



# TOWN OF CORTLANDT PLANNING BOARD

Steven Kessler  
*Chairperson*

Thomas A. Bianchi  
*Vice-Chairperson*

David Douglas  
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Kevin Kobasa  
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Town Hall, 1 Heady Street  
Cortlandt Manor, NY 10567  
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Planning Staff email:  
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**Town Supervisor**  
Richard H. Becker, MD

**Town Board**  
James F. Creighton  
Cristin Jacoby  
Robert Mayes  
Joyce C. White

**TO JOIN THE MEETING REMOTELY USE THE ZOOM LINK BELOW:**

<https://us02web.zoom.us/j/89435945679?pwd=UkAgX95JKOTpErJuOhhZbvlbvSks0g.1>

**WORK SESSION.....MAY 6, 2025 6:00 PM**

1. Discuss May 6, 2025 Regular Planning Board Meeting Agenda.

**MEETING AGENDA.....PLANNING BOARD**  
**TOWN OF CORTLANDT**  
**6:30 TUESDAY EVENING\***  
**MAY 6, 2025**

1. **PLEDGE TO THE FLAG**
2. **ROLL CALL**
3. **CHANGES TO THE AGENDA BY MAJORITY VOTE**
4. **ADOPTION OF THE MINUTES OF THE MEETING OF APRIL 1, 2025**
5. **CORRESPONDENCE**

- PB 2023-5**      a. Letter dated April 9, 2025 from David Steinmetz, Esq. requesting the 5<sup>th</sup>, 90-day time extension of Final Plat Approval for the Evergreen Subdivision located at 2003 Crompond Road.
- PB 6-15**      b. Letter dated April 24, 2025 from Robert F. Davis, Esq. requesting the 2<sup>nd</sup>, one-year time extension of the Special Permit and Site Development Plan for the Hudson Ridge Wellness Center located at 2016 Quaker Ridge Rd. East.
- c. Review the proposed Downtown Neighborhood Overlay Zone for Route 6 (Cortlandt Boulevard)

## 6. RESOLUTION

- PB 2024-2**     a.     Application of George McCombe for Preliminary & Final Approval for a 2-lot minor subdivision of a 2-acre parcel of property located at 107 Mountain View Road. Improvement drawings latest revised February 20, 2025. Plat dated August 7, 2024.

## 7. NEW BUSINESS

- PB 2025-6**     a.     Application of Marah Mackenzie, P.E., on behalf of Wal-Mart Stores, Inc., for exterior storage of containers and pallets at the rear of the store for property located at the Cortlandt Town Center 3133 East Main St. (Route 6). Drawing dated April 11, 2025.
- PB 2025-7**     b.     Application of the Yeshiva Ohr Hamier for Site Plan approval, an amended Special Permit for a University, College or Seminary and a Wetland Permit for a proposed 51,730 sq. ft. dormitory building, renovation of staff housing and the enlargement of the existing sanctuary located at the existing Yeshiva Ohr Hamier campus at 141 Furnace Woods Rd. Drawings dated April 18, 2025.
- PB 2025-8**     c.     Application of BEB Capital, LLC for the property of Skyview/Westview LLC and Eastview/Southview, LLC for Site Plan approval, a Residential Reuse Special Permit (RRUSP) and for Tree Removal and Steep Slope permits for a proposed 70-unit residential development located on E. Main St. (Route 6), Regina Avenue and Lexington Ave. Drawings dated April 1, 2025.
- PB 2025-9**     d.     Application of Claudia Villeda for Amended Site Plan approval for a proposed canopy over an existing outdoor patio at Yuka's Restaurant located at 2011 Albany Post Rd. Drawing dated April 17, 2025

## 8. ADJOURNMENT

**Next Regular Meeting; TUESDAY, JUNE 3, 2025 at 6:30 PM**  
**Agenda information is also available at [www.townofcortlandt.com](http://www.townofcortlandt.com)**

*\* Regular meeting will begin at the conclusion of the work session*



April 9, 2025

**Via OpenGov (PBCK23-13)**

Hon. Steven Kessler  
Chairman of the Town of Cortlandt Planning Board  
and Members of the Board  
1 Heady Street  
Cortlandt Manor, New York 10567

***Re: VS Construction Corp. (PB2023-5)  
2003 Crompond Road (Section 33.12 Block 2 Lots 1, 7 & 8)***

Dear Chairman Kessler and Members of the Planning Board:

As you all know, our Firm represents VS Construction Corp. (the “Applicant” or “VS Construction”), owner of the above-referenced Property in connection with the Town’s Medical Oriented District (“MOD”).

We received Final Subdivision Plat approval from your Board in November 2023, and an extension of that approval was granted by your Board in February 2025 (PB Resolution No. 2-25, attached). We are now approaching the expiration of that approval extension (expires in May) and we hereby request a further extension of that approval. Our clients and engineering team has continued to work with the Town and County to finalize the utilities, including storm water and sewer design, and related details, such that the County can indeed sign off on the Plat Map. That process is not yet complete, although we do expect it to be done shortly.

We look forward to appearing before your Board at your April meeting. In the meantime, please do not hesitate to contact us with any questions

Respectfully,

ZARIN & STEINMETZ LLP

By:



David S. Steinmetz  
Brian T. Sinsabaugh

Enclosure: PB Res. No. 2-25

Copy to:

Chris Kehoe, AICP, Planning Director  
Thomas Wood, Esq., Town Attorney  
Michael Cunningham, Esq., Deputy Town Attorney  
VS Construction Corp.  
DTS Provident Design Engineering LLP



# TOWN OF CORTLANDT

## DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

Chris Kehoe, AICP Director

Planning Staff  
Heather LaVarnway, CNU-A  
Michelle Robbins, AICP  
Rosemary B. Lasher

Town Hall, 1 Heady Street  
Cortlandt Manor, NY 10567  
Main #: 914-734-1080

**Town Supervisor**  
Richard H. Becker, MD

**Town Board**  
James F. Creighton  
Cristin Jacoby  
Robert Mayes  
Joyce C. White

February 6, 2025

VS Construction  
37 Croton Dam Rd.  
Ossining, New York 10562

Re: PB 2023-5 Application of VS Construction Corp. for Preliminary and Final Plat approval for a 2-lot subdivision for property located at 2003 Crompond Rd. (Route 202).

Dear Mr. Santucci,

Enclosed please find a copy of Resolution No. 2-25 which was adopted by the Planning Board at their meeting on February 4, 2025 which grants the 4<sup>th</sup>, 90-day time extension of conditional Final Plat approval for the subject application.

Please contact me if you have any questions or need additional information.

Sincerely,

*Chris Kehoe*

Chris Kehoe, AICP  
Clerk to the Planning Board

CRK/crk  
encl.

cc: w/res Dr. Richard H. Becker Town Supervisor  
James Creighton, Town Board Liaison  
Michael Cunningham, Esq., Deputy Town Attorney  
Laroue Shatzkin, Town Clerk  
David Steinmetz, Esq.

**WHEREAS**, the application of VS Construction Corp. for Preliminary and Final Plat approval pursuant to Sections 276 and 277 of the New York State Town Law and Chapter 265 (Subdivision Regulations) of the Town of Cortlandt Code for a proposed 2-lot major subdivision of an approximately 28.6-acre parcel of property and for a Wetland Permit pursuant to Chapter 179, a Tree Removal pursuant to Chapter 283 and a Steep Slope Permit pursuant to Chapter 259 of the Town of Cortlandt Code only for the proposed .958 acre road parcel as shown on a drawing entitled "Subdivision of Property prepared for V.S. Construction Corp." prepared by Daniel Merritts, P.L.S. latest revision dated October 23, 2023 and as shown on an 11 page set of improvement drawings entitled "2003 Crompond Road, Subdivision Application" prepared by Gerhard Schwalbe, P.E. latest revision dated November 1, 2023 was approved on November 8, 2023 by PB Res. 15-23, and

**WHEREAS**, the subject properties are located on the south side of Crompond Road (Route 202) east of Lafayette Avenue and west of Tamarack Drive, are zoned MOD, Medical Oriented District and designated on the Town of Cortlandt Tax Maps as Section 33.12, Block 2, Lots 1, 7 & 8, and

**WHEREAS**, by Resolutions 4-24, 7-24 and 12-24 the Planning Board previously granted three, 90-day time extensions of Final Plat approval, and

**WHEREAS**, by a letter dated September 20, 2025 David Steinmetz, Esq. requested the 4th, 90-day time extension of Final Plat approval for the subject application in order to continue to meet the conditions of said approval.

**NOW THEREFORE BE IT RESOLVED** that the request of David Steinmetz, Esq. for the 4<sup>th</sup>, 90-day time extension of Final Plat approval is hereby **APPROVED**, said extension to expire on May 5, 2025.

**Adopted: February 4, 2025  
Cortlandt Manor, New York**

**Filed in the Office of the Town Clerk  
and Planning Board this 5<sup>th</sup> day  
of February, 2025.**

  
\_\_\_\_\_  
**Chris Kehoe  
Clerk to the Planning Board**

**DRAFT**

**TOWN OF CORTLANDT  
PLANNING BOARD  
PB 2023-5**

**RESOLUTION NO. 10-25**

**WHEREAS, the application of VS Construction Corp.** for Preliminary and Final Plat approval pursuant to Sections 276 and 277 of the New York State Town Law and Chapter 265 (Subdivision Regulations) of the Town of Cortlandt Code for a proposed 2-lot major subdivision of an approximately 28.6-acre parcel of property and for a Wetland Permit pursuant to Chapter 179, a Tree Removal pursuant to Chapter 283 and a Steep Slope Permit pursuant to Chapter 259 of the Town of Cortlandt Code only for the proposed .958 acre road parcel as shown on a drawing entitled “Subdivision of Property prepared for V.S. Construction Corp.” prepared by Daniel Merritts, P.L.S. latest revision dated October 23, 2023 and as shown on an 11 page set of improvement drawings entitled “2003 Crompond Road, Subdivision Application” prepared by Gerhard Schwalbe, P.E. latest revision dated November 1, 2023 was approved on November 8 , 2023 by PB Res. 15-23, and

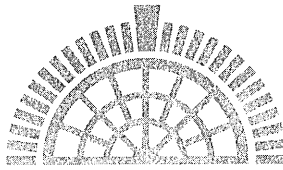
**WHEREAS,** the subject properties are located on the south side of Crompond Road (Route 202) east of Lafayette Avenue and west of Tamarack Drive, are zoned MOD, Medical Oriented District and designated on the Town of Cortlandt Tax Maps as Section 33.12, Block 2, Lots 1, 7 & 8, and

**WHEREAS,** by Resolutions 4-24, 7-24, 12-24 & 2-25 the Planning Board previously granted four, 90-day time extensions of Final Plat approval, and

**WHEREAS,** by a letter dated April 9, 2025 David Steinmetz, Esq. requested the 5th, 90-day time extension of Final Plat approval for the subject application in order to continue to meet the conditions of said approval.

**NOW THEREFORE BE IT RESOLVED** that the request of David Steinmetz, Esq. for the 5<sup>th</sup>, 90-day time extension of Final Plat approval is hereby **APPROVED**, said extension to expire on August 3, 2025.

**TO BE CONSIDERED FOR ADOPTION: MAY 6, 2025**



## SINGLETON, DAVIS & SINGLETON PLLC

ATTORNEYS AT LAW

THOMAS J. SINGLETON, 1930-2015

ROBERT F. DAVIS

WHITNEY W. SINGLETON\*

ALEXANDER D. SALVATO

\* ALSO MEMBER CONNECTICUT & FLORIDA BARS

120 EAST MAIN STREET  
MOUNT KISCO, NY 10549

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April 24, 2025

*Via E-Mail*

Hon. Steven Kessler, Chairman and Members of the Planning Board  
1 Heady Street  
Cortlandt Manor, NY 10567  
Attn.: Chris Kehoe, Director of Planning and Community Development

*Re: Hudson Ridge Wellness Center, Inc.  
PB 6-15  
Resolution No.: 7-23  
Request for Second One-Year Extension of Site Development Plan Approval –  
May 6, 2025 Meeting*

Dear Chairman Chairman Kessler and Members of the Board:

As you know, on June 6, 2023, the Board rendered its Resolution of Site Development Plan and Special Permit Approval for the above-referenced Application. At pps. 6-7 of its Resolution, the Board provided that the Approval would be valid for 12 months for the Applicant to satisfy all conditions and to obtain the signature of the Chairman on the Site Development Plan. This 12-month period was accompanied by the proviso that absent a “substantial change” in the condition of the site or its environs, consistent with the provisions of Chapter 77, Article IV, §77-23(B) of the Town Code, the Approval may be extended for two additional years, in one-year intervals, upon timely application, with an explanation for the necessity of an extension.

On May 7, 2024, by its Resolution No. 5-24, the Board granted the Applicant its first one-year extension, to and including June 6, 2025. A copy of said Resolution, together with my letter and that of Mr. Laker on which it was rendered, and the reasons stated in which remain germane to this request for the second extension, are submitted herewith. There was no opposition to the first extension.

On behalf of the Applicant, as the extended Approval will now expire on June 6, 2025, we respectfully request a one-year extension, to and including, June 6, 2026.

Notably, there has been no “substantial change in the condition of the site and/or its environs”.

Hon. Steven Kessler, Chairman and Members of the Board

April 24, 2025

Page 2

Further, as indicated in the letter of the Applicant's representative, Mr. Steven Laker submitted herewith, the Applicant has spent the past two years, at this point, diligently pursuing the satisfaction of Condition No. 2(a) of Resolution No. 7-23, to the effect that the Applicant must obtain Conditional Approval of the Westchester County Department of Community Mental Health and the Board of Certification of OASAS, the licensing authority for the Applicant's specialty hospital. See, e.g., Mr. Kehoe's enclosed letter in response to the County's inquiry. As previously explained to the Board during its review process, the licensing process is an extremely arduous and lengthy one. As stated in Mr. Laker's letter, the Applicant continues to make substantial efforts and progress in that process. As noted last year, the Applicant achieved a major milestone with the Westchester County Department of Community Health, which enabled it to move forward with OASAS.

In addition, as further noted in Mr. Laker's letter last year, the Applicant has been involved, through its engineer, with the Westchester County Department of Health, whose approvals are needed for the Applicant's wastewater treatment and well water systems, as referenced in Condition No. 12 of the Board's Resolution No. 7-23.

These County and State approvals represent the most significant conditions in the Board's Resolution No. 7-23 to be satisfied prior to the Chairman signing of the Plan and are the necessary threshold approvals, without which the Applicant may not proceed. Accordingly, without obtaining such approvals, the meeting of any other conditions would be superfluous. The Applicant anticipates obtaining these threshold approvals within the next year and complying with the other relevant conditions within that time period as well.

Significantly, in regard to the prior litigation brought by the neighborhood opposition group, the group did not appeal the Planning Board's final determination, Resolution No. 7-23 (or No. 5-24) and likewise chose not to pursue their notice of appeal of the preceding September 2023 Judgment of the Supreme Court, Westchester County upholding the Zoning Board's September 2022 Decision and Order granting Applicant the necessary area variance from the State Road frontage requirements of the Town Code. Thus, that appeal was dismissed in July 2024.

On July 16, 2024, the group also advised the Appellate Division that it would not argue its prior appeal from the Supreme Court Order denying their motion to intervene in an Article 78 between the Applicant and the Zoning Board and challenge the Supreme Court's Decision and Order therein holding that the Applicant's use is a "hospital" under the Town Code. While that earlier appeal technically remains pending, to be calendared for oral argument by only the Applicant, given that the Zoning Board did not appeal and that the Planning and Zoning Boards have subsequently rendered their unappealed final determinations, that appeal will almost certainly be dismissed as moot, as the Applicant has requested.



Hon. Steven Kessler, Chairman and Members of the Board

April 24, 2025

Page 3

Finally, two principal members of the opposition group litigants, who were adjoining neighbors, have moved away from the neighborhood.

Thus, we respectfully request that the Board grant the Applicant the second one-year extension period afforded in its Resolution No. 7-23, to and including June 6, 2026.

