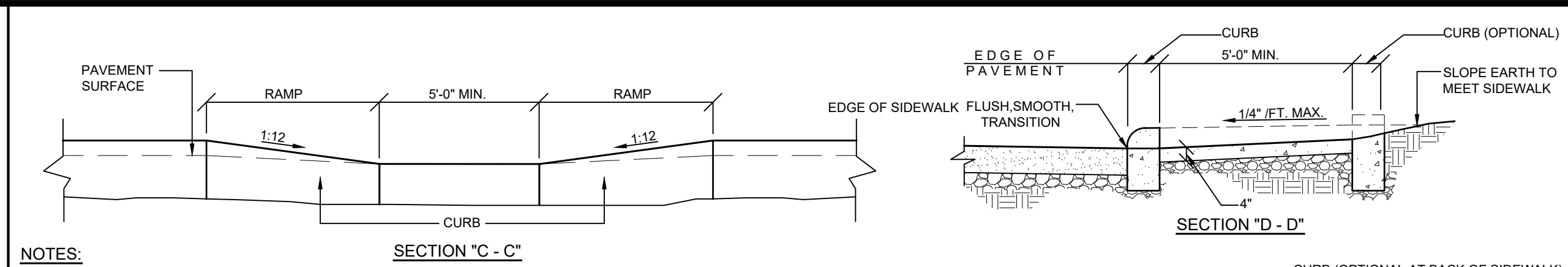
SIGN	M.U.T.C.D. NUMBER	SIZE OF SIGN	TYPE OF MOUNT
	R1-1	18" X 18"	GR. MT.
	R7-8	12" X 18"	GR. MT.
	R3-12 (L) R3-13 (R)	12" X 18"	GR. MT.

SIGN	M.U.T.C.D. NUMBER	SIZE OF SIGN	TYPE OF MOUNT
	P1-2 (SEE NOTE 4)	12" X 18"	GR. MT.
	R3-15	24" X 24"	GR. MT.
	R7-6 (SEE NOTE 4)	12" X 18"	GR. MT.

GENERAL NOTES:

- All signage shall be in accordance with the latest edition of the national MUTCD and the N.Y.S Supplement (MUTCD), September 2007, including the following:
 - A. Letter size and series
 - B. Legend and background color
 - C. Reflectivity
 - D. Size of sign
- The type of characters as specified in the standard specifications shall be as follows:

MUTCD CODE LETTER	TYPE OF CHARACTER
G.I.	TYPE IV
R.P.W.M.	TYPE IV OR V
- Sign locations as shown on plans are approximate. The Contractor shall relocate existing signs and install new signs in accordance with the MUTCD, latest edition. The Contractor shall contact the Town Engineer to discuss/resolve problem areas.
- Except where otherwise specified, parking signs shall be placed facing approaching traffic at an angle of between 30 and 45 degrees with the line of traffic flow. Parking signs shall be placed at each end of a regulation (single-headed arrows) and, within the regulation (double-headed arrows), at intervals not to exceed 200 ft.
- Where new signs are installed the Contractor shall affix a label to the back of the sign panel. This label will show the date of installation and identification numbers.
- Placement of W3-17 sign is prescribed in the General Municipal Law.



NOTES:

GENERAL:

- Sidewalk curb ramp type and location are as shown on the plans or as directed.
- All sidewalk curb ramp types may be used as straight or curved curb sections.
- Sidewalk curb ramp types may be different at each location within an intersection.

SIDWALK CURB RAMP CRITERIA:

- The maximum slope of a sidewalk curb ramp shall be 1:12.
- The maximum width of a sidewalk curb ramp shall be five feet. Exclusive of flared sides.
- All sidewalk curb ramps shall have flush, smooth transitions to the adjacent street or highway surface.

SURFACE FINISH:

- The surface of all sidewalk curb ramps shall be stable, firm, and slip resistant (E.G. A coarse broom finish perpendicular to the ramp slope is acceptable on cement concrete curbs.)

SIDWALK CURB RAMP PLACEMENT:

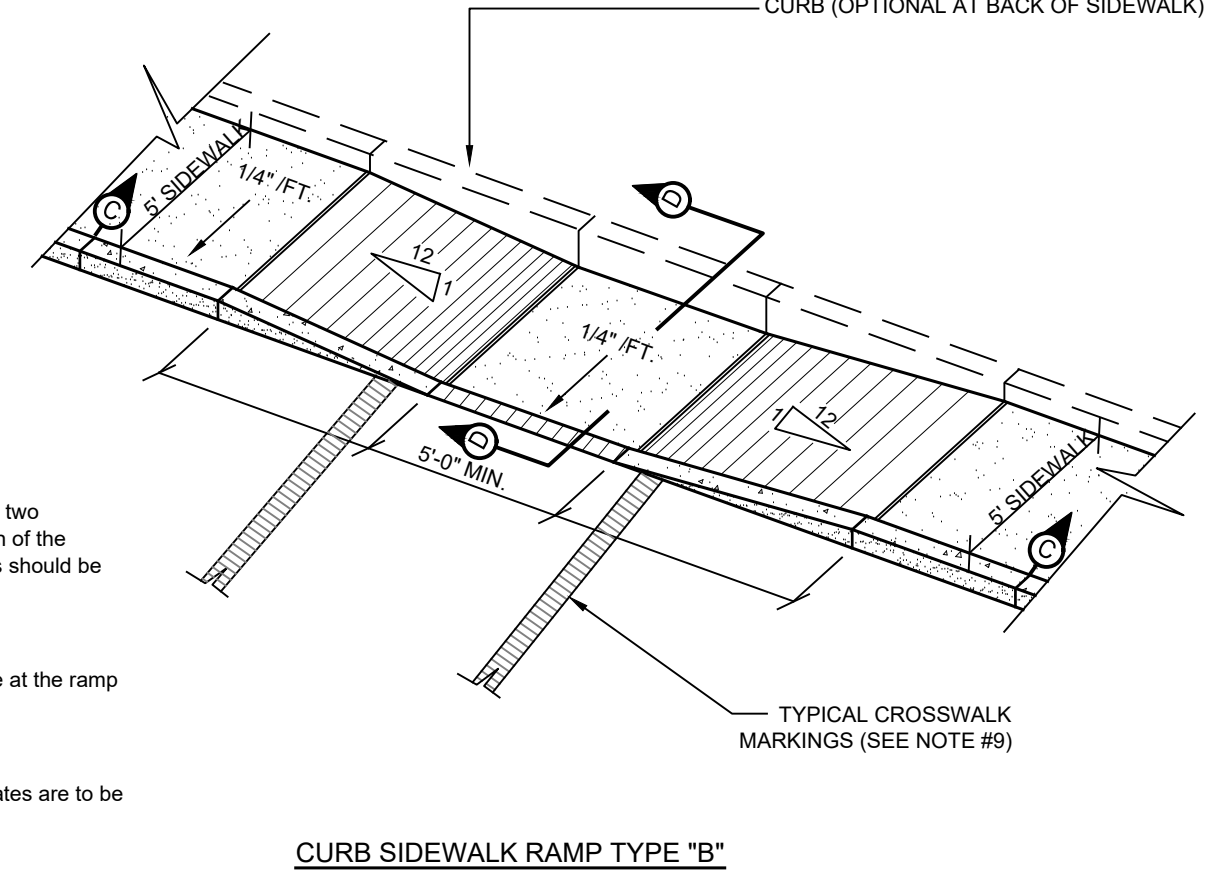
- At a corner, where the curb radius is 25-feet or less, a single ramp (either type a or b) located diagonally can often serve crosswalks in two directions. However, a single ramp shall only be used where there is a minimum clear space of 48" falling entirely within the projection of the intersection curbs (see figure 1). Where the radius exceeds 25' or the minimum 48" clear space is not achievable, then separate ramps should be provided for each crosswalk.

PAVEMENT MARKINGS AT CROSSWALKS:

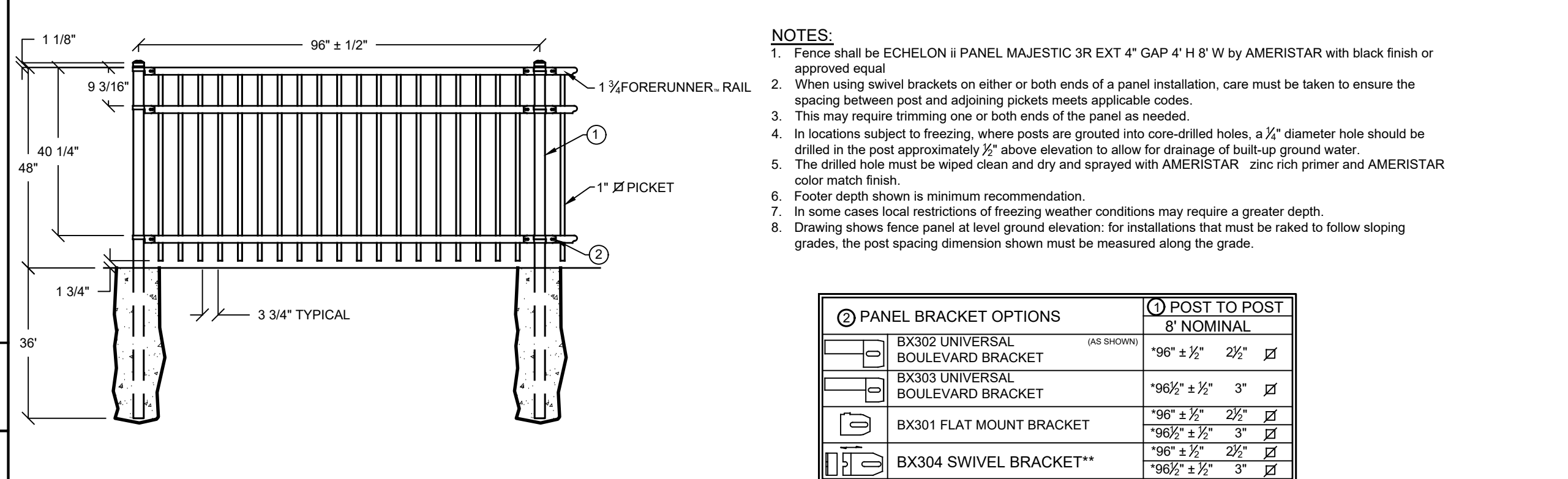
- Sidewalk curb ramps at marked crossings shall be wholly contained within the markings excluding any flared sides.
- At a corner where a single ramp (either type a or b) located diagonally serves two crosswalks, this shall be a 48" minimum clear space at the ramp bottom wholly contained within the intersection crosswalk markings.

UTILITIES - DRAINAGE INLETS OR GRATES:

- Where stop lines are necessary, they shall be located in advance of sidewalk curb ramps.
- Where feasible, provide for drainage inlets or grates immediately upstream from the curb ramps. Reticuline or rectangular drainage grates are to be used in the area of curb ramps.
- Do not place signal poles, sign posts, utility poles, fire hydrants, etc., within the ramp or side flare areas.