Thank you for your consideration.

Very truly yours,

A handwritten signature in black ink, appearing to read "R. F. Davis", written in a cursive style.

Robert F. Davis

RFD:dds

Enclosures

April 23, 2025

Singleton, Davis & Singleton PLLC

120 East Main Street

Mount Kisco, NY 10549

Attn: Robert Davis

RE: Hudson Ridge Wellness Center, Inc.

Dear Bob,

Hudson Ridge Wellness Center would like to once again request their final one-year extension of site development plan approval for the project at 2016 Quaker Ridge Road.

As you know the project team obtained the necessary community support and sign off from Westchester County to proceed with their OASAS application. Additionally in July 2024 they also received a very positive support letter from Senator Peter Harckham.

The project team continues to work on preparing the extensive application material and program documents that are required and will update the board as necessary.

We respectfully ask the Town to please consider an extension on the site development plan so we can continue to satisfy all conditions including the most significant OASAS approval.

Thank you,



Steven Laker

Representative for Hudson Ridge Wellness Center, Inc.



# TOWN OF CORTLANDT

## DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

Chris Kehoe, AICP Director

Planning Staff  
Heather LaVarnway, CNU-A  
Michelle Robbins, AICP  
Rosemary B. Lasher

Town Hall, 1 Heady Street  
Cortlandt Manor, NY 10567  
Main #: 914-734-1080

**Town Supervisor**  
Richard H. Becker, MD

**Town Board**  
James F. Creighton  
Cristin Jacoby  
Robert Mayes  
Joyce C. White

May 8, 2024

Hudson Ridge Wellness Center, Inc.  
72 North State Road, Suite 502  
Briarcliff, NY 10510

RE: PB 6-15 Application of Hudson Ridge Wellness Center, Inc. for Site Development Plan approval and a Special Permit for a hospital to be located at the former Hudson Institute property to provide a New York State Office of Addiction Services and Support (OASAS) certified facility to treat individuals with chemical dependency issues located at 2016 Quaker Ridge.

Dear Mr. Laker,

Enclosed please find a copy of Resolution No. 5-24 which was adopted by the Planning Board at their meeting on May 7, 2024 which grants the 1<sup>st</sup> one-year time extension of conditional Site Development Plan Approval and the Special Permit for the subject application.

If you have any questions regarding this matter please contact my office.

Sincerely,

*Chris Kehoe*

Chris Kehoe, AICP  
Director of Planning & Community Development

CRK/crk  
encl.

cc w/res: Richard H. Becker, MD, Town Supervisor  
James Creighton, Town Board Liaison  
Laroue Shatzkin, Town Clerk  
Thomas Wood, Esq., Town Attorney  
Michael Cunningham, Esq., Deputy Town Attorney  
Robert Davis, Esq.  
Joshua Grauer, Esq.

**TOWN OF CORTLANDT  
PLANNING BOARD  
PB 6-15**

**RESOLUTION NO. 5-24**

**WHEREAS**, the application for Planning Board approval of a Site Development Plan and for a Special Permit for a Hospital as per Section 307-59 (Hospital) and for a Parking Waiver as per Section 307-34.1 of the Town of Cortlandt Code was submitted by Hudson Ridge Wellness Center, Inc. for the redevelopment of the former Hudson Institute property into a hospital serving patients with chemical dependency issues as shown on an 8 page set of drawings prepared by Ralph G. Mastromonaco, P.E. latest revision dated June 2, 2023 was approved on June 6, 2023 by Planning Board Resolution 7-23, and

**WHEREAS**, the subject property of approximately 20.83 acres is zoned R-80, Single Family Residential, is located at 2016 Quaker Ridge Road East and is designated on the Town of Cortlandt Tax Maps as Section 79.11, Block 1, Lot 18, and

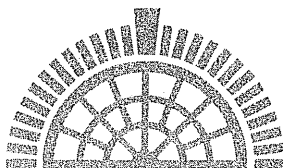
**WHEREAS**, by a letter dated May 1, 2024 Robert F. Davis, Esq. requested the 1st, one-year time extension of the Subject Site Development Plan approval to continue working on meeting the conditions of said approval.

**NOW THEREFORE BE IT RESOLVED**, that the request of Robert F. Davis, Esq. for the 1st, one-year time extension of Site Development Plan approval is hereby approved, said extension to expire on June 6, 2025.

**Adopted: May 7, 2024  
Cortlandt Manor, New York**

**Filed in the Office of the Town Clerk  
and Planning Board this 8<sup>th</sup> day  
of May, 2024.**

  
\_\_\_\_\_  
**Chris Kehoe  
Clerk to the Planning Board**



## SINGLETON, DAVIS & SINGLETON PLLC

ATTORNEYS AT LAW

THOMAS J. SINGLETON, 1930-2015

ROBERT F. DAVIS

WHITNEY W. SINGLETON\*

ALEXANDER D. SALVATO

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120 EAST MAIN STREET

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May 1, 2024

Hon. Steven Kessler, Chairman and Members of the Planning Board  
1 Heady Street  
Cortlandt Manor, NY 10567  
Attn.: Chris Kehoe, Director of Planning and Community Development

*Re: Hudson Ridge Wellness Center, Inc.  
PB 6-15  
Resolution No.: 7-23  
Request for One Year Extension of Site Development Plan Approval –  
May 7, 2024 Meeting*

Dear Chairman Chairman Kessler and Members of the Board:

As you know, on June 7, 2023, the Board rendered its Resolution of Site Development Plan and Special Permit Approval for the above-referenced Application. At pps. 6-7 of its Resolution, the Board provided that the Approval would be valid for 12 months for the Applicant to satisfy all conditions and to obtain the signature of the Chairman on the Site Development Plan. This 12-month period was accompanied by the proviso that absent a “substantial change” in the condition of the site or its environs, the Approval may be extended for two additional years, in one-year intervals, upon timely application, with an explanation for the necessity of an extension.

On behalf of the Applicant, as the Approval will expire on June 7, 2024, we respectfully request a one-year extension, to and including, June 7, 2025.

Notably, there has been no “substantial change in the condition of the site and/or its environs”.

Further, as indicated in the letter of the Applicant’s representative, Mr. Steven Laker submitted herewith, the Applicant has spent the past year diligently pursuing primarily the satisfaction of Condition No. 2(a) of the Resolution, to the effect that the Applicant must obtain Conditional Approval of the Westchester County Department of Community Mental Health and the Board of Certification of OASAS, the licensing authority for the Applicant’s specialty hospital. See, e.g., Mr. Kehoe’s enclosed letter in response to the County’s inquiry. As previously explained, the licensing process is an extremely arduous one. As stated in Mr.

Hon. Steven Kessler, Chairman and Members of the Board  
May 1, 2024  
Page 2

Laker's letter, the Applicant has made substantial progress in that process. In fact, the Applicant recently achieved a major milestone with the Westchester County Department of Community Health, which enables it to move forward with OASAS.

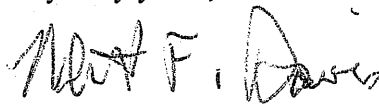
In addition, as further noted in Mr. Laker's letter, the Applicant has been heavily involved with the Westchester County Department of Health, whose approvals are needed for the Applicant's wastewater treatment and well water systems, as referenced in Condition No. 12 of the Board's Resolution.

These County and State approvals represent the most significant conditions in the Board's Resolution to be satisfied prior to the Chairman signing of the Plan and like this Board's approval, represent the necessary threshold approvals, without which the Applicant may not proceed. Accordingly, without obtaining such approvals, the meeting of any other conditions would be superfluous. The Applicant anticipates obtaining these threshold approvals within the next year and complying with the other relevant conditions within that time period as well.

Thus, we respectfully request that the Board grant the Applicant the initial one-year extension period afforded in its Resolution to and including June 7, 2025, just as it has routinely done in granting similar extensions to many other applicants.

Thank you.

Very truly yours,

A handwritten signature in dark ink, appearing to read "Robert F. Davis", written in a cursive style.

Robert F. Davis

RFD:dds  
Enclosures

c: Mr. Steven Laker

April 29, 2024

Singleton, Davis & Singleton PLLC

120 East Main Street

Mount Kisco, NY 10549

Attn: Robert Davis

RE: Hudson Ridge Wellness Center, Inc.

Dear Bob,

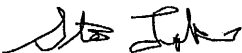
In regards to the request for a one-year extension of site development plan approval for the Hudson Ridge Wellness Center project please note the team has been progressing diligently to satisfy all conditions of approval.

Of note, after numerous community outreach efforts and subsequent support, we have recently received confirmation from Westchester County Commissioner Michael Orth that our proposed residential program and its principals can move forward and meet with NYS OASAS. As you know receiving the County directive to meet with State took an enormous effort and a significant amount of time.

We are pleased to be given the opportunity to meet with the State and respectfully ask the Town to please consider an extension on the site development plan so we can continue to satisfy all conditions including the most significant OASAS approval.

Additionally new Septic System application has been submitted to update the previously approved permits from the WCDH and NYSDEC. This new application addresses the reduced Hospital population as well as technical comments received from the Westchester County Health Department. The updated plans also address minor changes to the internal piping that were requested. We anticipate approval of the system in a month or two as the system has been reduced in size yet is in keeping with the original permit.

Thank you,

A handwritten signature in black ink, appearing to read 'Steven Laker', with a stylized flourish at the end.

Steven Laker

Representative for Hudson Ridge Wellness Center, Inc.



# TOWN OF CORTLANDT

## DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

Chris Kehoe, AICP  
Director

Planning Staff  
Michelle Robbins, AICP  
Rosemary Boyle-Lasher

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**Town Supervisor**  
Richard H. Becker, MD

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James F. Creighton  
Cristin Jacoby  
Robert Mayes  
Joyce C. White

April 2, 2024

BY EMAIL: [mmo6@westchestercountyny.gov](mailto:mmo6@westchestercountyny.gov)  
& FIRST CLASS MAIL

Mr. Michael Orth  
Commissioner  
Westchester County Department of Community Mental Health  
112 East Post Road  
White Plains, NY 10601

Re: Hudson Ridge Wellness Center

Dear Commissioner Orth:

It has recently come to my attention that the county is requesting confirmation of Hudson Ridge Wellness Center's community outreach and public engagement efforts, as part of their pending application before the Westchester County Department of Community Mental Health to establish an OASAS-licensed residential treatment program for those suffering from alcohol and drug addiction.

In response to that request, I have attached the applicable, signed resolutions of our Town's Planning Board and Zoning Board of Appeals. The dates of the public hearings and meetings related to this application, held from July 2015 through June 7, 2023, when final site plan and special permit approvals were granted, are also cited in the attached certified resolutions.

Please do not hesitate to contact me if you require any additional information regarding this matter.

Very truly yours,

*Chris Kehoe*

Chris Kehoe, AICP  
Director of Planning & Community Development



**DRAFT**

**TOWN OF CORTLANDT  
PLANNING BOARD  
PB 6-15**

**RESOLUTION NO. 11-25**

**WHEREAS**, the application for Planning Board approval of a Site Development Plan and for a Special Permit for a Hospital as per Section 307-59 (Hospital) and for a Parking Waiver as per Section 307-34.1 of the Town of Cortlandt Code was submitted by Hudson Ridge Wellness Center, Inc. for the redevelopment of the former Hudson Institute property into a hospital serving patients with chemical dependency issues as shown on an 8 page set of drawings prepared by Ralph G. Mastromonaco, P.E. latest revision dated June 2, 2023 was approved on June 6, 2023 by Planning Board Resolution 7-23, and

**WHEREAS**, the subject property of approximately 20.83 acres is zoned R-80, Single Family Residential, is located at 2016 Quaker Ridge Road East and is designated on the Town of Cortlandt Tax Maps as Section 79.11, Block 1, Lot 18, and

**WHEREAS**, by a Resolution 5-24 the Planning Board previously approved the 1<sup>st</sup>, one-year time extension, and

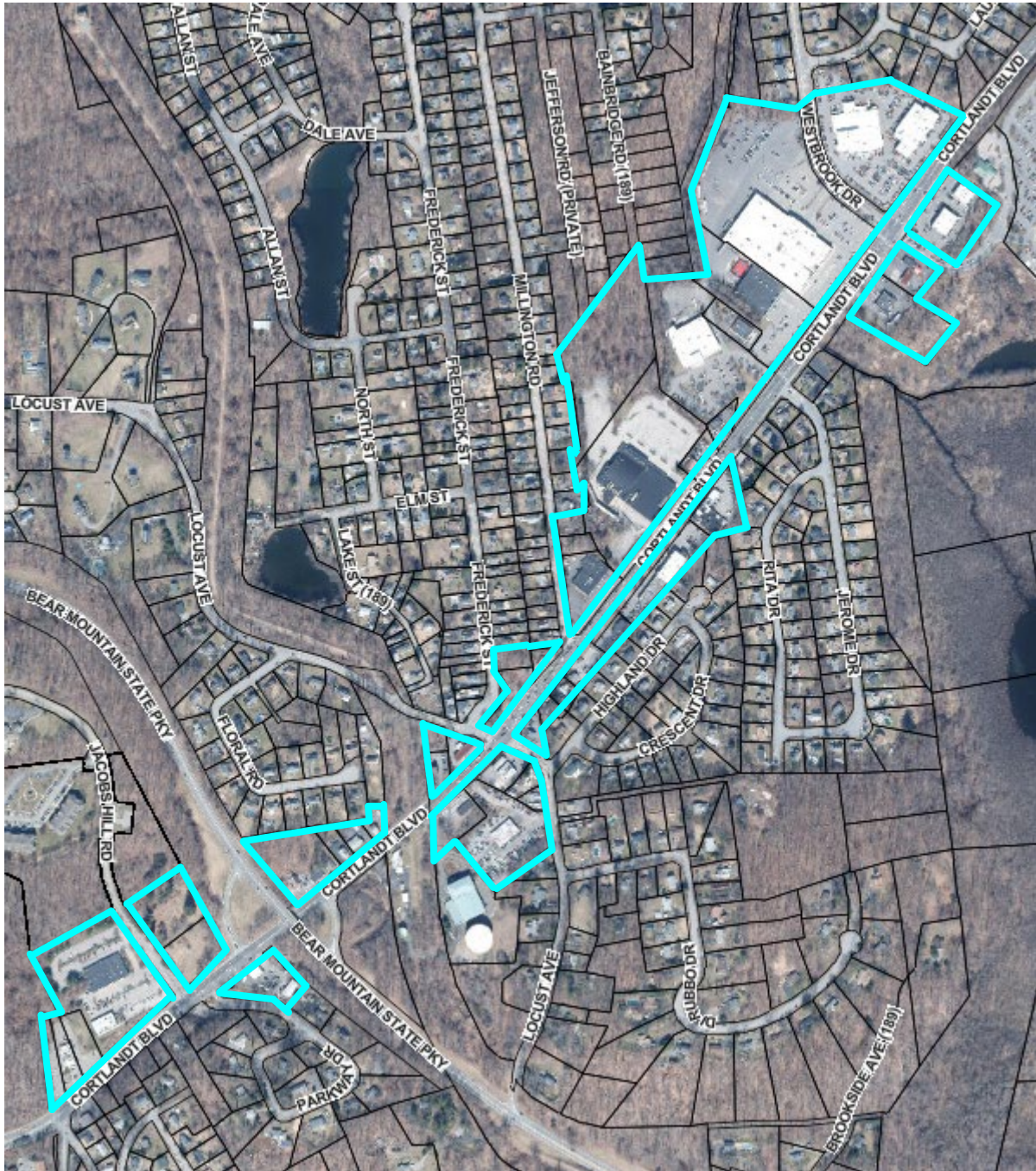
**WHEREAS**, by a letter dated April 24, 2025 Robert F. Davis, Esq. requested the 2<sup>nd</sup>, one-year time extension of the Subject Site Development Plan approval to continue working on meeting the conditions of said approval.

**NOW THEREFORE BE IT RESOLVED**, that the request of Robert F. Davis, Esq. for the 2<sup>nd</sup>, one-year time extension of Site Development Plan approval is hereby approved, said extension to expire on June 6, 2026.