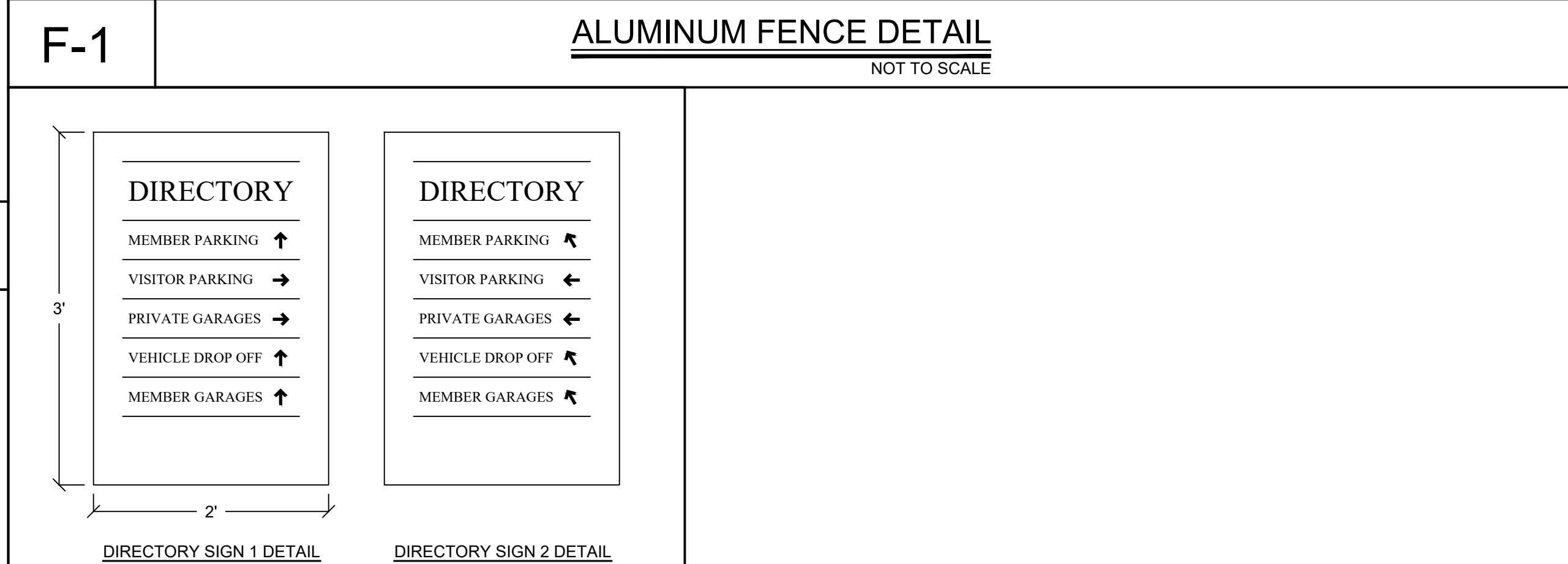
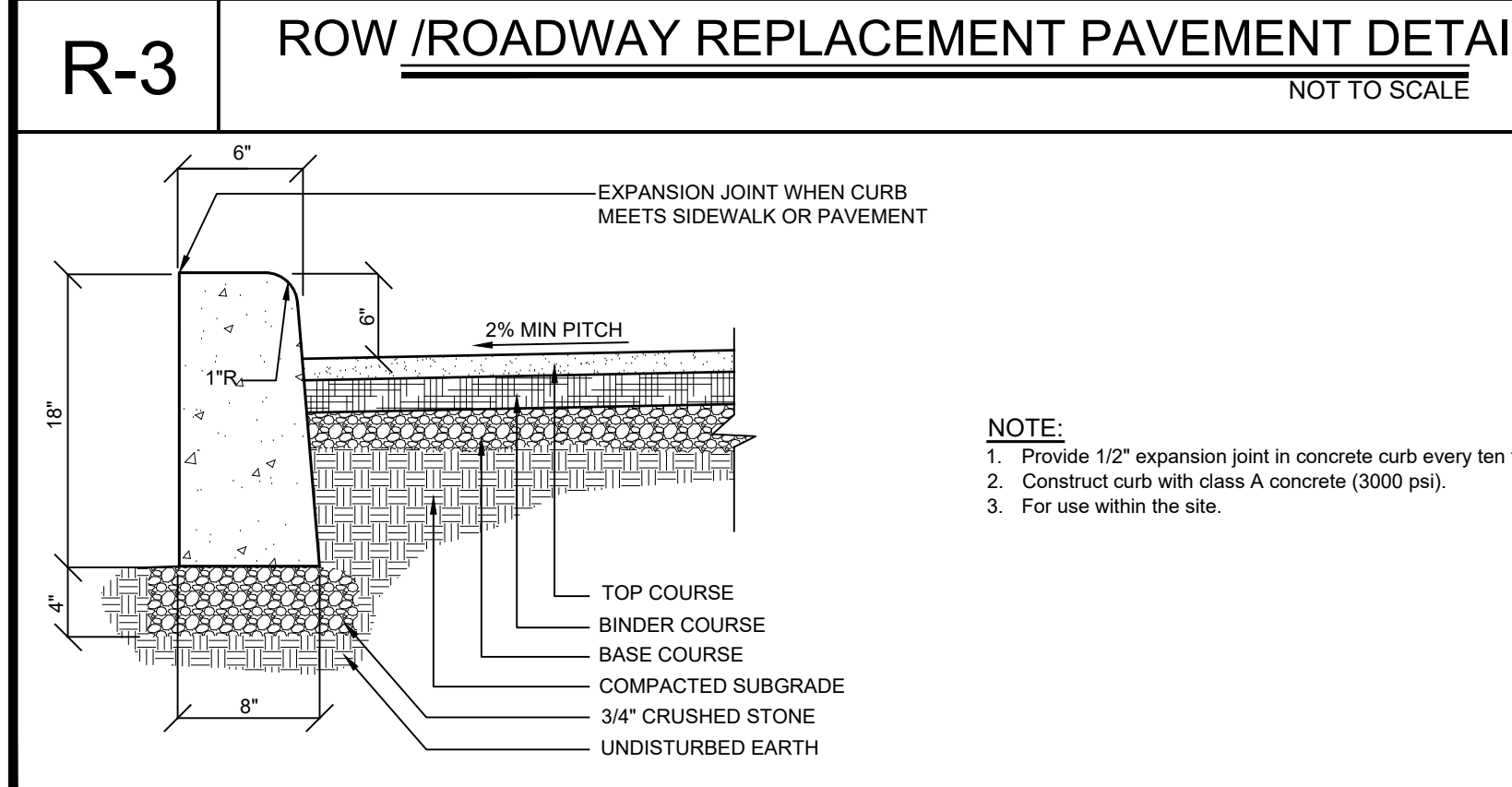
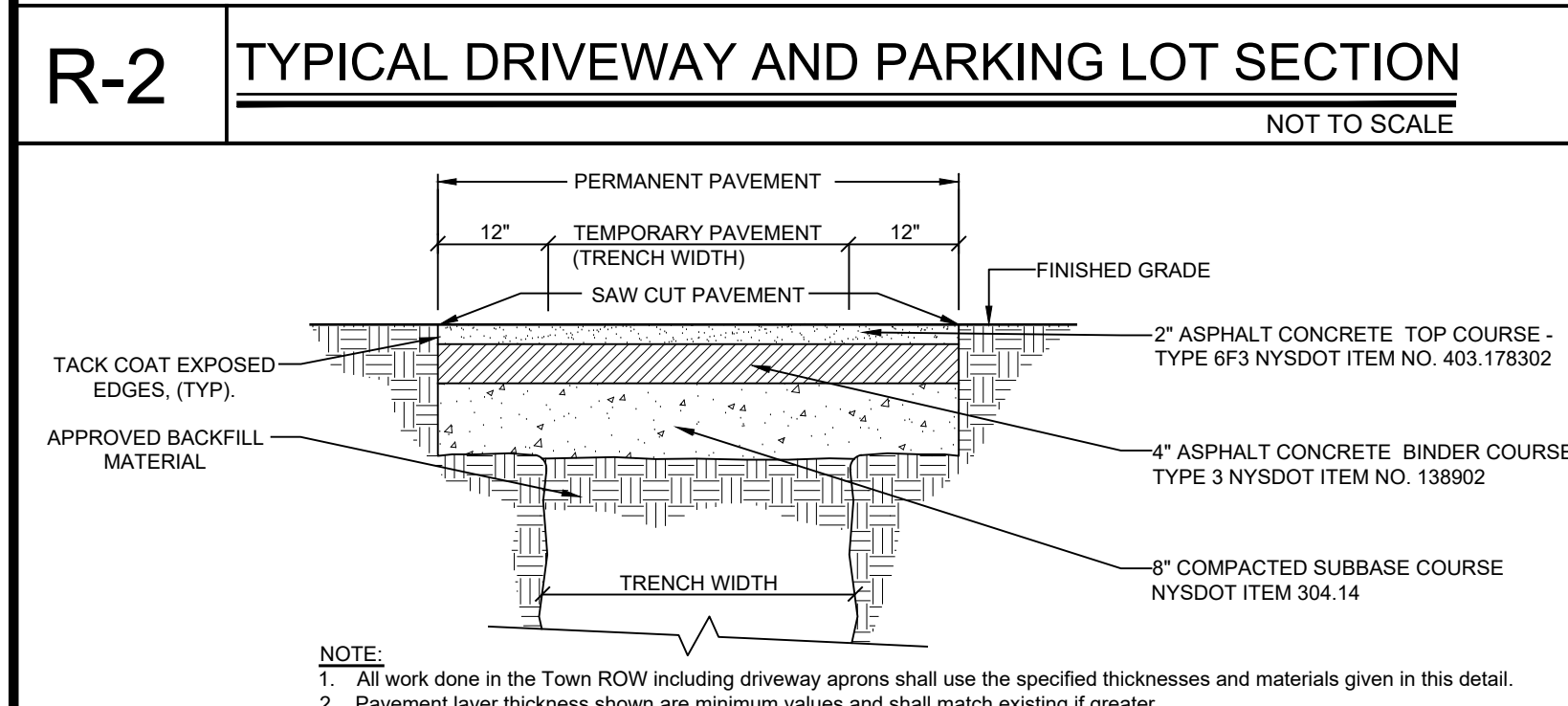
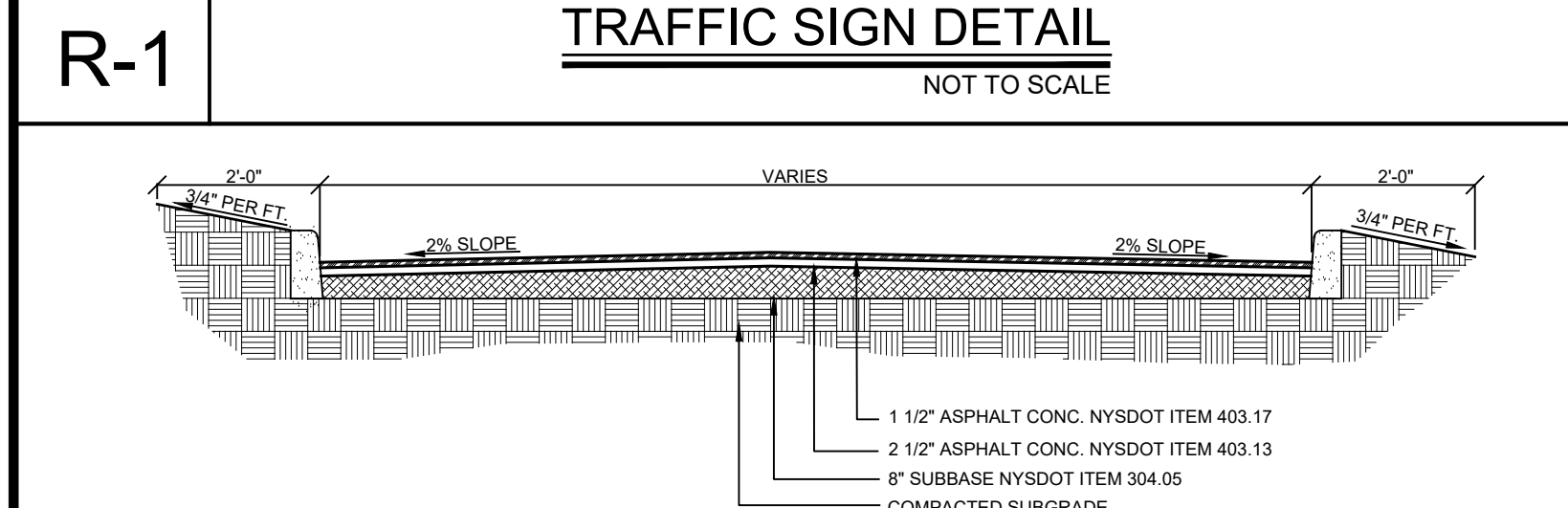


R-5 SIDEWALK CURB-RAMP DETAIL NOT TO SCALE



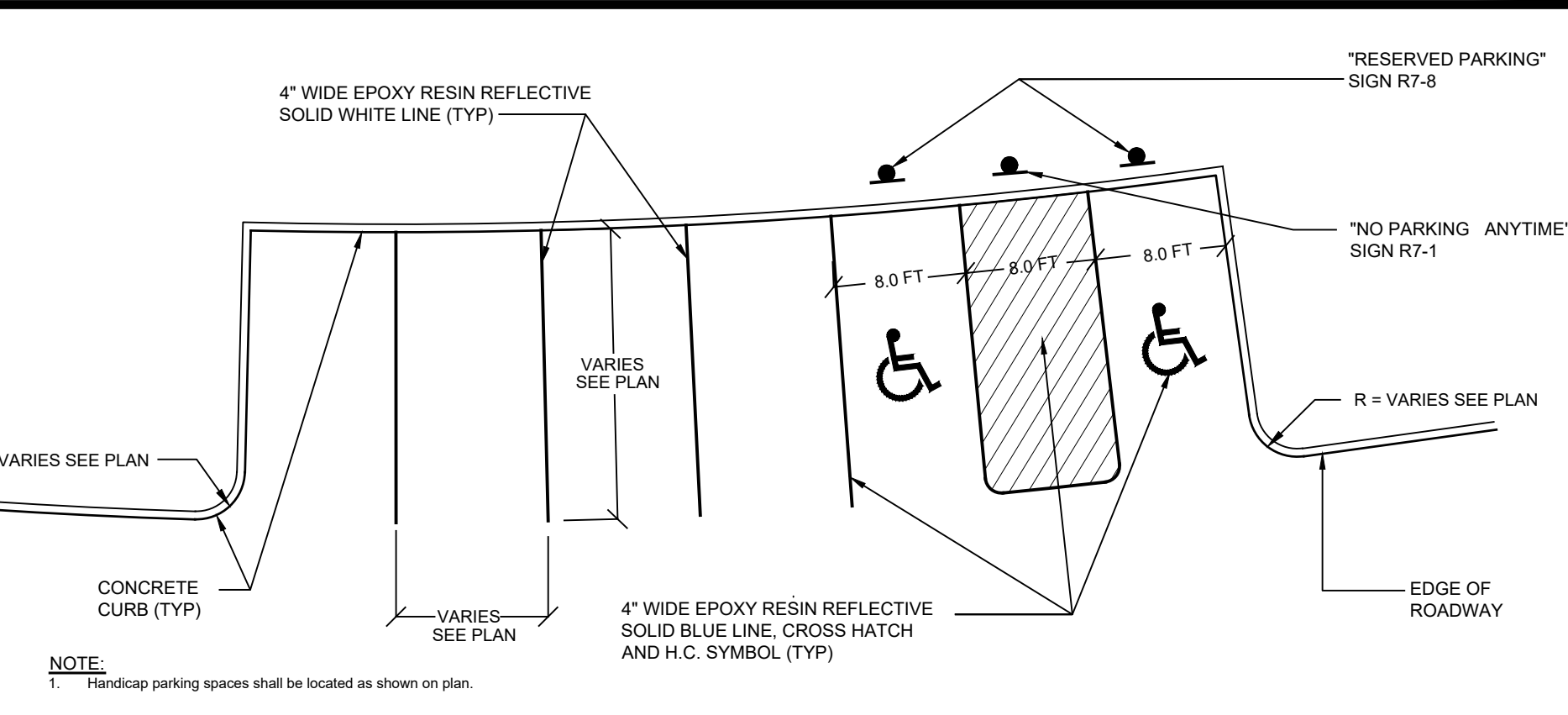
NOTES:

- Fence shall be ECHOLON II PANEL MAJESTIC 3R EXT 4" GAP 4" H 8" W by AMERISTAR with black finish or approved equal.
- When using swivel brackets on either or both ends of a panel installation, care must be taken to ensure the spacing between post and adjoining pickets meets applicable codes.
- This may require trimming one or both ends of the panel as needed.
- In locations subject to freezing, where posts are grouted into core-drilled holes, a 1/2" diameter hole should be drilled in the post approximately 1/2" above elevation to allow for drainage of built-up ground water.
- The drilled hole must be wiped clean and dry and sprayed with AMERISTAR zinc rich primer and AMERISTAR color match finish.
- Footer depth shown is minimum recommendation.
- In some cases local restrictions of freezing weather conditions may require a greater depth.
- Drawing shows fence panel at level ground elevation; for installations that must be raked to follow sloping grades, the post spacing dimension shown must be measured along the grade.

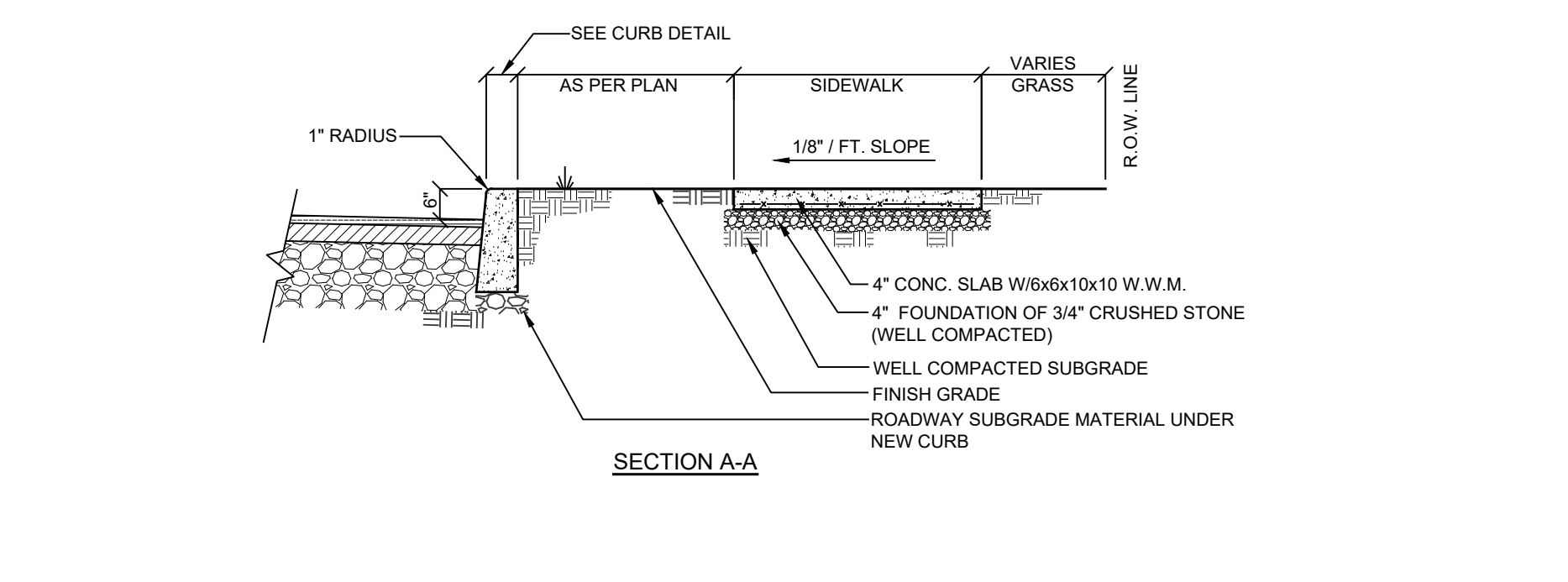
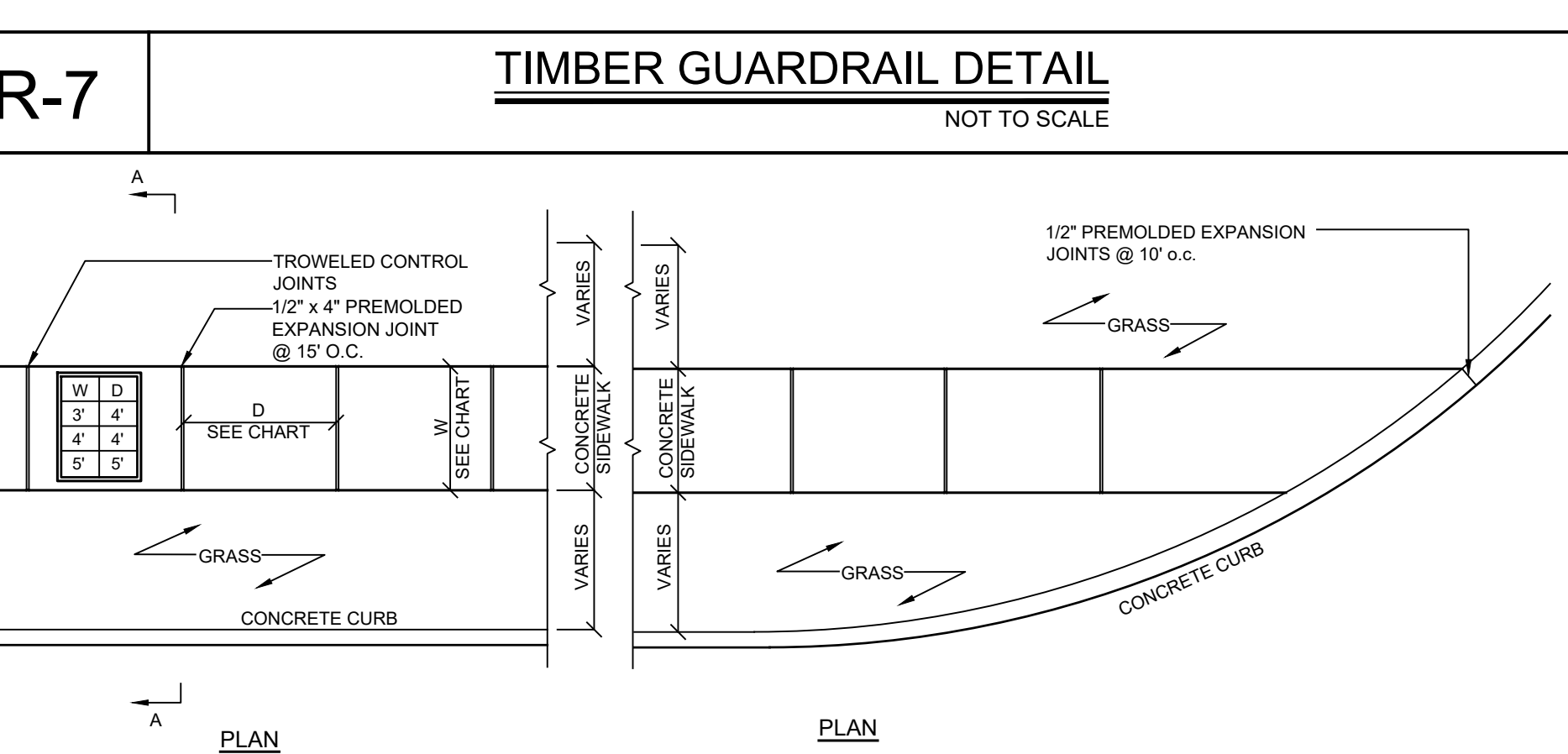
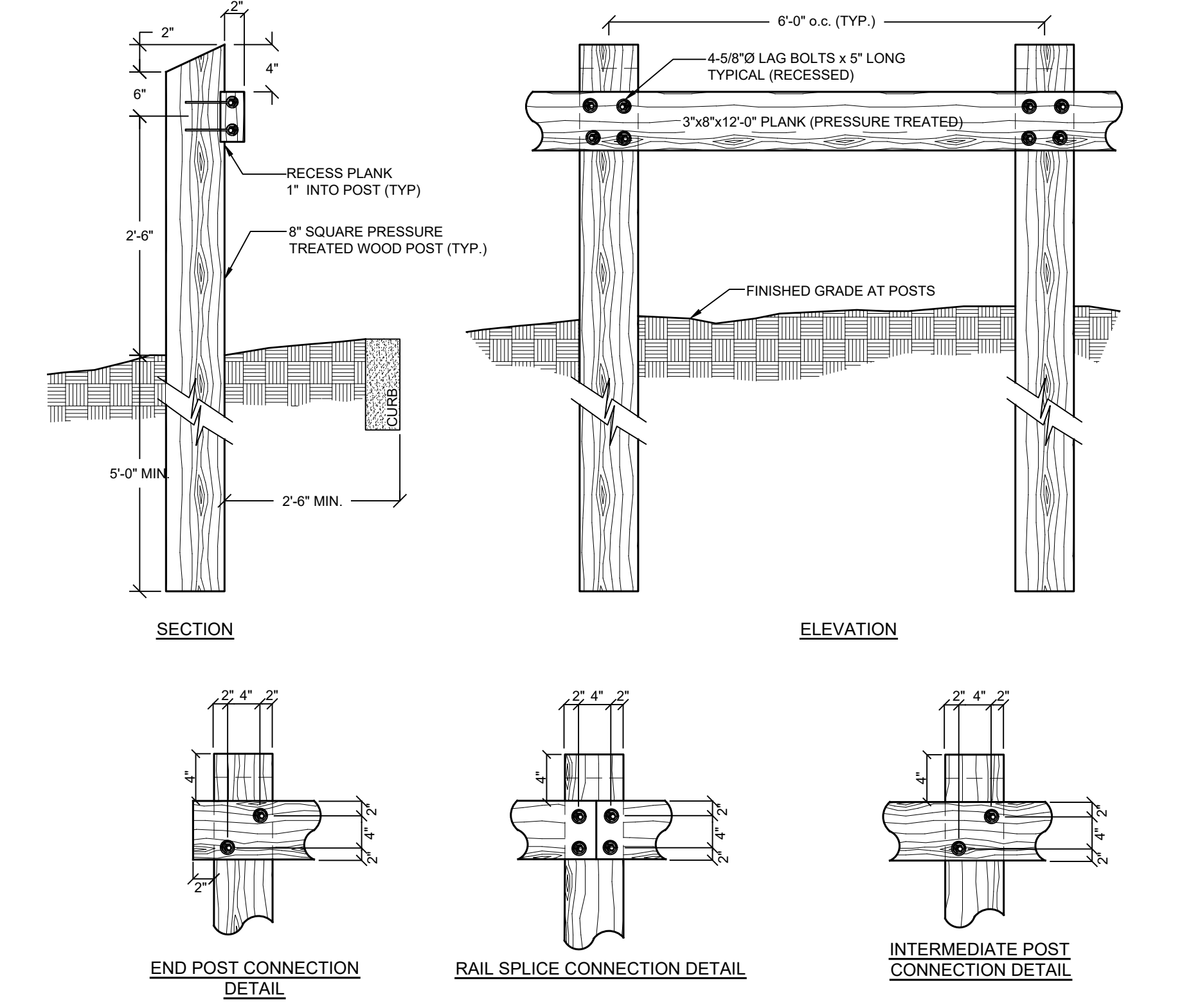