**TO BE CONSIDERED FOR ADOPTION: MAY 6, 2025**

## Downtown Neighborhood Overlay

DISTRICT BOUNDARY:



 Downtown Neighborhood Overlay (DNO)

**DRAFT OVERLAY ZONING REGULATIONS:****§307-96.4 Downtown Neighborhood Overlay****A. Purpose.**

The Town of Cortlandt's 2016 comprehensive plan, *Envision Cortlandt*, outlined four key strategies for proactively addressing economic development, sustainability, climate resiliency, and energy efficiency. One of those strategies, the Cortlandt Boulevard Area (CBA), focused on ways to "strengthen the role of Cortlandt Boulevard [Route 6] as a downtown center by permitting mixed-use, compact development along the corridor and encouraging streetscape improvements, infrastructure investments, walkability, and Complete Street policies...to help strengthen this identified commercial center and create a sense of place within the Town."

The Cortlandt Boulevard Area is particularly suited for the desired type of walkable, mixed-use development in part because the existing municipal sewer infrastructure has capacity to accommodate additional development, it is a key transportation corridor in town, and it already contains an existing sidewalk network.

The Downtown Neighborhood Overlay district begins to implement this comprehensive plan strategy in certain areas along the Route 6 corridor by allowing for the inclusion of residential uses as-of-right to create the desired mix of uses, along with site layout and design requirements to encourage the transformation of this auto-oriented commercial area into a walkable neighborhood.

**B. Core Redevelopment Principles.**

- 1) Create a walkable, pedestrian-oriented neighborhood where the design of buildings, streets and amenities naturally encourages residents and visitors to "park once and walk around."
- 2) Encourage infill and redevelopment approaches that provide an engaging public realm to transform this area of auto-oriented shopping plazas and large parking lots into a walkable and bicycle-friendly neighborhood with a sense of place.
- 3) Promote the idea of a well-balanced neighborhood where residents can live, work, and shop all in close proximity, making it easier to drive less and reduce road congestion and air pollution.
- 4) Provide additional housing opportunities to create the necessary critical mass of residents that will form a basis of economic support for the creation of a successful neighborhood center.
- 5) Create an interconnected network of streets to better distribute traffic via a grid of secondary roads beyond Route 6, allowing for multiple route options to get to the same place. The grid should be made up of shorter block lengths, narrower street widths, and on-street parking to promote walking and bicycling.
- 6) Locate buildings close to the sidewalk, with parking areas to the rear or side, to minimize the visual impact of large areas of asphalt.
- 7) Incorporate placemaking design principles to transform the area from a collection of auto-oriented shopping plazas into a true neighborhood with a sense of place; include wide sidewalks, abundant street trees, pedestrian-scale lighting, buildings pulled up to the sidewalk, pocket parks, on-street parking, and an interconnected street grid.
- 8) Accommodate the automobile while also de-emphasizing its presence through the incorporation of rear parking lots located behind buildings, narrower travel lanes, and strategically sited on-street parking.
- 9) This zoning is intended to be flexible enough to support both incremental and large-scale redevelopment opportunities.

**C. District Description.** The Downtown Neighborhood Overlay (DNO) district focuses on smaller lots and groupings of lots that are poised to benefit from a local/infill level of redevelopment that can incorporate multifamily housing into a mixed-use strategy to provide housing units while supporting on-site or nearby retail opportunities.

**D. Downtown Neighborhood Overlay (DNO) Standards and Conditions.**

- 1) **Permitted Uses.** In addition to the uses permitted in the underlying zoning district in force at the time of application to the Planning Board, the following use is permitted as-of-right in the DNO:
  - a) Multifamily Dwelling
- 2) **Central Sewer and Water Infrastructure.** Any lot within the overlay that is redeveloped to include multifamily dwellings must be part of the existing water and sanitary sewer district(s), or under common ownership with and contiguous to other lots within the DNO and water/sewer district(s).
- 3) **Bulk Regulations.** The following modified bulk regulations apply to all buildings on the lot where the building contains multifamily residential. In all other instances or where not noted below, the bulk regulations of the underlying district remain in force.:
  - a) Minimum Lot Area: 20,000 square feet
  - b) Minimum Lot Width: 80'
  - c) Maximum Height: 47' (not including cornice/parapet height as per §307-96.4-D.4(h)(l)); no more than 4 stories maximum.
  - d) Maximum Ground-floor Story Height: 14'
  - e) Maximum Upper-floor Story Height: 11'
  - f) Maximum Building Length: 240'
  - g) Maximum Block Length: 400'
  - h) Maximum FY Setback (except for buildings fronting on Route 6): 12'
  - i) Maximum FY Setback (only for buildings fronting on Route 6): 30'
  - j) Minimum SY Setback: 10' where side yard abuts a non-residential zoning district
  - k) Minimum RY Setback: 10' where rear yard abuts a non-residential zoning district
  - l) Minimum Lot Area Per Dwelling Unit: 1,800 square feet
  - m) Minimum Percentage Affordable: 10%
  - n) Maximum Building Coverage: 50%
  - o) Minimum Landscape Coverage: 10%
  - p) Maximum Building Floor Area: n/a
  - q) Parking: Off-street parking for multifamily residential uses in the overlay should include 1.5 spaces per unit. Shared parking strategies can be employed to allow for a reduction in the overall number of parking spaces for all uses on a lot.
- 4) **Design Principles.** Where multifamily residential is developed either exclusively or as part of a mixed-use project within this overlay, the following design principles apply:
  - a) To promote a more vibrant, integrated downtown neighborhood, a mix of multifamily residential and permitted non-residential uses is encouraged in the DNO. Uses may be vertically mixed within the same building, or provided in different structures on the same lot.

- b) Where a vertical mix of uses is proposed within the same building:
  - I. The ground-floor frontage facing a public street should include non-residential uses. Buildings with ground-floor non-residential shall have ground-floor architectural articulation such as storefronts with a secondary cornice and architecturally emphasized entrance doorways, and an overall façade pattern that differentiates between the base, middle, and top of the building.
  - II. The rear portion of the ground floor may contain dwelling units if fully separated internally from the non-residential uses.
  - III. Access to dwelling units located to the rear and/or above the street level must be provided from an enclosed lobby or corridor and stairwell. A person entering a dwelling unit from the ground floor must not pass through the non-residential use located on the first floor of the building. Unenclosed or partially enclosed exterior stairwells are prohibited.
  - IV. There shall not be any non-residential uses above a floor that contains dwelling units.
- c) Where residential uses extend to the ground floor facing a public or internal street, appropriate transitions between the public and private realms shall be incorporated to ensure the streetfront is activated while maintaining an appropriate level of privacy for residents. Provision of a transitional 6- to 10-foot building setback from the public sidewalk is preferred where lot depth allows, in conjunction with additional techniques where possible such as:
  - I. Raise the ground floor of the building 3-5 feet above the adjacent sidewalk grade.
  - II. Incorporate a planting strip (flush or raised) for a minimum of the outer 2 feet of the setback, along the property line.
  - III. Provide landscaping within the setback, either at grade or layered at varied levels.
  - IV. Incorporate a railing or fencing to help distinguish between the public and private realms; all such railings/fencing shall be no more than 3'-6" in height and shall be a minimum of 75% transparent for any portion of the height above 2'.
- d) All projects shall include a robust sidewalk network, street trees, landscaping, lighting, and other such pedestrian and public amenities to foster a vibrant, walkable neighborhood. Sidewalks along ground-floor non-residential uses and those connecting to interior parking areas shall be a minimum of 12 feet wide.
- e) Except for on-street parking, parking and vehicular circulation should be located to the side/rear of the front building line of any building that fronts on Route 6 to the maximum extent practicable, and shall be located to the side/rear of the front building line of any buildings fronting on any public/internal street other than Route 6. Parking areas shall be visually de-emphasized from the public street frontage.
- f) The Town prioritizes extension of an interior street grid to improve traffic distribution between properties in order to reduce local trip reliance on Route 6. Where opportunities are identified to create and/or improve the street grid, new interior street connections shall be pursued. Where such connections are not yet feasible, as determined by the Planning Board, the arrangement of buildings, streets, and other site design elements shall not preclude such future connections. Every effort should be made to achieve an average block perimeter of no more than a quarter mile.
- g) Street design should comply with the following standards:
  - I. Lane width: 10'-11'



- II. Curb radius at intersections in mixed-use blocks: 15'-25'
  - III. Curb radius at intersections in residential blocks: 10'-20'
  - IV. On-street parking width: 7'-8'
  - V. Sidewalk widths: 5'-8' in residential-only areas, 12'-20' in mixed-use areas
- h) Per §168 of the Town Code, projects shall contribute to a recreation fund to support the creation of quality public spaces appropriate in scale and function to the overall neighborhood, versus on a site-by-site basis, unless the Town determines that provision of outdoor recreation can be adequately provided for on the same lot being redeveloped.
- i) Additional architectural design principles.
- I. Flat roofs with decorative cornices and/or parapets are required on buildings of three or more stories. Such buildings shall have cornice or top-floor edge features, which may extend up to 42" above the main roofline; the height of the cornice/parapet features shall not be included in the overall building height calculation.
  - II. Where a 4-story building is proposed, top-floor setbacks may be considered along any façade facing a public or internal street.
  - III. Unnecessarily complicated architectural designs should be avoided in favor of simple, classic proportioning that highlights the horizontal organizing principle of base/middle/top and applies appropriate vertical organization. Excessive variations to rooflines and building facades should be avoided.
  - IV. Storefronts for nonresidential uses should maximize the allowable ground-floor height of 14' where possible, with the architectural treatments of the storefront extending up to avoid blank façade areas below the second-floor cornice line.
  - V. Except for ground-floor nonresidential storefront spaces, window proportions should be vertical in nature (taller rather than wider).
  - VI. Mechanical systems, vent pipes, elevator shafts, antennas, roof decks and/or gardens, solar collectors, and other rooftop accessory structures may project up to 15 feet above the maximum height. With the exception of roof decks and solar collectors, such projections shall occupy no more than 20% of the roof area and must be set back at least 15 feet from the front edge of the roof.
- j) Signage for ground-floor nonresidential storefronts in buildings containing multifamily residential.
- I. Allowed sign types are projecting, wall, and/or window.
  - II. Per storefront, a maximum total permanent sign area of one (1) square foot per 2 lineal feet of storefront, up to a maximum of 20 square feet.
  - III. Storefront signage shall be nonilluminated or externally illuminated. Internal illumination of storefront signage is prohibited.
- k) Signage per lot. Each lot redeveloped to include multifamily residential is permitted one (1) freestanding sign not to exceed 16 square feet in area and six (6) feet in height.

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**§307-5.A**

Add: DNO Downtown Neighborhood Overlay

**§307-5.I**

Add: Downtown Overlay District. The DNO District is a mapped overlay district including portions of the Designed Commercial (CD) and Highway Commercial (HC) districts along Route 6 (Cortlandt Boulevard) between the City of Peekskill border to just east of Westbrook Drive.

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For mapping (and maybe the local law lists these somewhere...?), parcels to be included are:

23.20-1-7  
23.20-1-6  
23.20-1-5  
23.20-1-4  
23.20-1-3  
23.20-1-2  
23.20-3-13  
23.20-2-10  
23.20-2-9  
23.20-2-8  
23.20-2-7  
24.17-2-14  
24.17-2-13  
24.17-2-6  
24.17-2-5  
24.17-2-4  
24.17-2-3  
24.17-2-2  
24.17-2-1  
24.13-1-24  
24.13-1-23  
24.13-1-22  
24.13-1-21  
24.13-3-42  
24.13-3-43  
24.13-3-45  
24.13-3-47  
24.13-3-50  
24.13-3-55  
24.13-3-1  
24.13-2-10  
24.13-2-11  
24.13-2-12  
24.13-2-9  
24.13-2-8  
24.13-2-7

24.13-2-4  
24.13-5-3  
24.13-5-2  
24.13-5-1  
24.9-5-30  
24.9-3-42  
24.9-4-3  
24.9-4-2  
24.9-4-1

DRAFT



April 21, 2025

Town of Cortlandt  
Chris Kehoe, AICP, Director, Department of Planning & Community Development  
Cortlandt Town Hall  
1 Heady Street  
Cortlandt Manor, NY

Subject: Walmart Store #2531 Mohegan Lake, NY – Exterior Storage

Dear Mr. Kehoe,

On behalf of the applicant, Walmart Stores Inc., Colliers Engineering & Design is pleased to submit the following items for Site Plan Amendment. The proposed site improvements to the Walmart Store #2531 located at 3133 E Main Street, Mohegan Lake, NY 10547 is for the use of exterior storage to help meet operational and seasonal inventory demands. This location does not have the same backroom storage capacity as a Supercenter, which creates significant constraints during periods of increased product volume. To address this, Walmart is requesting approval to place three (3) 52-foot storage containers on-site year-round, with an additional ten (10) containers to be temporarily placed between October and February to accommodate peak holiday inventory. In addition, the store is requesting approval for up to 150 pallets of bagged seasonal goods (such as mulch and soil) to be displayed on-site from March through August, consistent with prior operational needs.

The proposed permanent exterior storage containers have resulted in a decrease of 6 overall parking spots as seen in the table provided on the attached exhibit. The parking analysis table calculates the square footage of the entire owned parcel. The overall parking spot count on site will change from 1,798 to 1,792. The existing parking ratio is 5.03, which will change to 5.00. We do not anticipate a variance for parking space count or ratio. This proposed solution is designed to support the store's ability to meet customer demand while ensuring a clean, orderly, and code-compliant approach to exterior storage. Walmart is committed to maintaining site aesthetics, safety, and compliance with local regulations, and will work closely with the Town of Cortlandt to ensure that all storage units and pallet displays are appropriately sited and maintained. This approach allows the store to better serve the community's needs during critical retail seasons without creating long-term impacts to site layout, parking, or circulation.

Digital copies of the following are included:

- Letter of Intent
- Application

- Check for fees in the amount of \$250, mailed directly
- Civil Drawings –
  - CP-1 Exterior Storage Exhibit

We request that we be placed on the next planning meeting on May 6, 2025. We kindly ask that a copy of any posted publications for this project and any meeting agendas prepared prior to the meeting be forwarded for review. If you have any questions or require additional information, please contact me at 585-498-7850 or [justin.lattierre@collierseng.com](mailto:justin.lattierre@collierseng.com), or Marah MacKenzie at (585) 498-7912 or [marah.mackenzie@collierseng.com](mailto:marah.mackenzie@collierseng.com).

Sincerely,

A handwritten signature in black ink, appearing to read 'Justin Lattierre', with a stylized, cursive script.

Justin Lattierre  
Geographic Discipline Leader, Civil/Site







April 24, 2025

**Via Electronic Submission**

Hon. Steven Kessler  
Chairman of the Town of Cortlandt Planning Board  
and Members of the Planning Board  
1 Heady Street  
Cortlandt Manor, NY 10567

***Re: Yeshiva Ohr Hameir - Site Plan Application  
141 Furnace Woods Road  
Tax Lot 44.12-1-3***

Dear Chairman Kessler and Members of the Planning Board:

As you know, our firm, together with Ciarcia Engineering, P.C., Tim Miller Associates, and Weisz Architects, represents Yeshiva Ohr Hameir (the “Yeshiva”), located at 141 Furnace Woods Road. We write to make a formal application to amend and/or issue a Site Plan Approval and Special Permit, which was previously granted by your Board. In connection with our application, we respectfully request placement on your Board’s May 6, 2025 agenda.

This Application involves the creation of a new building for classrooms and dormitory space, the renovation of staff housing, and an expansion of the sanctuary. In addition to amending the Site Plan and Special Permit, we are also seeking a Wetland Permit, since the expansion of the sanctuary extends into the wetland buffer. All of this is being done to improve the functionality and aesthetics of the Yeshiva campus.