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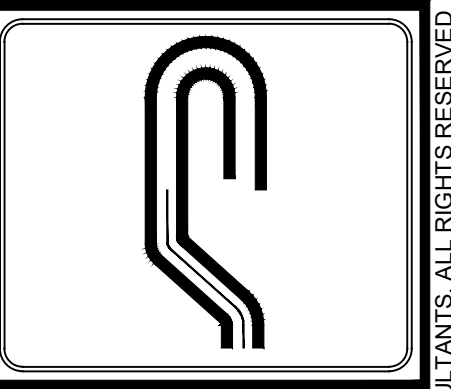
- ALL SIGN MATERIAL SHALL BE CORTEN STEEL TO MATCH MONUMENT SIGN.
- ALL SIGN LETTERS SHALL BE BLACK TO MATCH MONUMENT SIGN.



R-6 TYPICAL PARKING STALL LAYOUT NOT TO SCALE



R-8 CONCRETE SIDEWALK DETAIL NOT TO SCALE



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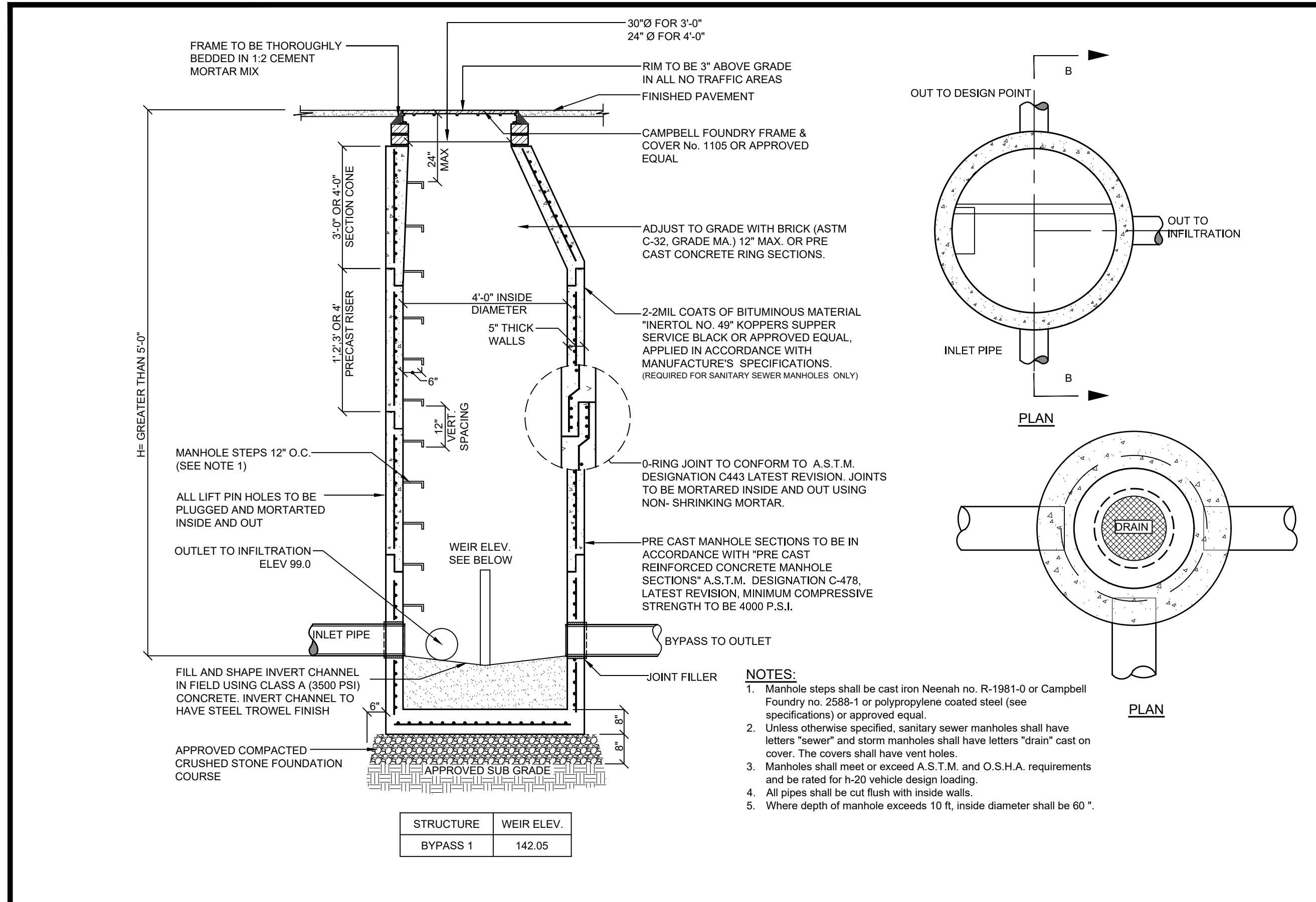


Revisions:	No.	Date	Comments
	1	4/14/20	Town Comments

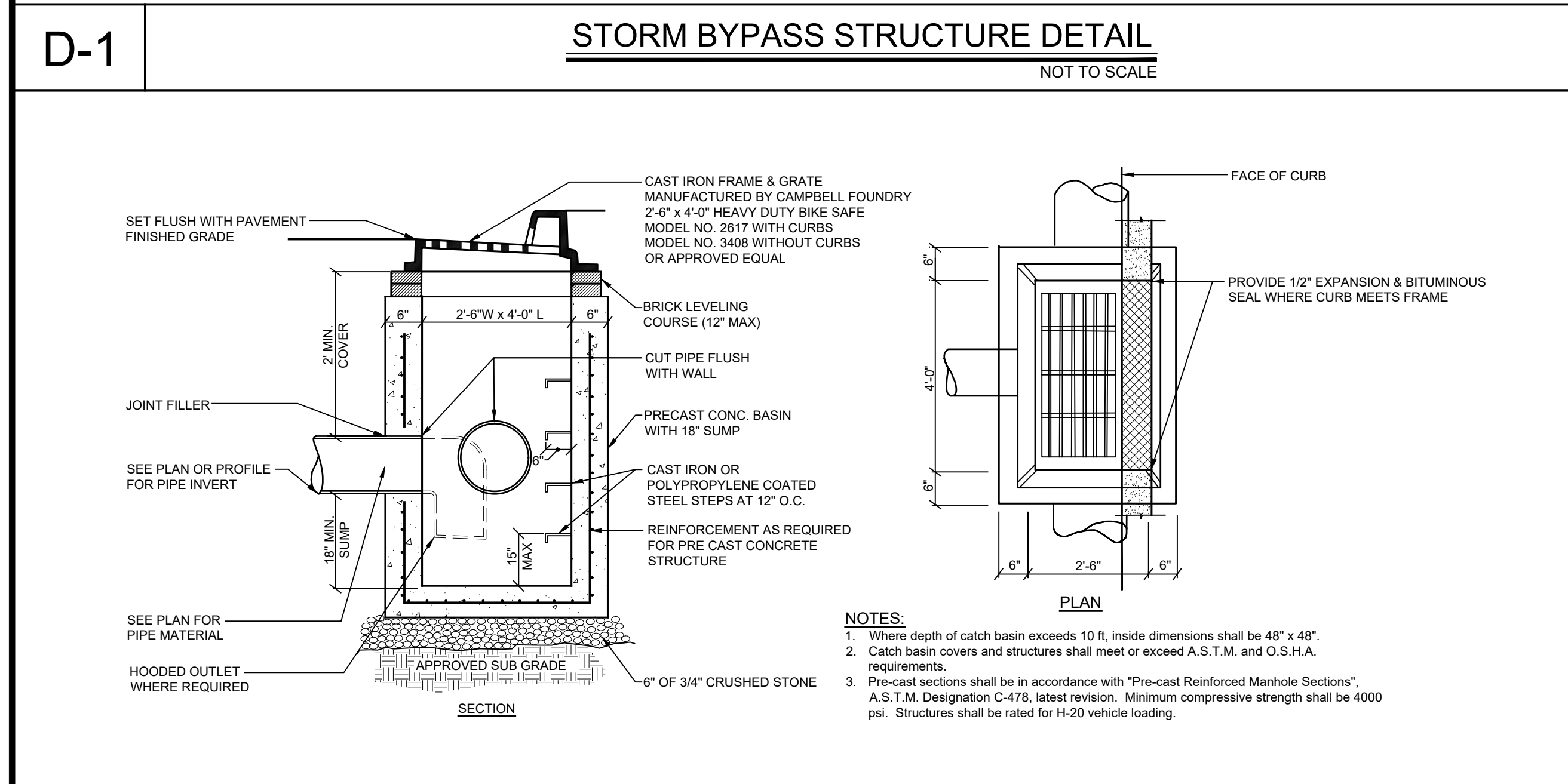
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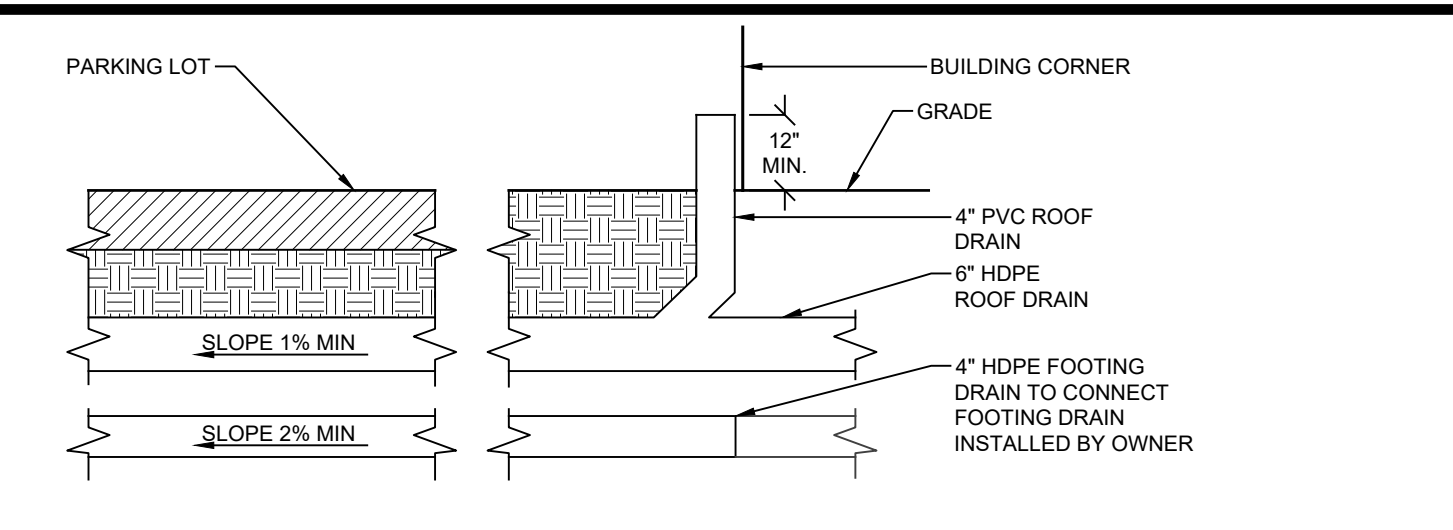
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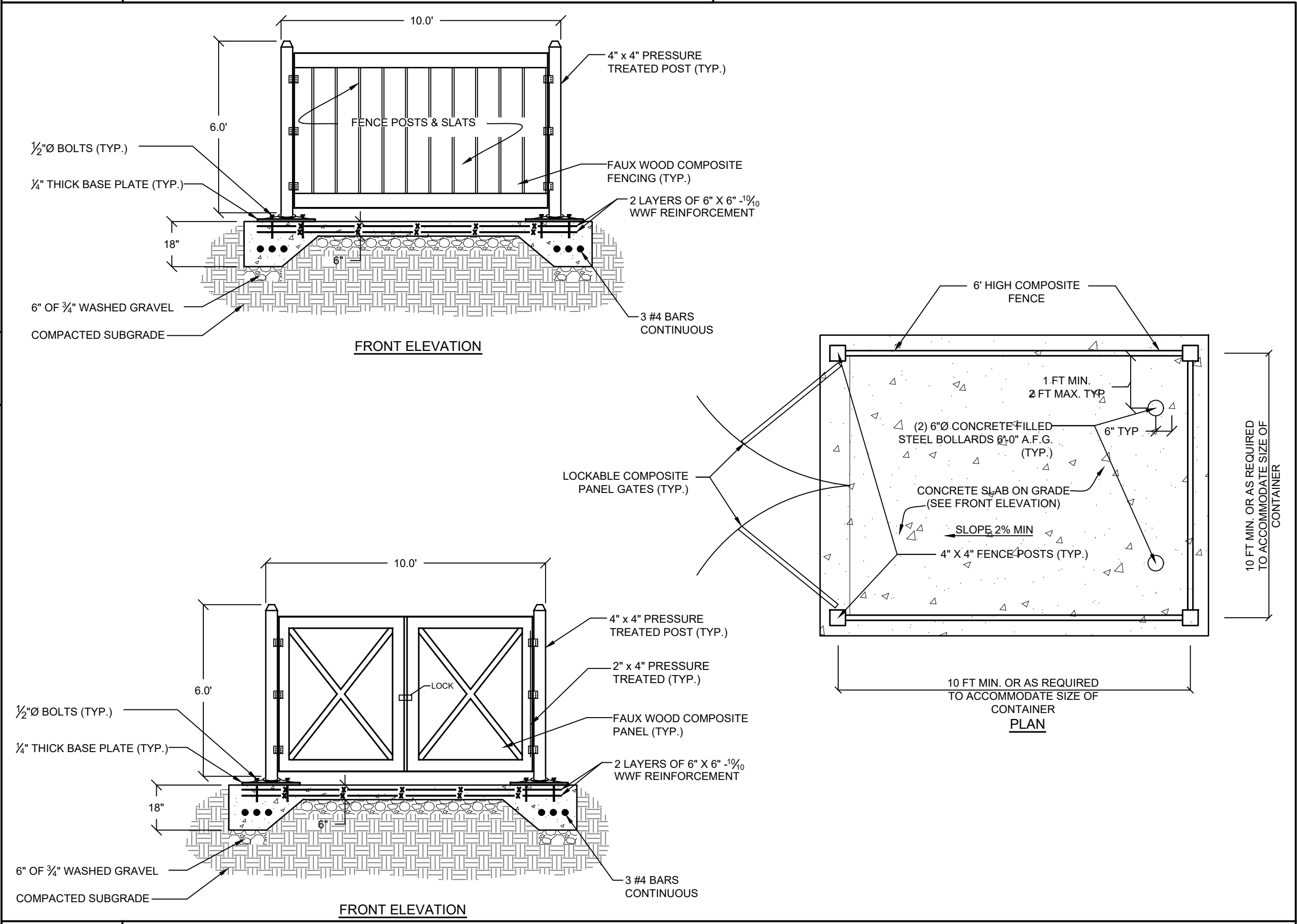
D-1 STORM BYPASS STRUCTURE DETAIL
NOT TO SCALE