In connection with these improvements, the Yeshiva will be connecting to the municipal sewer system. Currently, the Yeshiva is served by a challenged, decades-old septic system. The Yeshiva is working with the Town to create a sewer infrastructure that will serve the Yeshiva and approximately 135 other parcels. As a result, the Yeshiva need no longer be governed by a student cap of 225, and wishes to modify condition 4 of the 2012 resolution. For lawful occupancy, the Yeshiva does not believe it should be limited by any factors other than relevant fire code, building code, parking requirements, and other applicable codes affecting the usable space. It is critical to realize that but for the Yeshiva’s improvements and contribution, the new sewer line, which will potentially serve and benefit 135 parcels, would not have been possible.

Overall, the changes being made will greatly improve the functionality and aesthetics of the site, and will also result in a much-needed improvement to the sewer infrastructure that will benefit not only the Yeshiva, but also many residents of the Town of Cortlandt. The improvements

are necessary so that the Yeshiva can continue to provide a safe and pleasant place for students of the Jewish faith to study and celebrate religious occasions and holidays in the Town of Cortlandt.

We are filing the following documents with your Board:

- Amended Site Plan drawings, prepared by Ciarcia Engineering, P.C., dated April 18, 2025;
- Wetlands Report, prepared by Tim Miller Associates, dated April 24, 2025;
- Short EAF, prepared by Tim Miller Associates, dated April 24, 2025;
- Elevations and Floor Plans, prepared by Weisz Architects, dated April 23, 2025.

The application fees of \$7,759.50 for site plan, \$500.00 for special permit, as well as an escrow fee of \$20,000.00 have been paid to the Town.

If you have any questions, please do not hesitate to contact me. We look forward to appearing before your Board at the May 6, 2025 meeting and to making these exciting improvements a reality. Thank you for your consideration.

Respectfully Submitted,

ZARIN & STEINMETZ LLP

By:



David S. Steinmetz  
Vincent M. Pedone

Encls.

cc: *(via e-mail)*

Yeshiva Ohr Hameir  
Chris Kehoe, AICP  
Michael Cunningham, Esq.  
Dan Ciarcia, P.E.  
Steve Marino  
Chana Weisz

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:			State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <span><input type="checkbox"/> Urban</span> <span><input type="checkbox"/> Rural (non-agriculture)</span> <span><input type="checkbox"/> Industrial</span> <span><input type="checkbox"/> Commercial</span> <span><input type="checkbox"/> Residential (suburban)</span> </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <span><input type="checkbox"/> Forest</span> <span><input type="checkbox"/> Agriculture</span> <span><input type="checkbox"/> Aquatic</span> <span><input type="checkbox"/> Other(Specify):</span> </div> <div style="margin-top: 5px;"><input type="checkbox"/> Parkland</div>				

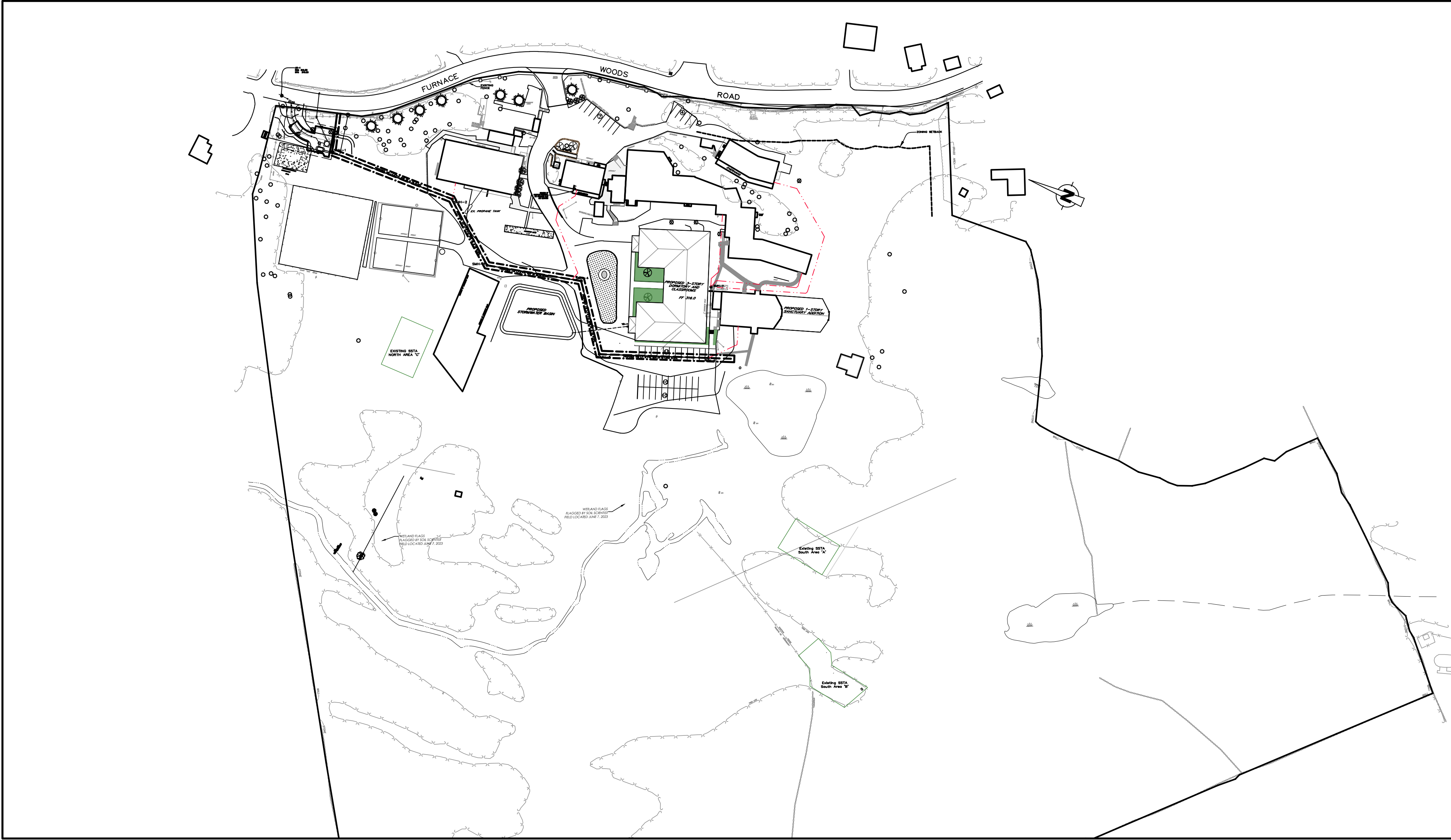
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>	N/A  <input type="checkbox"/>  <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO  <input type="checkbox"/>	YES  <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO  <input type="checkbox"/>	YES  <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO  <input type="checkbox"/>  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>  <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO  <input type="checkbox"/>	YES  <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO  <input type="checkbox"/>	YES  <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO  <input type="checkbox"/>	YES  <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest    Agricultural/grasslands    Early mid-successional Wetland <input type="checkbox"/> Urban    Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: _____ Date: _____  Signature: _____ Title: _____		



# YESHIVA OHR HAMEIR PROPOSED DORMITORY & SANCTUARY ADDITION

APRIL 18, 2025



OWNER:  
YESHIVA OHR HAMEIR  
141 FURNANCE WOODS ROAD  
CORTLANDT MANOR, NY 10567

SITE ENGINEER:  
CIARCIA ENGINEERING, P.C.  
360 UNDERHILL AVENUE  
YORKTOWN HEIGHTS, NY 10598  
(914) 245-0123

ATTORNEYS:  
ZARIN & STEINMETZ  
81 MAIN STREET  
WHITE PLAINS, NY 10601  
(914) 682-7800

SURVEYOR:  
BADEY & WATSON, Surveying & Engineering, P.C.  
81 MAIN STREET  
WHITE PLAINS, NY 10601  
(845) 265-9217 (845) 265-4428 (Fax)

ENVIROMENTAL CONSULTANT:  
TIM MILLER ASSOCIATES, INC.  
10 NORTH STREET  
COLD SPRINGS, NY 10516  
(845) 265-4400



UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS  
DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE  
NEW YORK STATE EDUCATION LAW.

















UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS  
DRAWING IS A VIOLATION OF SECTION 17209 (2) OF THE  
NEW YORK STATE EDUCATION LAW.



SCALE: 1"=40'

AMMENDED SITE PLAN  
Prepared For  
YESHIVA OHR HAMEIR

EROSION CONTROL PLAN

CIARCIA ENGINEERING, P.C.  
380 UNDERHILL AVENUE  
YORKTOWN HEIGHTS, NY 10598  
(914) 245-0123

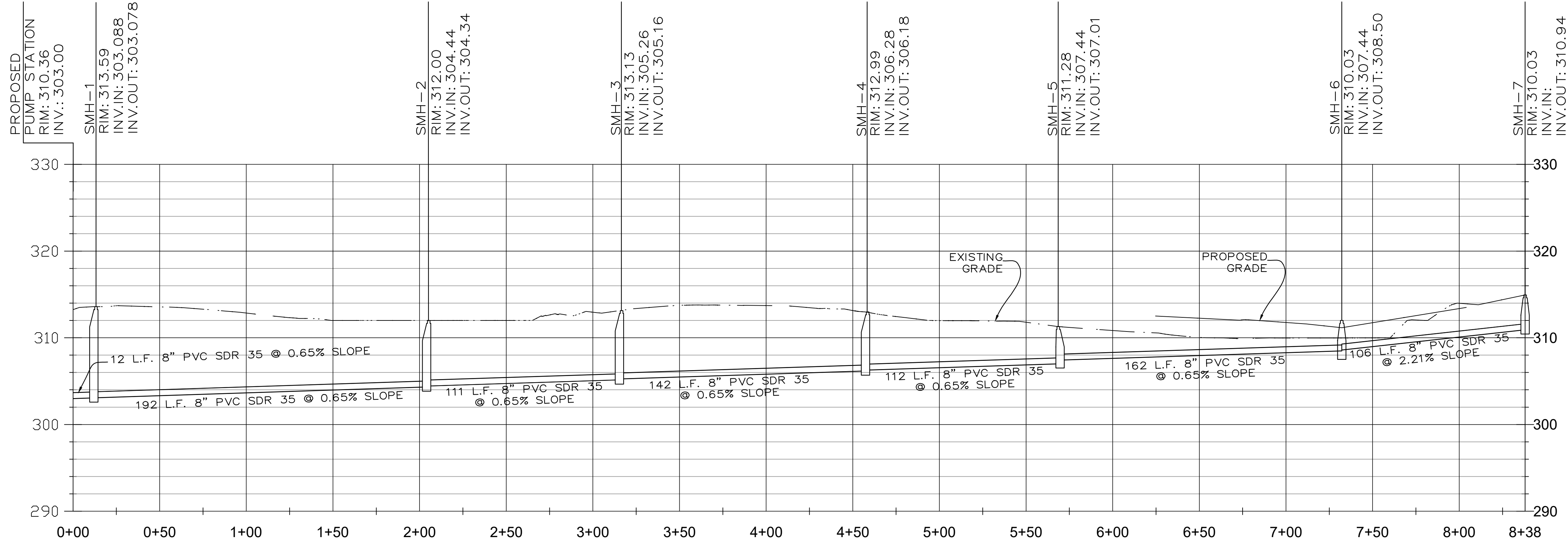


SHEET NUMBER  
**59**  
1 MISC. REVISIONS 4-18-25  
ORIGINAL DATE: 3/4/2024  
PROJECT NUMBER:





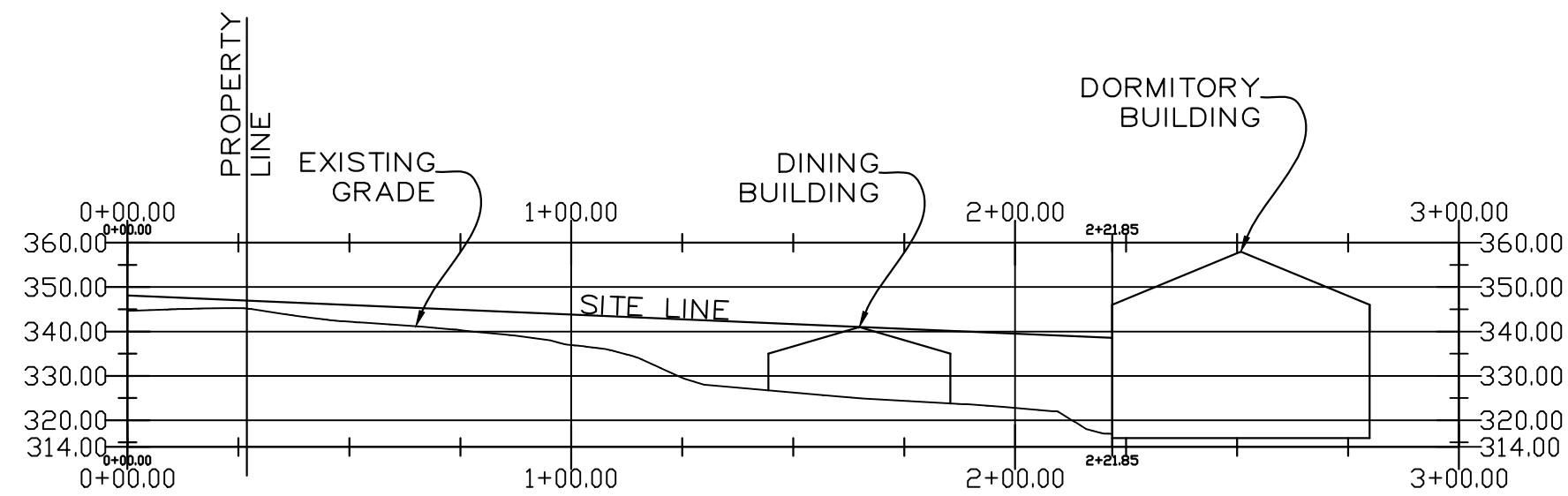
SCALE: 1"=40'