D-2 STORM PIPE BEDDING DETAIL
NOT TO SCALE



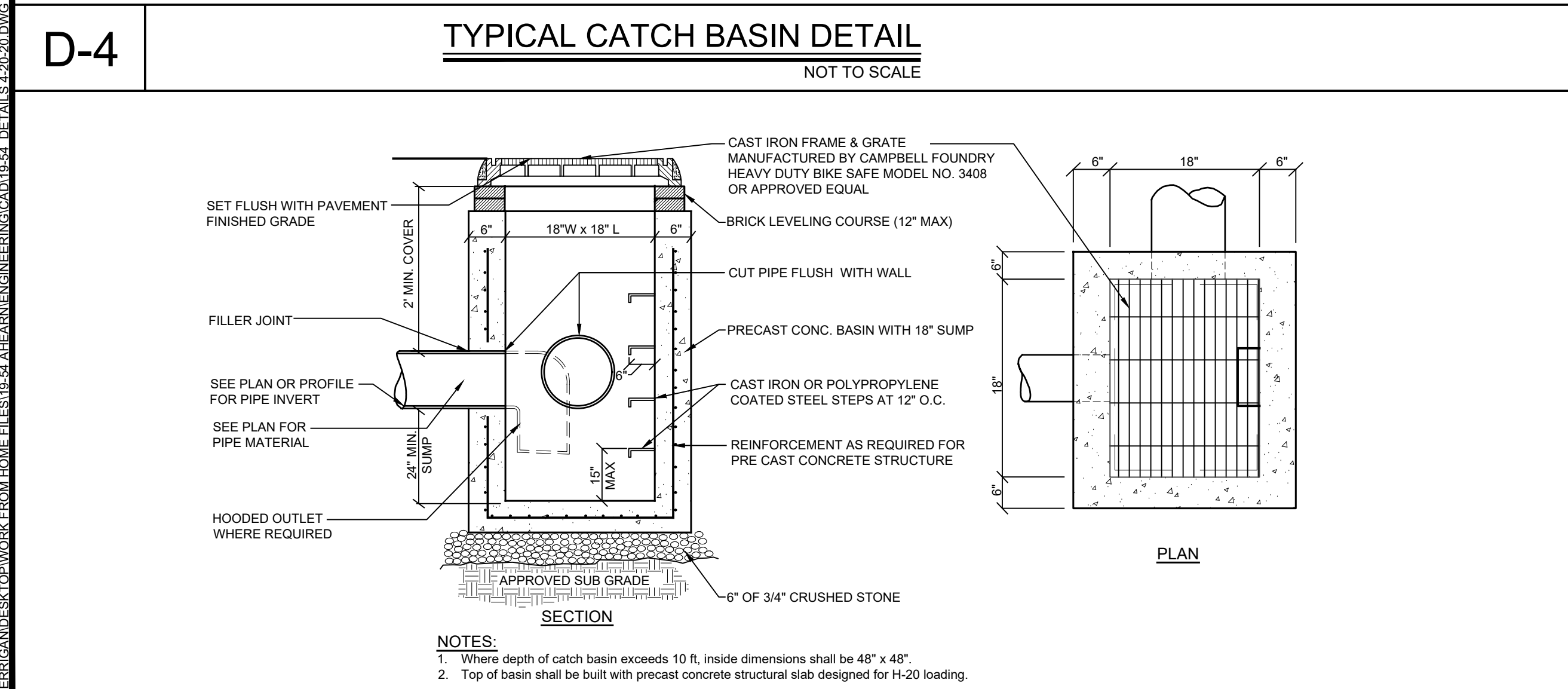
D-3 ROOF & FOOTING DRAIN CONNECTION DETAIL
NOT TO SCALE



D-4 TYPICAL CATCH BASIN DETAIL
NOT TO SCALE



S-1 TRASH ENCLOSURE DETAIL
NOT TO SCALE

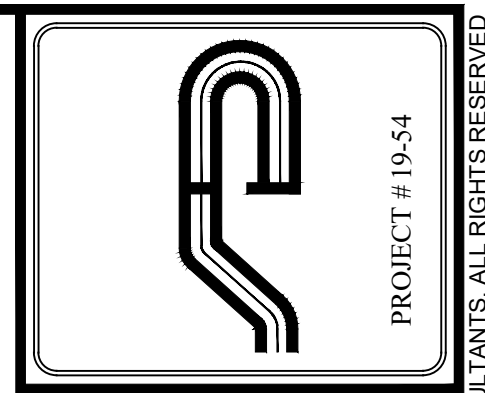


D-5 PRECAST CATCH BASIN - DRAIN INLET DETAIL
NOT TO SCALE

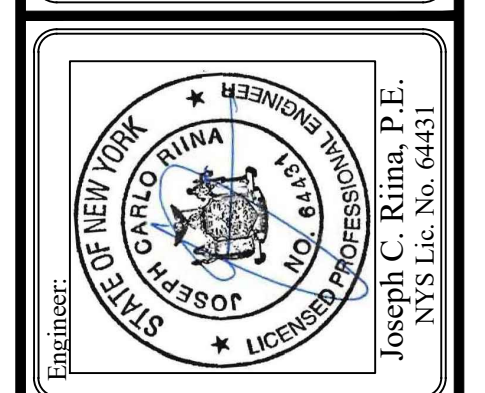


D-3 ROOF & FOOTING DRAIN CONNECTION DETAIL
NOT TO SCALE

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DRAINAGE DETAILS

PRELIMINARY SITE PLAN
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Westchester County, NY

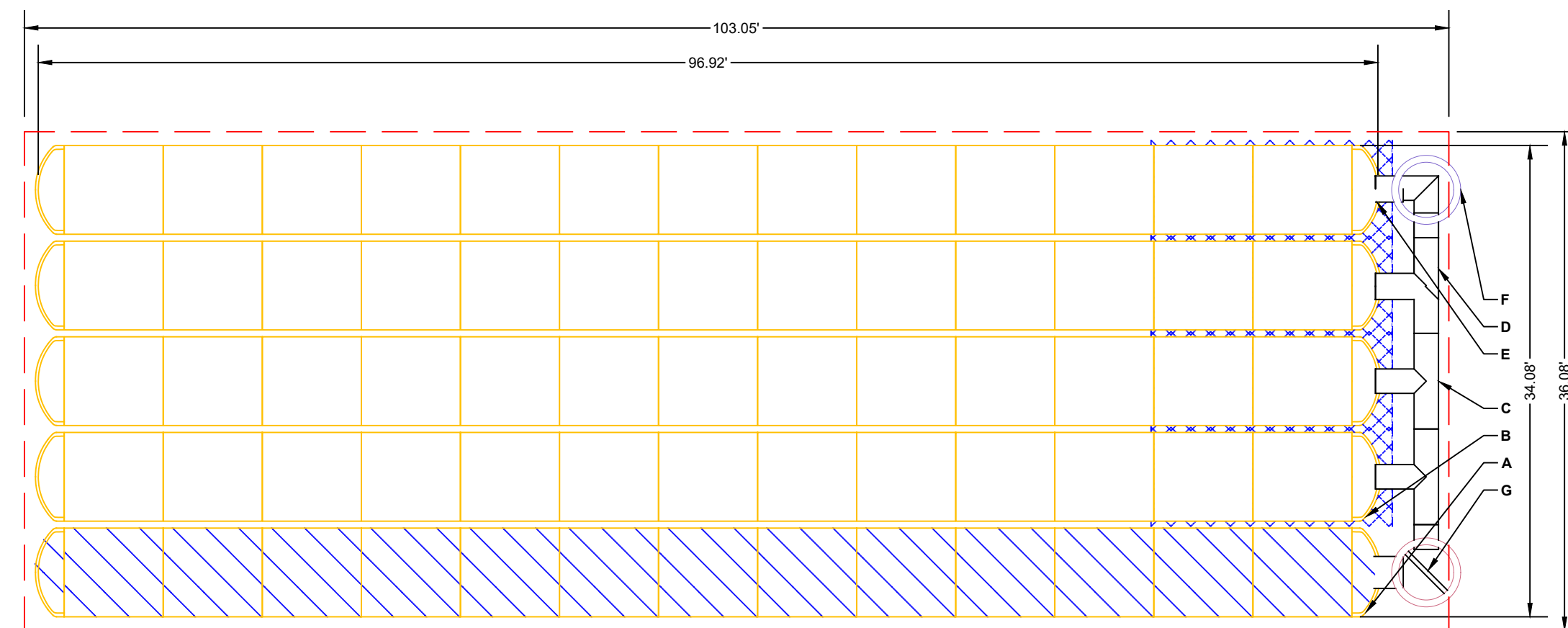
Sheet **C-503**

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PROPOSED LAYOUT		CONCEPTUAL ELEVATIONS	
64	STORMTECH MC-4500 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT UNPAVED)	12.75
8	STORMTECH MC-4500 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)	8.25
12	STONE ABOVE (6)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)	7.75
9	STONE BELOW (6)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT)	7.75
40	% STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)	6.75
12106	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED) (BASE STONE INCLUDED)	TOP OF STONE	5.75
2906	SYSTEM AREA (SF)	TOP OF MC-3500 CHAMBER	0.94
2347.3	SYSTEM PERIMETER (ft)	18" x 18" BOTTOM MANIFOLD INVERT	0.91
		18" BOTTOM CONNECTION INVERT	0.91
		BOTTOM OF MC-4500 CHAMBER	0.75
		BOTTOM OF STONE	0.00

PART TYPE		ITEM ON LAYOUT	DESCRIPTION	INVERT	MAX FLOW
PREFABRICATED END CAP	A	24" BOTTOM CORED END CAP/TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR ROWS		2.26'	
PREFABRICATED END CAP	B	18" BOTTOM CORED END CAP/TYP OF ALL 18" BOTTOM CONNECTIONS		1.97'	
MANIFOLD	C	18" x 18" BOTTOM ADS N-12		1.97'	
MANIFOLD	D	18" x 18" BOTTOM ADS N-12		1.97'	
PIPE CONNECTION	E	18" BOTTOM CONNECTION		1.97'	
CONCRETE STRUCTURE	F	OC'S (DESIGN BY ENGINEER / PROVIDED BY OTHERS)			8.0 CFS OUT
CONCRETE STRUCTURE WWWR	G	DESIGN BY ENGINEER / PROVIDED BY OTHERS)			16.5 CFS IN
INSPECTION PORT	H	4" SEE DETAIL			

*INVERT ABOVE BASE OF CHAMBER



NOTES

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH SHEET #7 FOR MANIFOLD SIZING GUIDANCE.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO OBTAIN APPROVAL FROM THE LOCAL HEALTH DEPARTMENT TO OBTAIN ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSTALLED SOILS.
- THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- NOT FOR CONSTRUCTION.

- ISOLATOR ROW (SEE DETAIL)
- PLACE MINIMUM 17.5' OF ADS GEOSYNTHETICS 315WTM WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS
- BED LIMITS

SWM-3 STORMTECH MC-3500 PLAN DETAIL
NOT TO SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

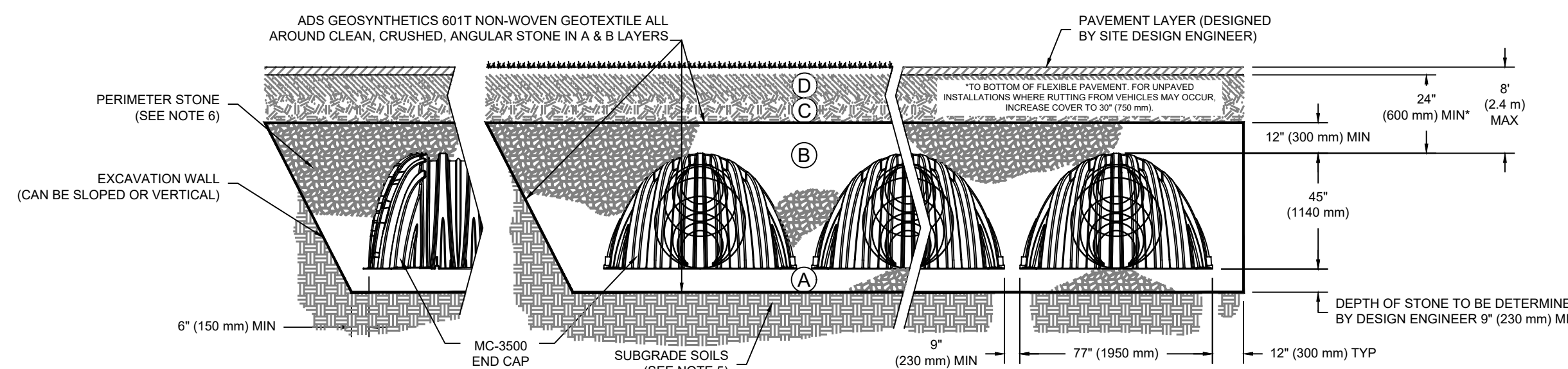
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ³ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ³ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