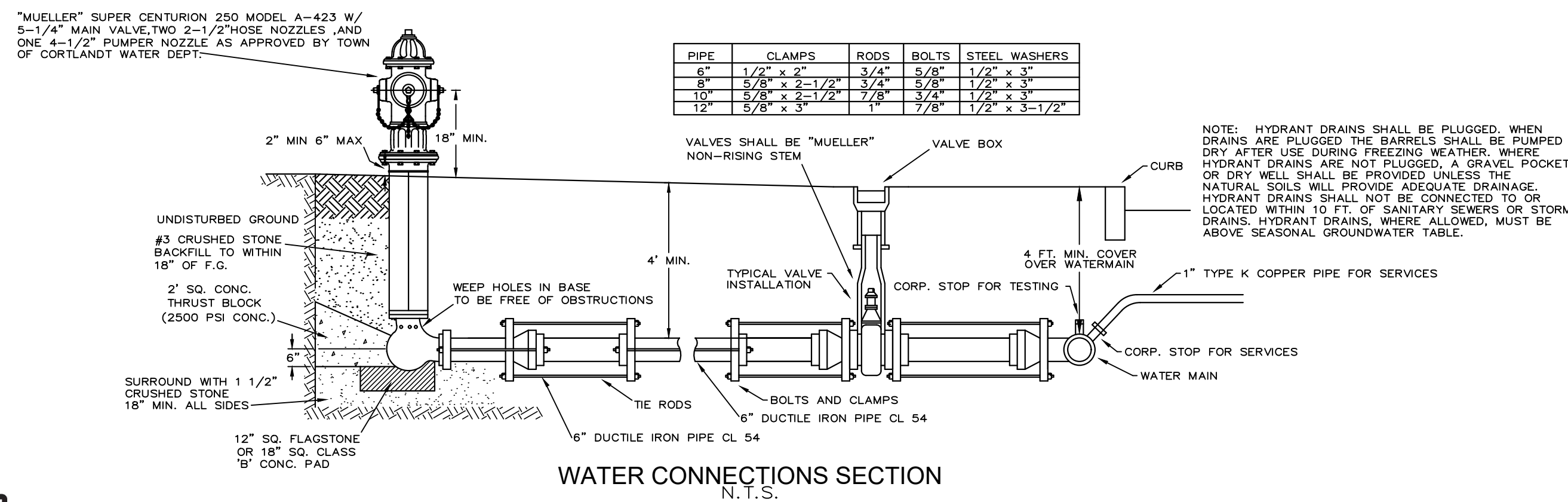
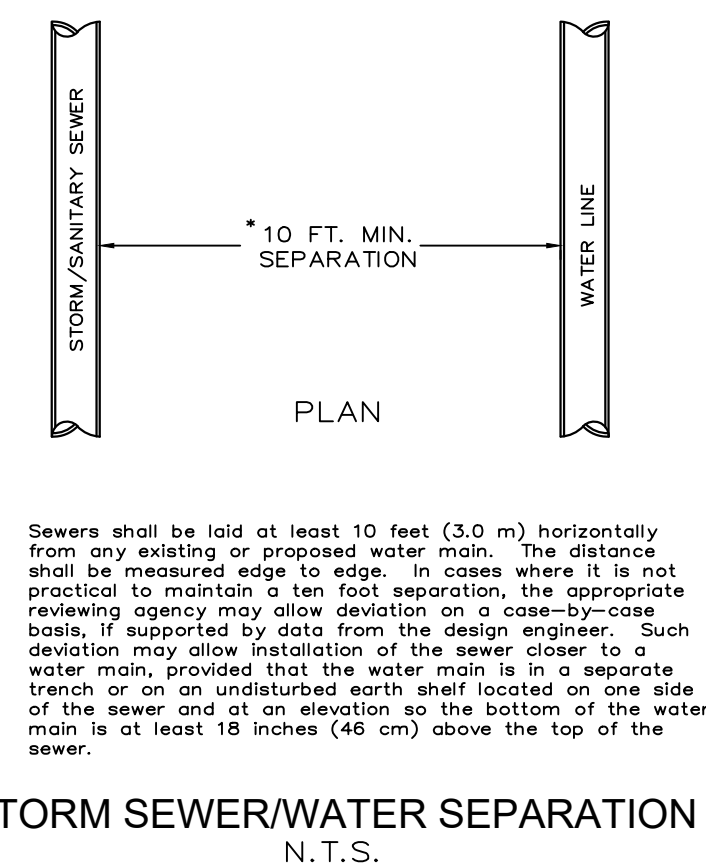
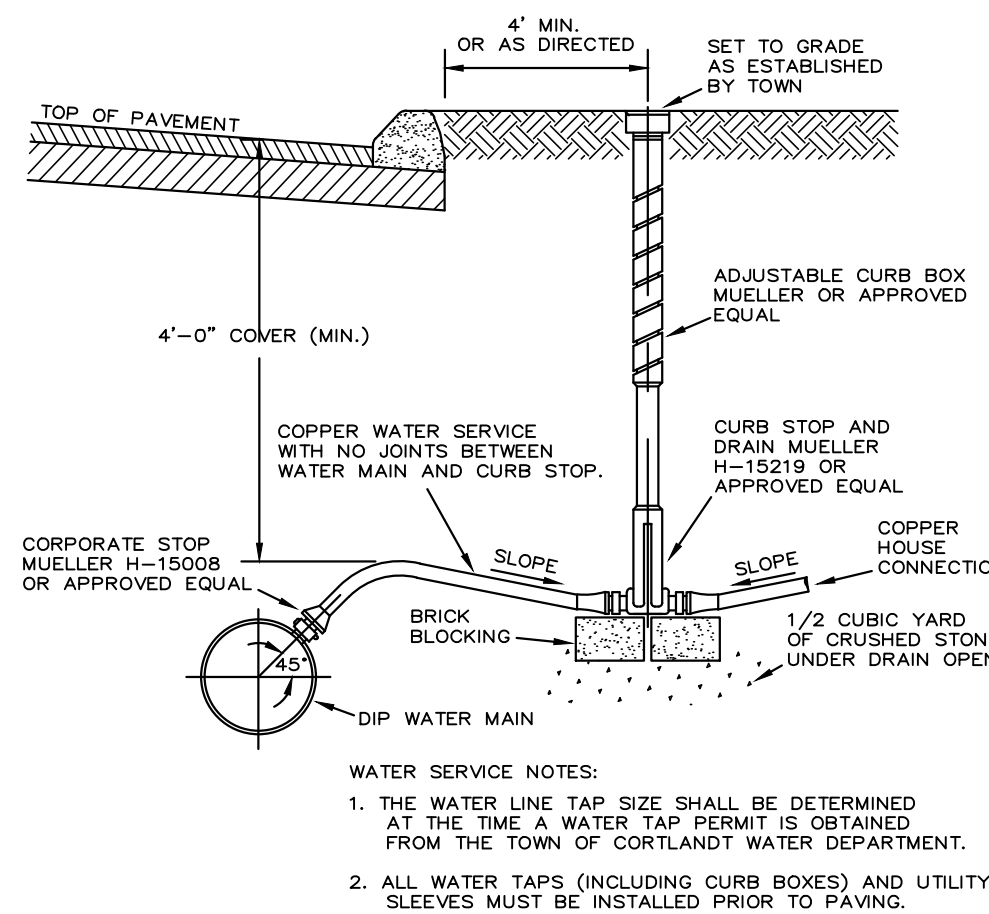
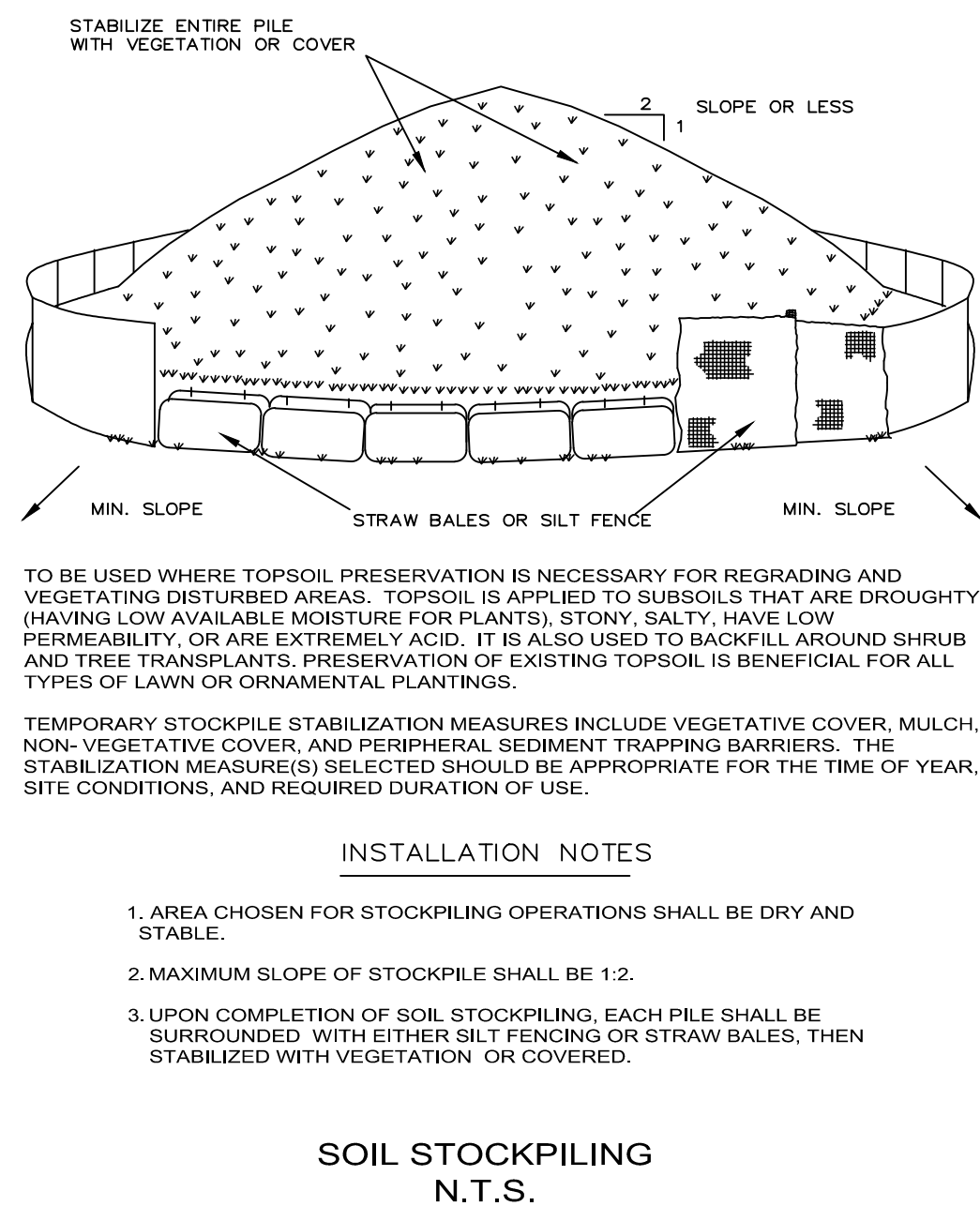
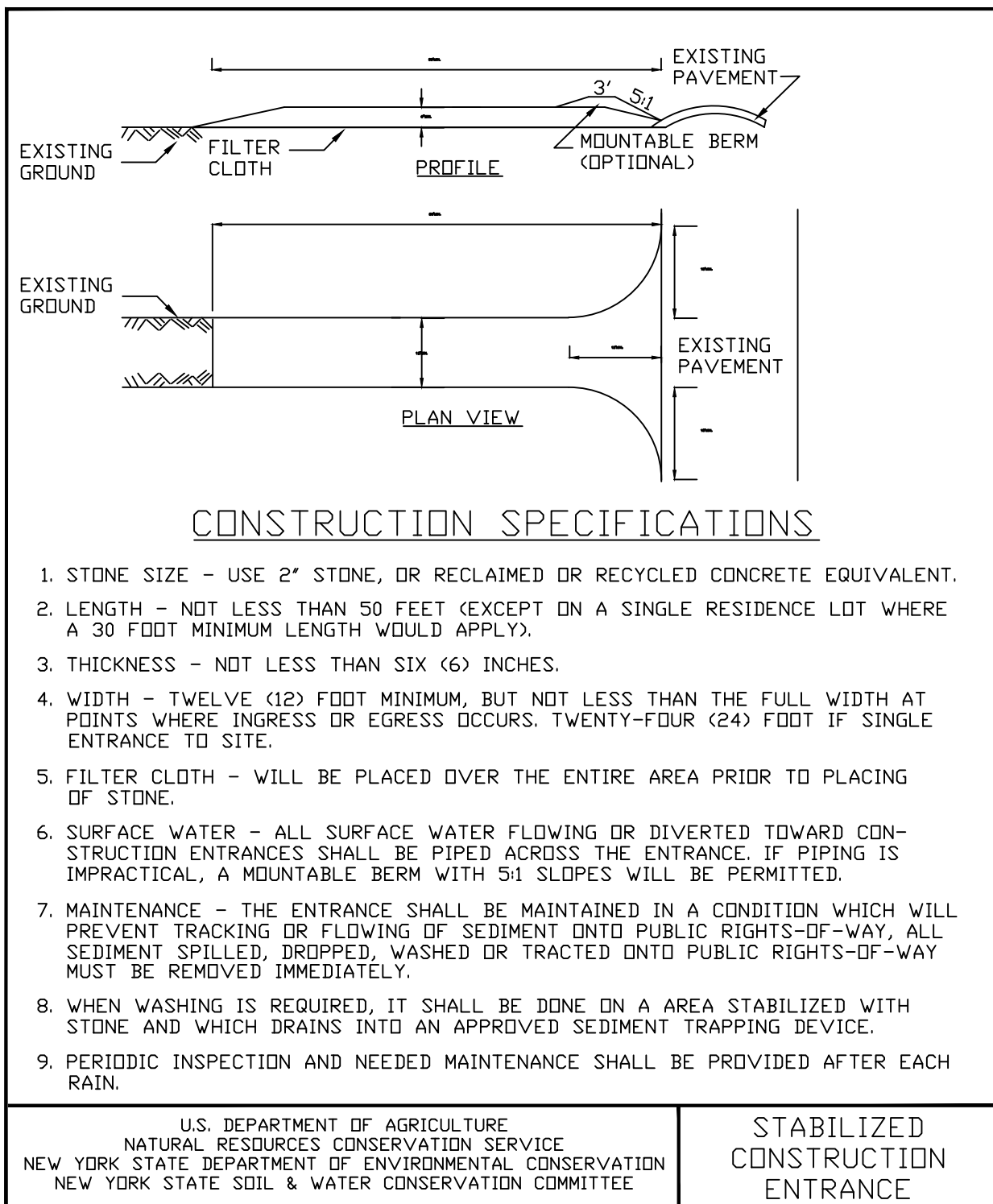




SCALE: 1"=40'







6. TESTING OF THE MANHOLES WITH THE PIPELINE SHALL NOT BE PERMITTED. MANHOLES & SANITARY SEWER LINES SHALL BE TESTED INDEPENDENTLY OF EACH OTHER
7. MANHOLES & SANITARY SEWER LINES SHALL BE TESTED TO CONFORM WITH WESTCHESTER COUNTY DEPARTMENT OF HEALTH RULES & REGULATIONS IN THAT THE INFILTRATION/EXFILTRATION SHALL NOT EXCEED ONE HUNDRED (100) GALLONS/INCH DIAMETER OF PIPE/MILE/DAY.
8. AIR & VACUUM TESTING MAY BE PERFORMED ON THE SANITARY SEWER LINES AND MANHOLES IN LIEU OF HYDROSTATIC TESTING. AIR TESTING OF THE SANITARY SEWER LINES SHALL BE IN ACCORDANCE WITH ASTM F1417-92 STANDARD TEST METHOD FOR INSTALLATION AND LEAKAGE OF RIGID POLYETHYLENE SEWER LINE USING LOW-PRESSURE AIR @ VACUUM TESTING OF THE MANHOLES SHALL BE IN ACCORDANCE WITH THE LATEST RELEASE OF ATTACHMENT B AVACUUM TESTING OF MANHOLES. MANHOLES & WESTCHESTER COUNTY DEPARTMENT OF HEALTH.
9. ALL REQUIRED APPROVALS BY GOVERNING AGENCIES SHALL BE PROVIDED TO THE TOWN OF CORTLANDT PRIOR TO THE START OF CONSTRUCTION.
10. THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ACQUIRING SUPERVISION OF THE CONSTRUCTION OF THE SANITARY SEWER MAIN SYSTEM BY A PERSON OR FIRM QUALIFIED TO PRACTICE PROFESSIONAL ENGINEERING IN THE STATE OF NEW YORK.
11. THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR PROVIDING THREE (3) COPIES OF AS-BUILT DRAWINGS AND ONE (1) MYLAR SIGNED AND SEALED BY A LICENSED NEW YORK LAND SURVEYOR AND A COPY OF THE AS-BUILT PLAN IN AUTOCAD RELEASE TO THE TOWN OF CORTLANDT AT THE COMPLETION OF CONSTRUCTION.
12. COPIES OF ALL CERTIFICATIONS, TESTING RESULTS, COMPLETED WORKS, ETC. SHALL BE PROVIDED TO THE TOWN OF CORTLANDT AT THE COMPLETION OF CONSTRUCTION.

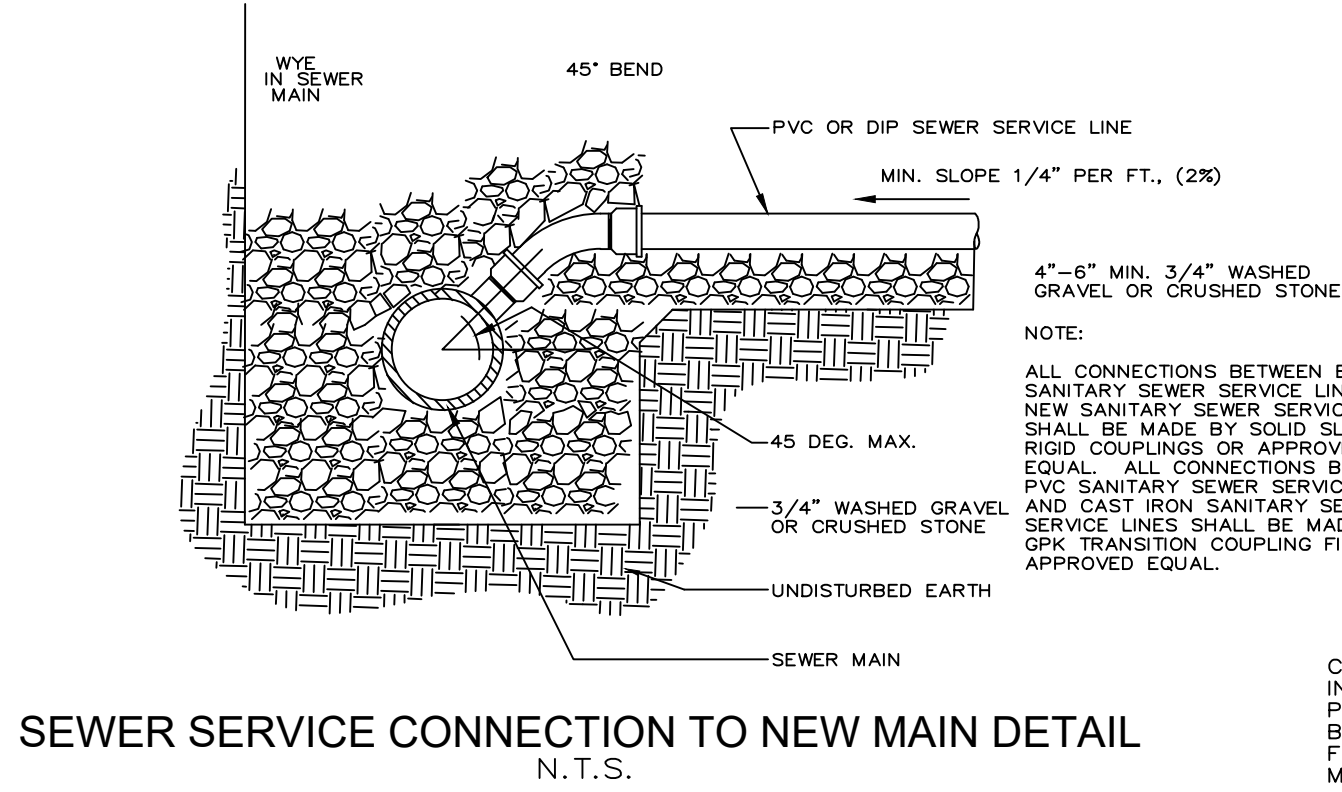
1. ALL METHODS, MATERIALS, FITTINGS, DEVICES, DIMENSIONAL REQUIREMENTS AND PROCEDURES NECESSARY TO COMPLETE THE WORK SHOWN HEREON SHALL MEET THE APPROPRIATE CURRENT AWWA SPECIFICATIONS IN EFFECT AS WELL AS ALL REQUIREMENTS AND STANDARDS ADOPTED BY THE WESTCHESTER COUNTY HEALTH DEPARTMENT OR ANY OTHER GOVERNMENTAL BODY HAVING JURISDICTION OVER SAID WORK.
2. ALL WATER MAIN PIPE SHALL BE 8" CEMENT LINED, TYTON JOINT CLASS FIFTY-FOUR (54) DUCTILE IRON PIPE. ALL MECHANICAL JOINT FITTINGS TO THE WATER MAIN SHALL BE RETAINER CLANDS AND TULZE TWO BRONZE WEDGES PER JOINT.
3. ALL PIPE FITTINGS SHALL BE DUCTILE IRON UNLESS NOTED OTHERWISE. NO COMPACT FITTINGS SHALL BE USED.
4. ALL GATE VALVES SHALL BE "MUELLER" OR APPROVED EQUAL, IRON BODY, RESILIENT WEDGE, NON-RISING ITEM-CONVENTIONAL OPENING, BOLTZ MOUNTED, DOUBLE END, TWO WORKMECHANICAL JOINT CONNECTIONS. OPENING SHALL BE LEFT (CCW) AND OPERATION SHALL BE BY 2" SQUARE WRENCH NUT. MINIMUM WORKING PRESSURE SHALL BE 200 PSI.
5. ALL VALVE BOXES SHALL BE TWO-PIECE SLIDING BUFFALO TYPE SET IN AN BRICK BLOCK POSITIONED PERPENDICULAR TO THE PIPE AND ON ONE COMPLETED BACKFILL.
6. ALL CHANGES IN PIPE LINE DIRECTION, BOTH HORIZONTAL AND VERTICAL SHALL BE TIE-RODDED AND THRUST BLOCKED WITH CONCRETE AGAINST UNDISTURBED EARTH AS DIRECTED BY THE ENGINEER. THRUST BLOCKS SHALL BE AS PER TOWN OF CORTLANDT.
7. ALL FIRE HYDRANTS SHALL BE "MUELLER" CENTURIUM WITH SAFETY BREAK-AWAY FLANGE, 3-WAY, OPENING LEFT (CCW). THE PUMPER NOZZLE SHALL BE 4 1/2", THE TWO HOSE NOZZLES SHALL BE 2 1/2".
8. WHERE WATER MAIN CROSSES BELOW A CULVERT OR OTHER CONDUIT, CONCRETE SUPPORT BLOCKS SHALL BE PLACED ON BOTH SIDES OF THE WATER MAIN TO ELIMINATE ANY IMPOUNDING LOADING ON WATER MAIN FROM THE CULVERT OR OTHER CONDUIT.
9. FLUSH OUT ALL WATER MAINS AND APPURTENANCES AS DIRECTED BY THE ENGINEER UNTIL THE WATER RUNS CLEAN AND FREE OF RUST, SAND AND DIRT. THE SIZE OF ALL LEAKS AND APPURTENANCES FOR FORTY-EIGHT (48) HOURS, OR AS DIRECTED BY THE ENGINEER, TO REVEAL ANY LEAKS OR BROKEN PIPE. THIS SHALL ALL BE DONE EITHER AS A TOTAL PROJECT OR BETWEEN VALVED SECTIONS AS DIRECTED BY THE ENGINEER. IF PRESSURE TESTING REVEALS ANY LEAKS OR DIFFICULTIES, THE CONTRACTOR SHALL PROMPTLY REPAIR, RE-TEST, OR REPLACE AND IMMEDIATELY REPAIR AND RE-TEST SAME. THIS SHALL BE REPEATED AS MANY TIMES AS MAY BE REQUIRED TO DEMONSTRATE A TIGHT LINE TO THE SATISFACTION OF THE ENGINEER. THE NEW WATERMAIN AND APPURTENANCES SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF CITY AND WESTCHESTER COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS.
10. WESTCHESTER COUNTY DEPARTMENT OF HEALTH MUST BE NOTIFIED FORTY-EIGHT (48) HOURS PRIOR TO PRESSURE TESTING.
11. ALL WATER MAINS AND APPURTENANCES SHALL BE DISINFECTED TO THE SATISFACTION OF THE ENGINEER AND TO CONFORM WITH THE STANDARDS OF THE WESTCHESTER COUNTY DEPT. OF HEALTH. THIS SHALL ALSO BE DONE IN ACCORDANCE WITH AWWA C651-99. (OR LATEST EDITION) EXCEPT THAT THE PROCEDURE IN SECTION 4.4.2 WILL NOT BE ALLOWED. RESULTS FROM A MINIMUM OF TWO (2) BACTERIOLOGICAL TESTS TAKEN TWENTY-FOUR (24) HOURS APART ARE REQUIRED TO BE SUBMITTED TO WCDOP. PRIOR TO CERTIFICATION OF CONSTRUCTION. RESULTS MUST BE ACCEPTED BY WCDOP PRIOR TO USE OF MAIN.
12. NEW HYDRANT DRAINS SHALL BE PLUGGED AT LOCATIONS WHERE THE GROUND WATER TABLE IS WITHIN 7 FEET OF FINISHED GRADE. AT EACH LOCATION HYDRANT BARRELS SHALL BE PUMPED DRY AFTER EACH USE.
13. THE CONTRACTOR SHALL NOTIFY THE CORTLANDT CONSOLIDATED WATER DISTRICT 48 HOURS PRIOR TO COMMENCING WORK ON THEIR UTILITIES FOR WATER SHUTDOWNS.
14. ANY RESIDED AS AFFECTED BY WATER SHUTDOWNS SHALL BE NOTIFIED BY THE CONTRACTOR, IN WRITING A MINIMUM OF 24 HOURS PRIOR TO SHUTDOWNS. NOTICE SHALL INCLUDE APPROXIMATE TIME SHUTDOWN WILL BEGIN AND THE LENGTH OF THE SHUT DOWN.
15. A 10 FT. (MIN.) SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER AND ALL UTILITIES, WHERE PRACTICABLE.
16. A MINIMUM COVEROF 4'-0" SHALL BE MAINTAINED OVER THE WATERMAIN
17. TWO (2) BRONZE WEDGES SHALL BE INSTALLED AT EVERY WATERMAIN JOINT.
18. A HYDRANT LOG TEST WAS CONDUCTED BY DANIEL CIARCIA, P.E. AND STAFF FROM THE CORTLANDT CONSOLIDATED WATER DISTRICT ON APRIL 14, 2011. A STATIC PRESSURE OF 117 PSI WAS OBSERVED AT THE HYDRANT LOCATED JUST WEST OF THE PROPOSED NEW CONNECTION. THE HYDRANT FLUSH TEST CONFIRMED ADEQUATE CAPACITY IS AVAILABLE TO SERVE THE PROPOSED SUBDIVISION.



Know what's below.  
Call before you dig.

YESHIVA OHR HAMEIR

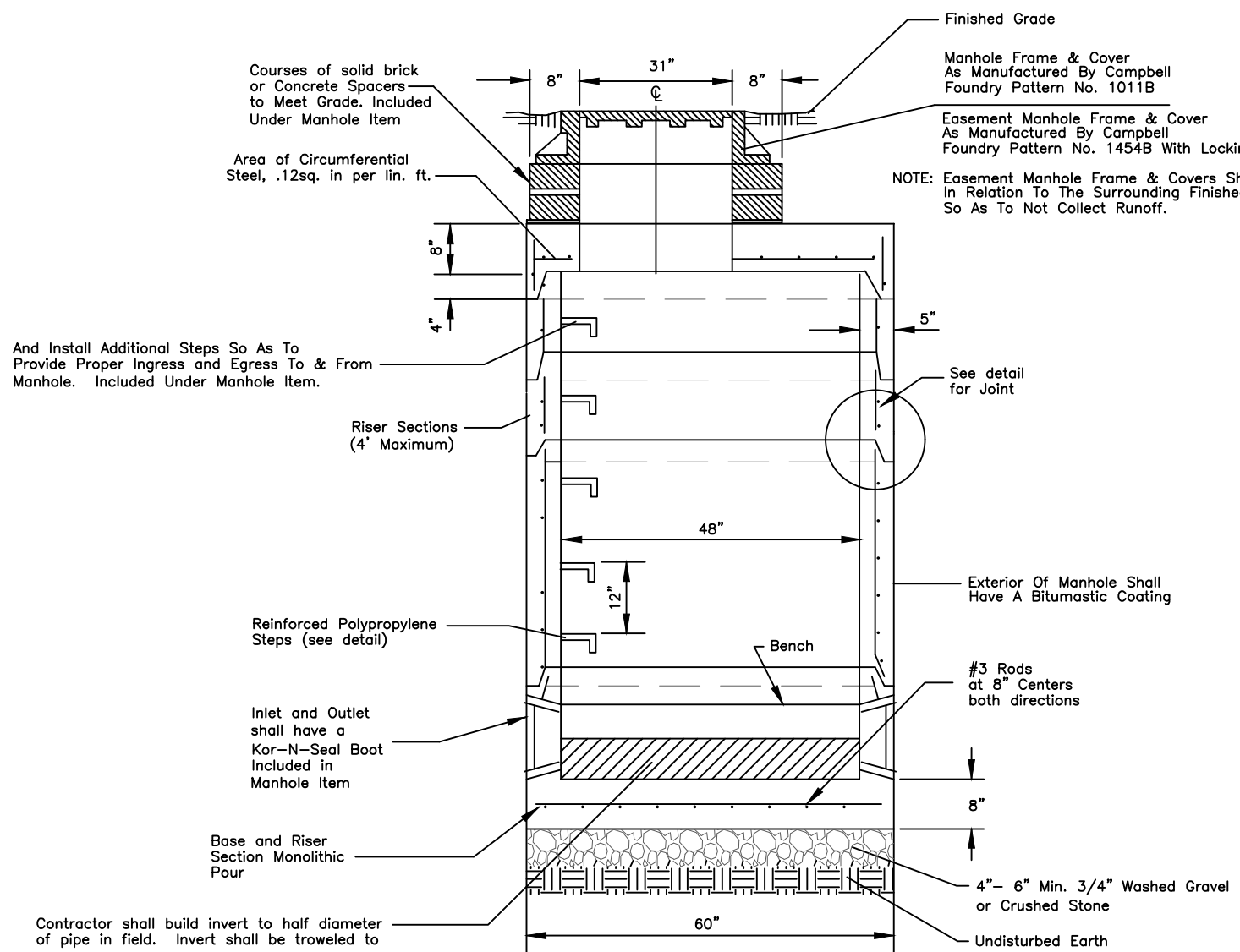




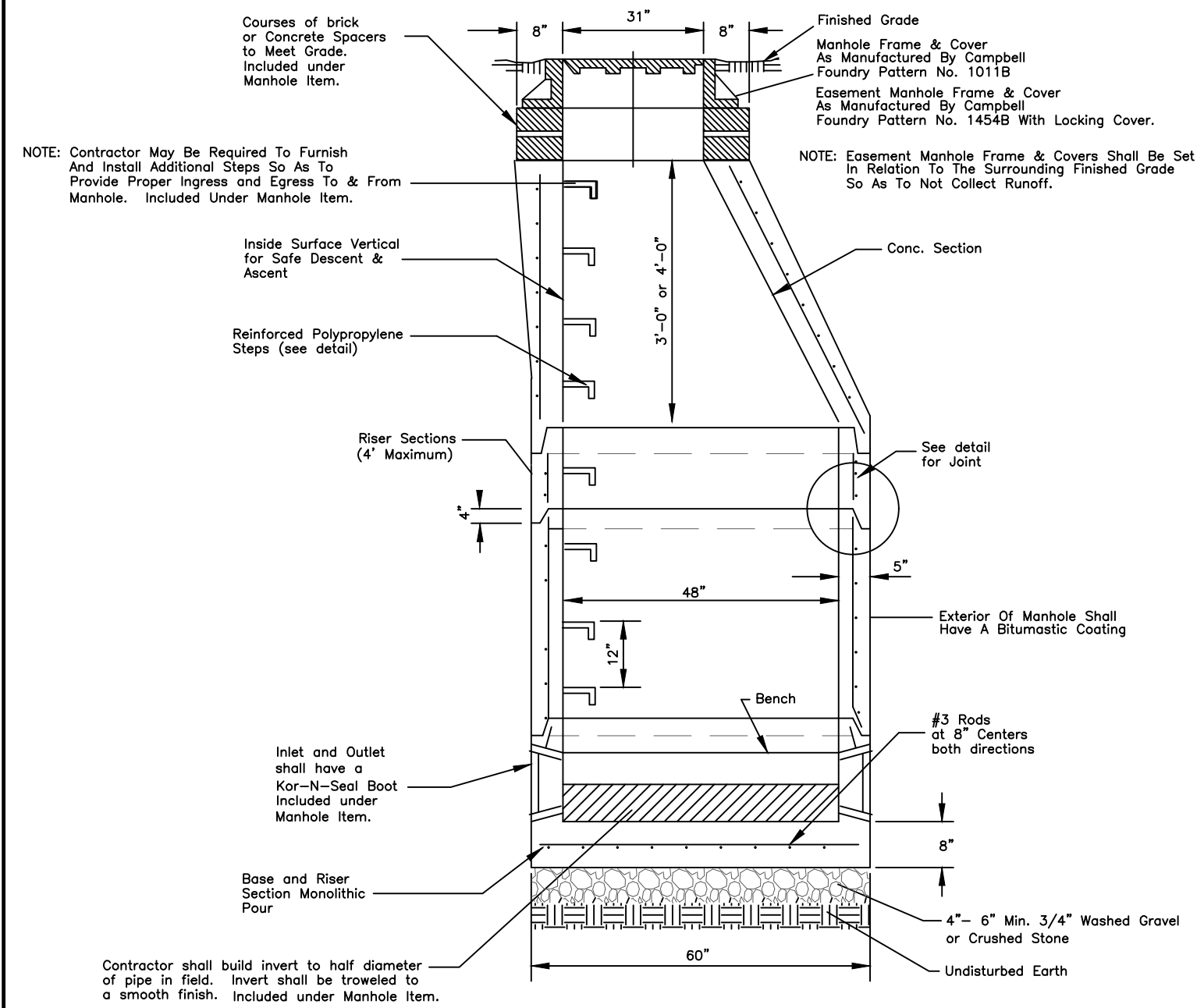
SEWER SERVICE CONNECTION TO NEW MAIN DETAIL  
N.T.S.