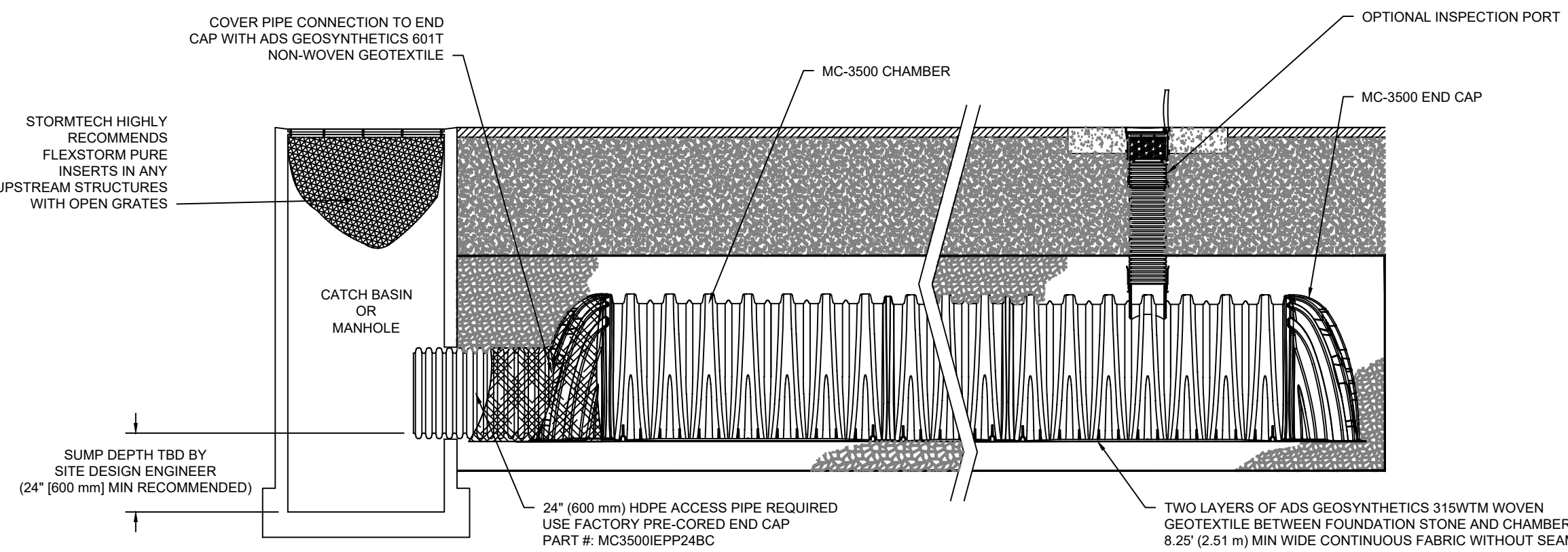
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/INCH. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

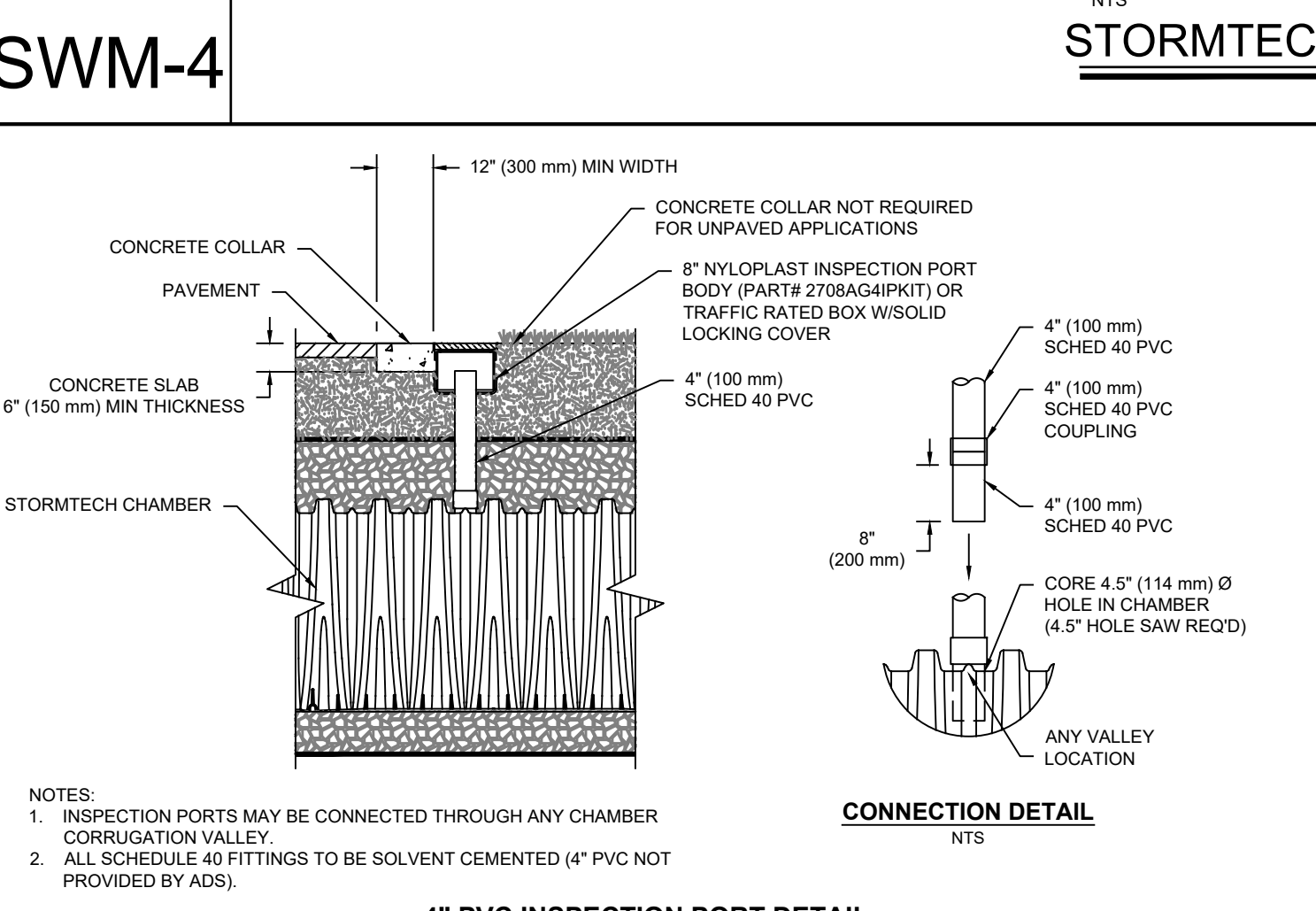


SWM-3 STORMTECH MC-3500 CROSS SECTION DETAIL
NOT TO SCALE



MC-3500 ISOLATOR ROW DETAIL
NTS

STORMTECH MC-3500 CHAMBER DETENTION ISOLATOR ROW DETAIL
NOT TO SCALE



4" PVC INSPECTION PORT DETAIL
NTS

SWM-5 STORMTECH FLUSING/INSPECTION PORT DETAIL
NOT TO SCALE

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

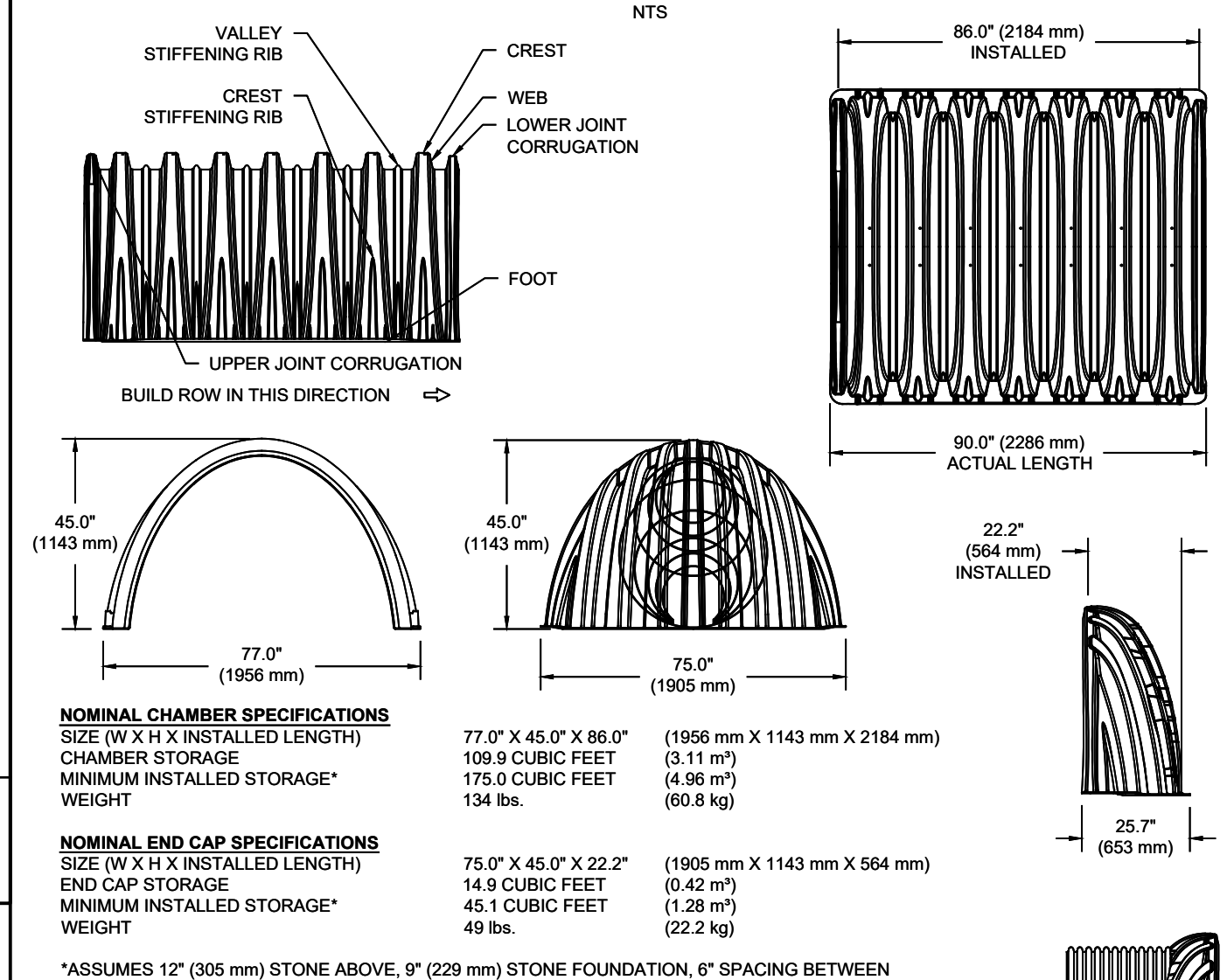
INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - ALL ISOLATOR ROWS
 - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

MC-3500 TECHNICAL SPECIFICATION
NTS



STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" END CAPS WITH A WELDED CROWN PLATE END WITH "C" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

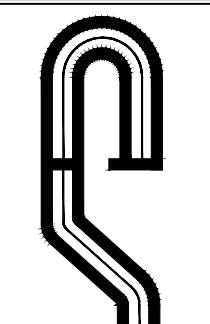
PART #	STUB	B	C
MC3500IEPP06T	6" (150 mm)	33.21" (844 mm)	0.68" (17 mm)
MC3500IEPP08B	8" (200 mm)	31.16" (791 mm)	---
MC3500IEPP08T	8" (200 mm)	29.04" (738 mm)	0.81" (21 mm)
MC3500IEPP10T	10" (250 mm)	---	---
MC3500IEPP10B	10" (250 mm)	26.36" (670 mm)	0.93" (24 mm)
MC3500IEPP12T	12" (300 mm)	---	---
MC3500IEPP12B	12" (300 mm)	26.36" (670 mm)	1.35" (34 mm)
MC3500IEPP15T	15" (375 mm)	23.39" (594 mm)	---
MC3500IEPP15B	15" (375 mm)	---	1.50" (38 mm)
MC3500IEPP18TC	18" (450 mm)	20.03" (509 mm)	---
MC3500IEPP18TW	18" (450 mm)	---	1.77" (45 mm)
MC3500IEPP18BW	18" (450 mm)	---	---
MC3500IEPP24TC	24" (600 mm)	14.48" (368 mm)	---
MC3500IEPP24TW	24" (600 mm)	---	2.06" (52 mm)
MC3500IEPP24BW	24" (600 mm)	---	---
MC3500IEPP30BC	30" (750 mm)	---	2.75" (70 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL

SWM-2 STORMTECH MC-3500 CHAMBER DETAIL
NOT TO SCALE

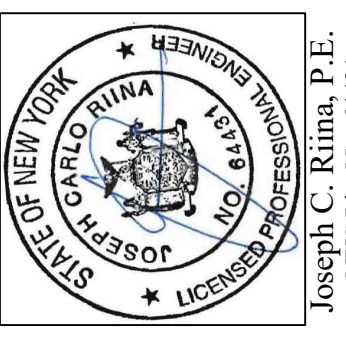
SWM-5 STORMTECH ENDCAP DETAIL
NOT TO SCALE

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



PROJECT # 19-54

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Joseph C. Rima, P.E.
NYS Lic. No. 64431

Revisions:

No.	Date	Comments	Town Comments
1	4/14/20		

SCALE: NTS
DRAWN BY: TK
DATE: 12/30/19

STORMWATER MANAGEMENT DETAILS

PRELIMINARY SITE PLAN
PREPARED FOR
3451 LEXINGTON AVENUE
3451 LEXINGTON AVENUE
Town of Cortlandt
Westchester County, NY

Sheet **C-504**

Table with 3 columns: Revisions, Date, Comments. Includes a grid for tracking changes.

Table with 3 columns: Scale, Drawn by, Date. Scale: NTS, Drawn by: TK, Date: 12/30/19.

RETAINING WALL WALL DETAILS

- General Notes: 1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER... 2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT HIS WORK... 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SHORE EXISTING UTILITIES & DECK IF REQUIRED BY CONSTRUCTION... 4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BUILDING INSPECTOR IN ADVANCE OF HIS WORK... 5. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR... 6. ALL CHANGES MADE TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER'S WHOSE SEAL APPEARS ON THESE DRAWINGS... 7. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS... 8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION... 9. THE DESIGN ENGINEER DISCLAIMS ANY LIABILITY FOR DAMAGE OR LOSS INCURRED DURING OR AFTER CONSTRUCTION... 10. THE CONTRACTOR SHALL SECURE A PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION... 11. THE CONTRACTOR SHALL SECURE A PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION... 12. THE CONTRACTOR SHALL SECURE A PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION... 13. THE CONTRACTOR SHALL SECURE A PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION...

- Soil Reinforcement/Geogrid shall be Ux1100 U.O.N. as manufactured by the Tensar Corporation, Morrow Georgia. Tensar Geogrids shall be constructed in accordance with installation procedures established by Tensar Earth Technologies. The contractor shall provide proper surface drainage during and after construction to minimize water infiltration into the reinforced soil zone. Geogrids shall be installed at the specified elevations shown on the wall section. Tensar Geogrids shall be pulled taut until sufficient fill is placed over the geogrids to maintain tension in the geogrid. U shaped pins shall be used to facilitate installation. Construction equipment shall not be permitted on the geogrid prior to the placement of a minimum of 8" thickness of soil. Excavation in general shall conform to the lines and grades shown on the contract drawings. Soils used as backfill within the reinforced zone and unit drainage fill shall consist of sound durable particles to the gradation shown in the tables below. The material shall be granular and free of organic or other deleterious material. In general the soil shall be non-plastic with a plasticity index less than 5 and shall conform to the AASHTO soil classification system for an "A-1-a" soil. However the maximum size shall be as shown. In general all fill shall be approved by the engineer prior to its use. Wet material or unsuitable material should not be used.

Tables for Reinforced Zone Fill and Unit Drainage Fill. Columns: Sieve Size, Percent Passing by Weight.

- 10. IF ON-SITE EXCAVATED MATERIAL IS USED IT MUST CONFORM TO THE SAME MINIMUM REQUIREMENTS SPECIFIED. 11. SOIL WITHIN THE REINFORCED ZONE SHALL BE PLACED IN LOOSE 8" LIFTS. EACH LIFT SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY A.S.T.M. D1557 METHOD C. 12. EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH THE "CONSTRUCTION SAFETY AND HEALTH ACT" (O.S.H.A.) PART 1926 SUB-PART P. 13. GEOTEXTILE FABRIC SHALL BE TREVIRA SPUNBOND NON-WOVEN #1125 OR APPROVED EQUAL. THE GEOTEXTILE SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS AND GUIDELINES. 14. THE CONTRACTOR SHALL NOT USE LARGE OR HEAVY CONSTRUCTION EQUIPMENT WITHIN 5' OF THE RETAINING WALLS OR NEW GARAGE FOUNDATION WALL. HAND OPERATED COMPACTING EQUIPMENT SHALL BE USED WITHIN 5' OF THE WALL FACE. 15. DURING BACKFILL OPERATIONS, THE CONTRACTOR SHALL BE CAREFUL NOT TO CREATE UNBALANCED LOADING CONDITIONS ON THE WALL. BACKFILL SHOULD BE PLACED AND COMPACTED ON BOTH SIDES OF THE WALL SIMULTANEOUSLY. 16. THE SEGMENTAL WALL SYSTEM SHALL BE THE KEYSTONE RETAINING WALL SYSTEM OR UNILOCK. 17. THE MODULAR BLOCK RETAINING WALL SYSTEM SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATION AND THE DESIGN AND CONSTRUCTION MANUAL. 18. THE ENGINEER SHALL BE NOTIFIED OF UNSUITABLE SUB-GRADE SOILS PRIOR TO PLACEMENT OF THE GEOGRID REINFORCED SOIL. 19. ALTERNATE WALL DESIGNS MUST BE SEALED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER THE MINIMUM FACTORS OF SAFETY FOR SLIDING AND OVERTURNING SHALL BE 2.0.

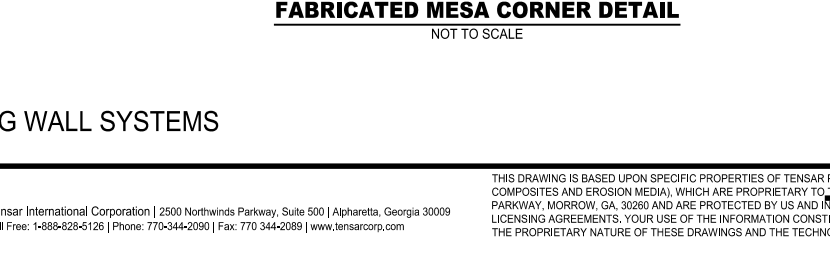
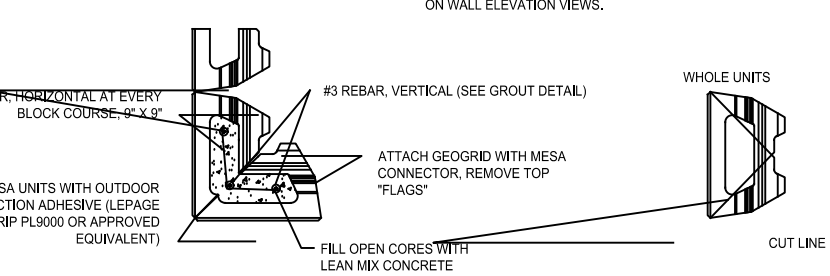
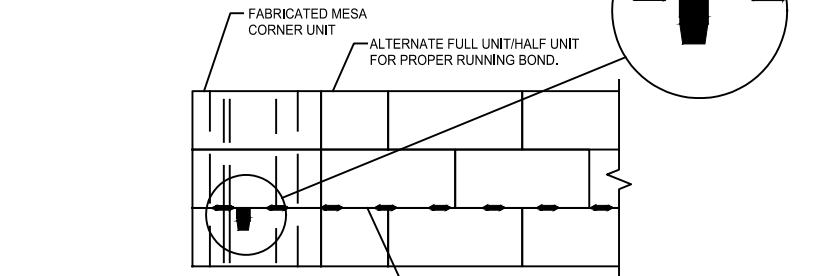
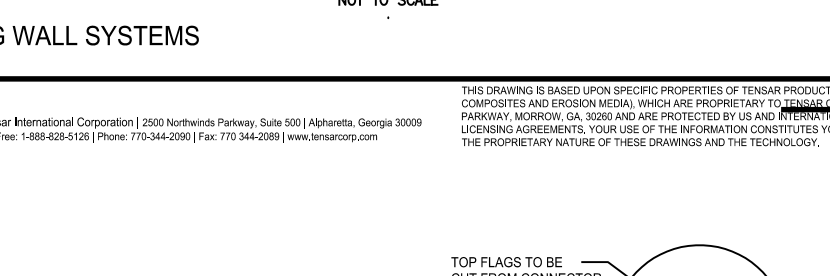
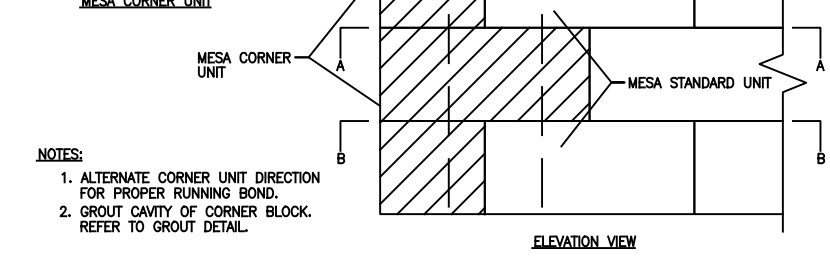
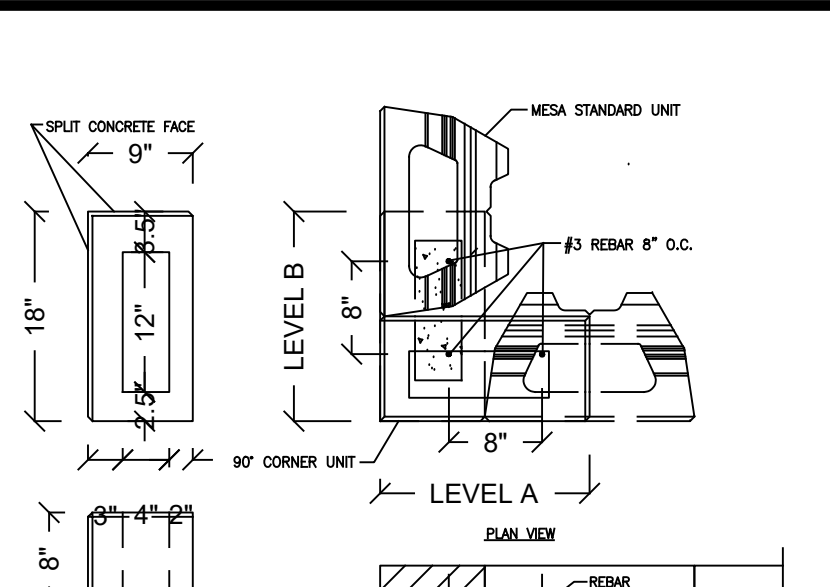


Table with columns: WALL HEIGHT ABOVE GROUND, NUMBER OF GEOGRIDS, LENGTH OF GEOGRID, BASE GEOGRID, SPACING OF GEOGRID. Lists specifications for different wall heights.

**Top two layers of Geogrid shall be extended an additional 2'
**Top four layers of Geogrid shall be Ux1400. The top two layers of Ux1400 Geogrid shall be extended an additional 2'