NOTE:  
FOR BACKFILLING REQUIREMENTS OF SEWER SERVICE  
SEE "SEWER MAIN/SEWER SERVICE TRENCH DETAIL".

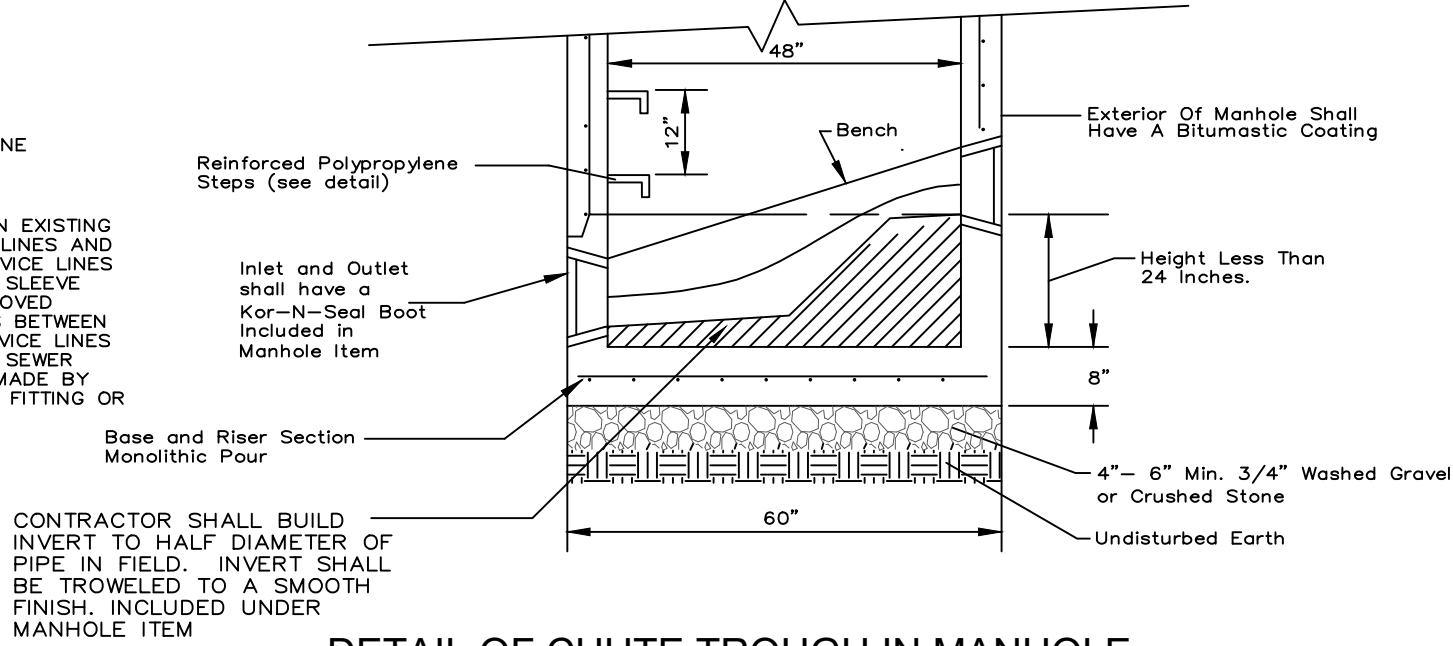
(N.T.S.)



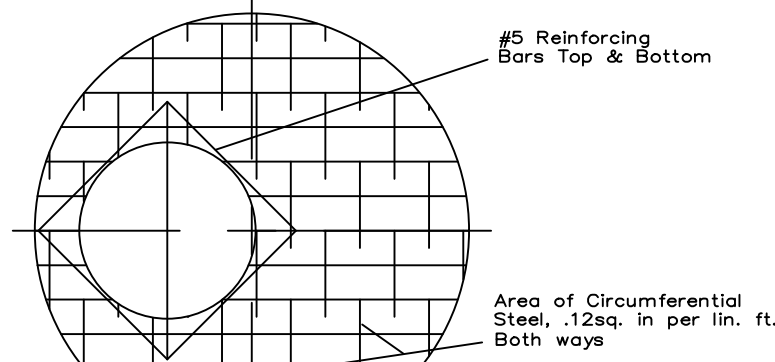
DETAIL OF PRECAST CONCRETE MANHOLE - FLAT TOP  
N.T.S.



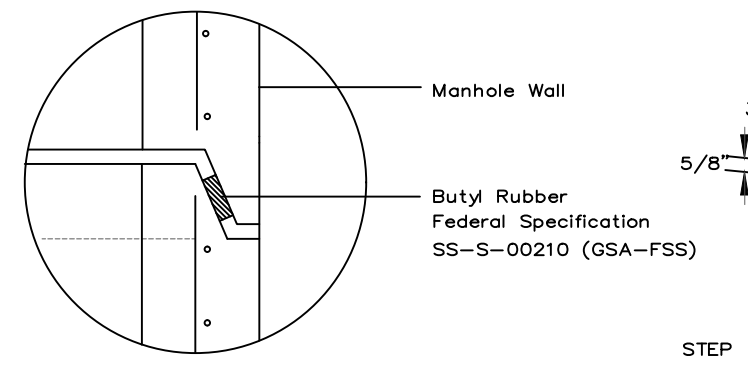
DETAIL OF PRECAST CONCRETE MANHOLE - CONE SECTION  
N.T.S.



DETAIL OF CHUTE TROUGH IN MANHOLE  
N.T.S.

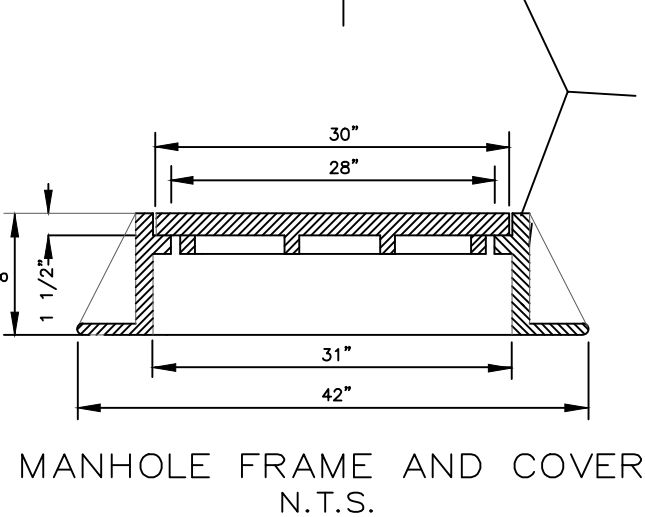
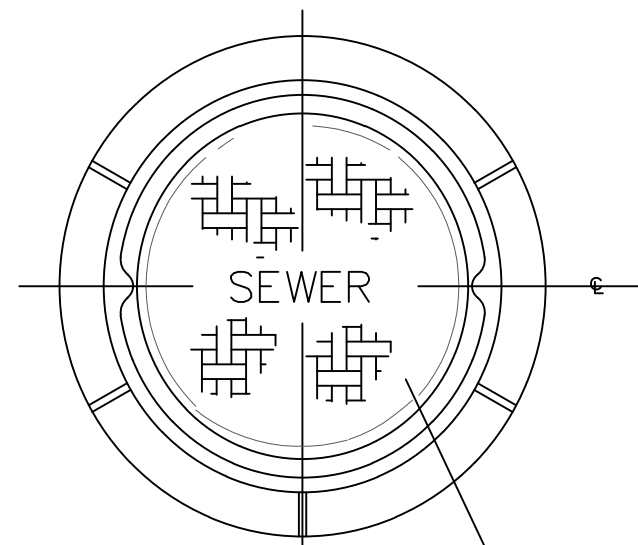


REINFORCEMENT  
LAYOUT FOR SLAB  
N.T.S.



JOINT DETAIL  
N.T.S.

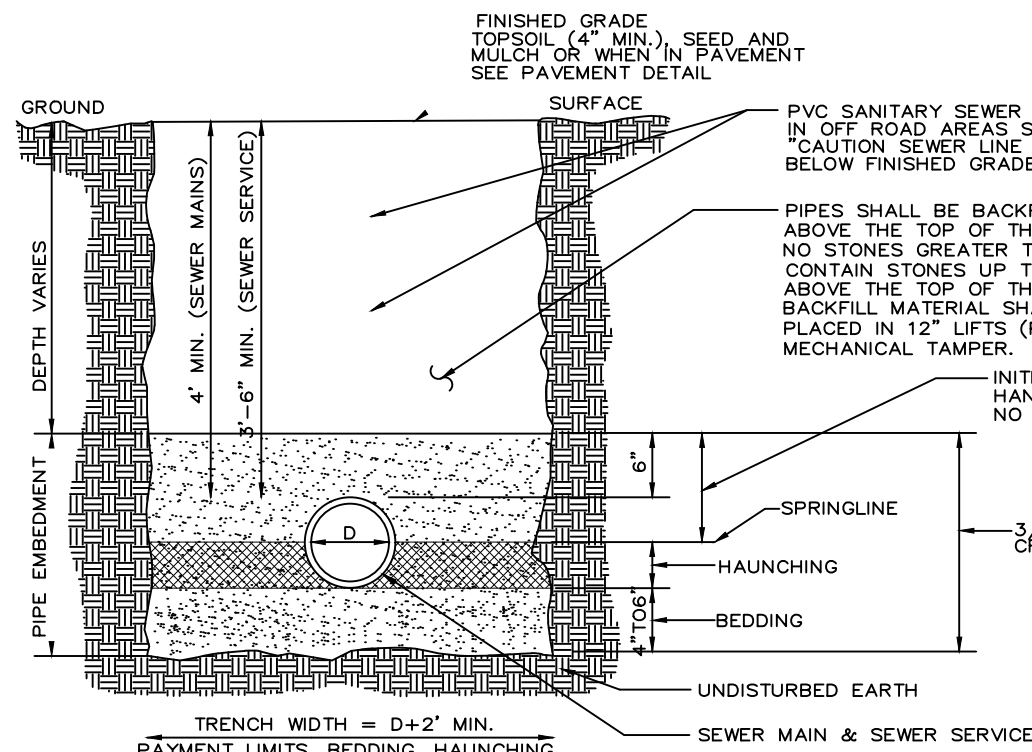
DETAIL OF REINFORCED  
POLYPROPYLENE MANHOLE STEP  
N.T.S.



MANHOLE FRAME AND COVER  
N.T.S.

#### MANHOLE FRAME AND COVER NOTES

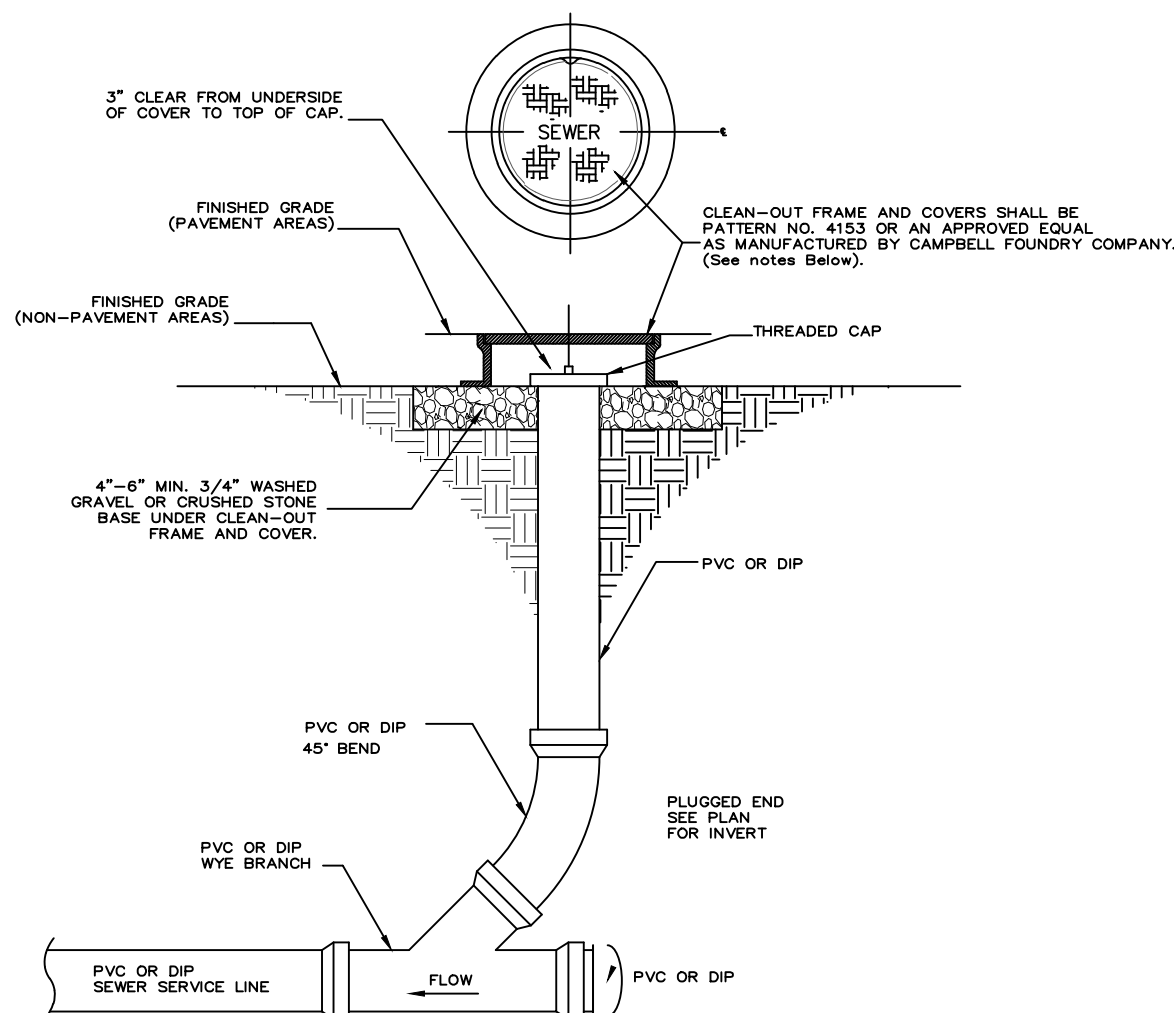
- ALL MANHOLE FRAMES AND COVERS SHALL BE MADE IN THE U.S.A., HEAVY DUTY, SUITABLE FOR TRAFFIC LOADING WITH A MACHINED MATING SURFACE FOR A TIGHT NON-ROCKING FIT.
- MANHOLE COVERS:
  - STANDARD MANHOLE COVERS - SHALL BE SOLID NON-VENTED CASTINGS AS MANUFACTURED BY CAMPBELL FOUNDRY, MODEL NO. 1011B. COVERS SHALL CONTAIN TWO WATERTIGHT CONCEALED PICKHOLES, AND THE WORD "SEWER" OR "DRAIN" CAST IN TWO INCH HIGH RAISED LETTERS.
  - EASEMENT MANHOLE COVERS - SHALL BE SOLID NON-VENTED CASTINGS AS MANUFACTURED BY CAMPBELL FOUNDRY, MODEL NO. 1454B. COVERS SHALL HAVE A LOCKING MECHANISM, CONTAIN TWO WATERTIGHT CONCEALED PICKHOLES, AND THE WORD "SEWER" OR "DRAIN" CAST IN TWO INCH HIGH RAISED LETTERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP THE COVER PATTERN CLEAN AND FREE OF EXCESS PAVEMENT, MORTAR, AND DIRT THAT MAY HINDER REMOVAL OR OBSCURE THE LETTERING UNTIL THE MUNICIPALITY HAS ACCEPTED THE SEWER.



SEWER MAIN/SEWER SERVICE TRENCH DETAIL  
N.T.S.

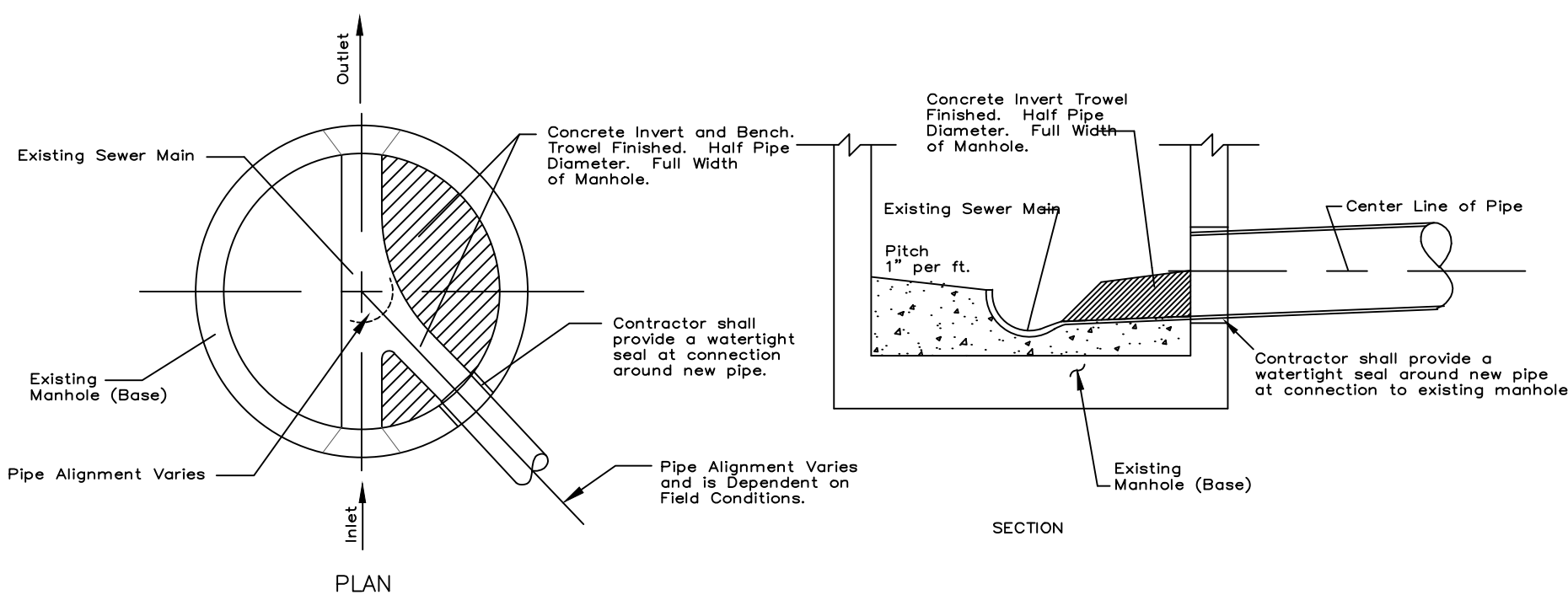
#### NOTES:

- NO ROCK IS TO PROJECT INTO WITHIN THE EDGES OF THE TRENCH. IN ROCK EXCAVATION PIPE SHALL BE A MIN. OF 6" OVER AND AWAY FROM ROCK.
- BACKFILL SHALL BE PLACED SO AS TO NOT DISTURB THE PIPE ALIGNMENT.



CLEANOUT ASSEMBLY DETAIL  
(N.T.S.)

- ALL CLEAN-OUT FRAMES AND COVERS SHALL BE MADE IN THE U.S.A., HEAVY DUTY, SUITABLE FOR TRAFFIC LOADING WITH A MACHINED MATING SURFACE FOR A TIGHT NON-ROCKING FIT.
- CLEAN-OUT COVERS SHALL CONTAIN THE WORD "SEWER" CAST IN RAISED LETTERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP THE COVER PATTERN CLEAN AND FREE OF EXCESS PAVEMENT, MORTAR, AND DIRT THAT MAY HINDER REMOVAL OR OBSCURE THE LETTERING UNTIL THE MUNICIPALITY HAS ACCEPTED THE SEWER.



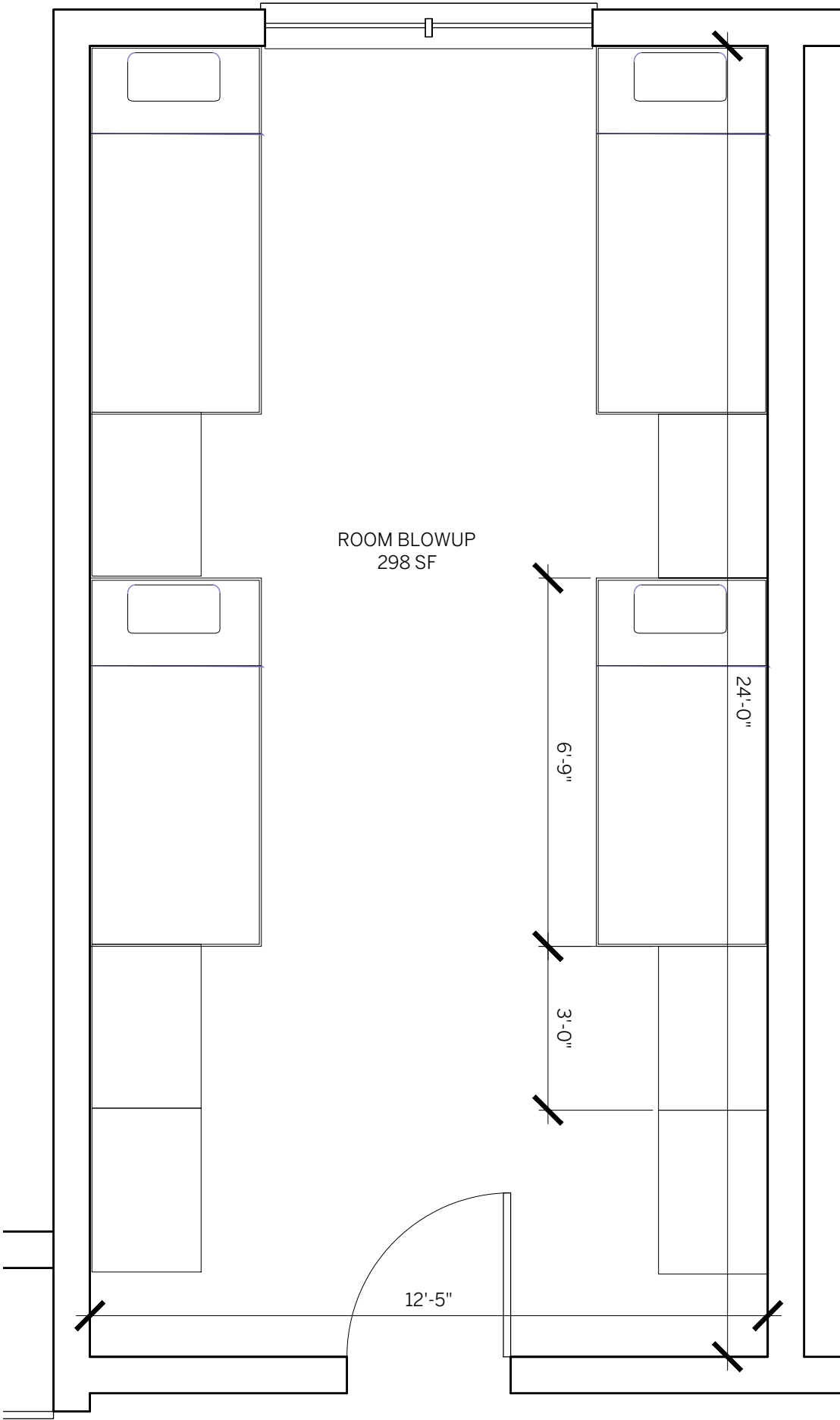
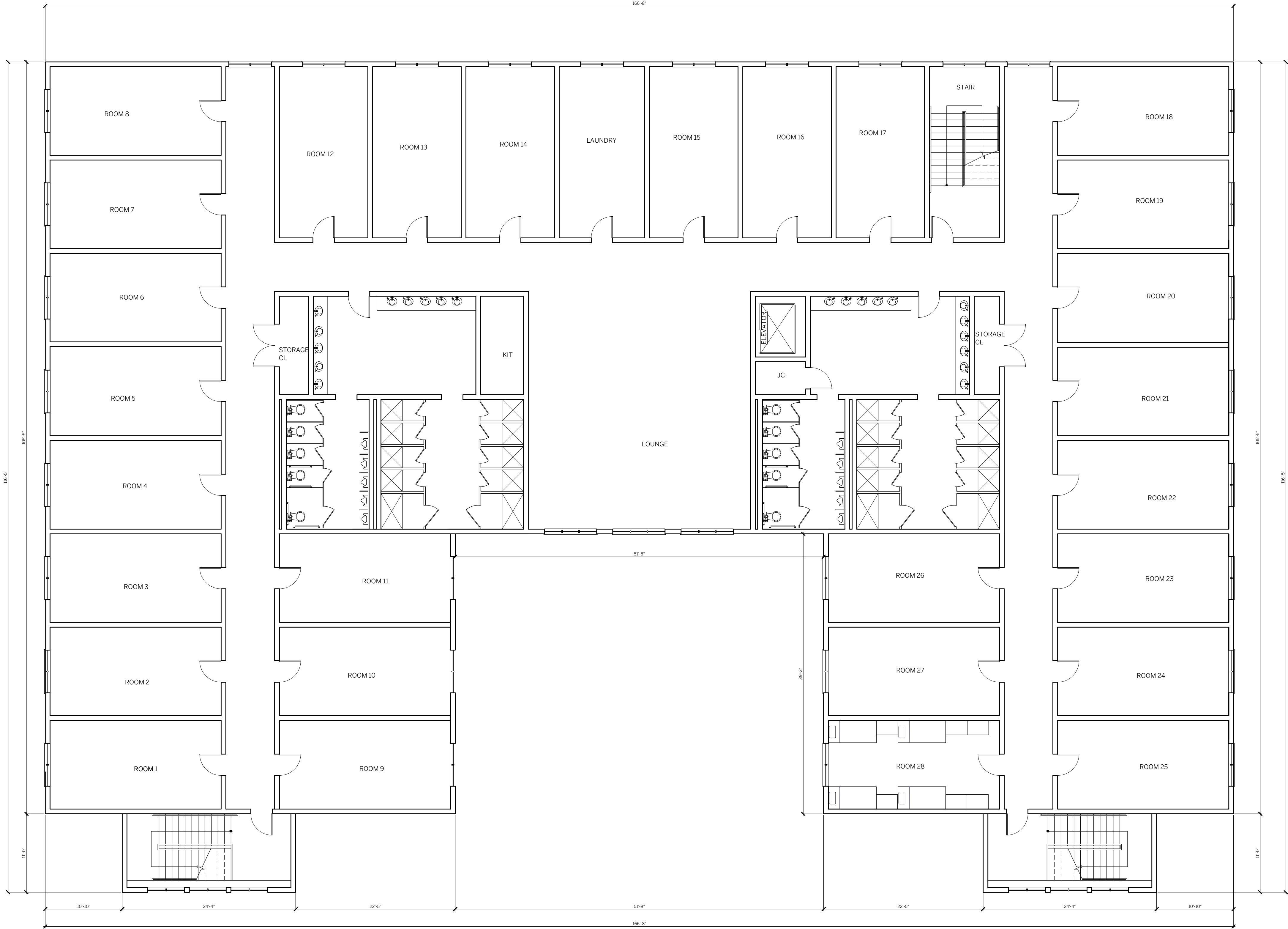
TYPICAL DETAIL OF TIE IN TO EXISTING MANHOLE  
N.T.S.

#### SANITARY SEWER NOTES:

- SANITARY SEWERS ARE TO BE OF 8" SDR 35 PVC OR 8" CLASS 52 DIP WHERE SHOWN IN THE PLANS OR IF REQUIRED BY THE ENGINEER DUE TO LOADING CONDITIONS.
- SANITARY MANHOLES SHALL BE PRECAST IN ACCORDANCE WITH APPROVED STANDARDS AND SHALL BE SPACED A MAXIMUM DISTANCE OF 400' ON STRAIGHT RUNS AND INSTALLED AT EVERY CHANGE IN ALIGNMENT AND DIFFERENCE IN ELEVATION OF INCOMING AND OUTGOING SEWERS. MANHOLE POSITIONING SHALL BE AS TO PREVENT THE ENTRANCE OF SURFACE WATER DURING STORMS.
- ALL BUILDING SEWER CONNECTIONS SHALL HAVE A CLEANOUT INSTALLED AT LOCATIONS DIRECTED BY THE ENGINEER, BUT NO GREATER THAN 75 FEET APART.
- LEAKAGE OUTWARD OR THE INFILTRATION SHALL NOT EXCEED ONE HUNDRED (100) GALLONS PER INCH OF SEWER PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SEWERAGE SYSTEM AND MANHOLES. INFILTRATION, EXFILTRATION AND VISUAL TESTS BY MEANS OF LIGHT FLASHING BETWEEN MANHOLES SHALL BE AS PER REQUIREMENTS OF TOWN ENGINEER. NO TESTS SHALL BE MADE UNTIL TWO (2) WEEKS AFTER BACKFILLING OF SANITARY SEWERS OR LONGER IF CONDITIONS, IN THE OPINION OF THE TOWN ENGINEER, WARRANT IT.
- ALL HOUSE LATERALS TO BE INSTALLED BY PLUMBERS, LICENSED IN THE TOWN OF CORTLANDT AND ALL WORK SHALL BE INSPECTED BEFORE BACKFILLING.
- SANITARY SEWER CONSTRUCTION SHALL MEET ALL SEWER CONSTRUCTION SPECIFICATIONS FOR THE TOWN OF CORTLANDT.
- ALL SANITARY SEWERS SHALL HAVE A MINIMUM COVER OF 4 FEET, AND ALL SANITARY SEWER SERVICE CONNECTIONS SHALL HAVE A MINIMUM COVER OF 3.5 FEET.
- WESTCHESTER COUNTY DEPARTMENT OF HEALTH MUST BE NOTIFIED FOURTY-EIGHT (48) HOURS PRIOR TO ANY LEAKAGE TESTING.
- EXFILTRATION/INFILTRATION LEAKAGE TESTS SHALL NOT EXCEED 100 GALLONS PER INCH OF DIAMETER PER MILE PER DAY. HYDROSTATIC TESTS SHALL BE PERFORMED UNDER A MINIMUM POSITIVE HEAD OF 2 FEET (5 FEET FOR WCOEF SEWERS). LOW PRESSURE TESTING IS PERMITTED FOR PIPE LINES AND SHOULD CONFORM TO ASTM C-828. VACUUM TESTING IS PERMITTED FOR MANHOLES BUT NOT PERMISSABLE FOR PIPELINES.



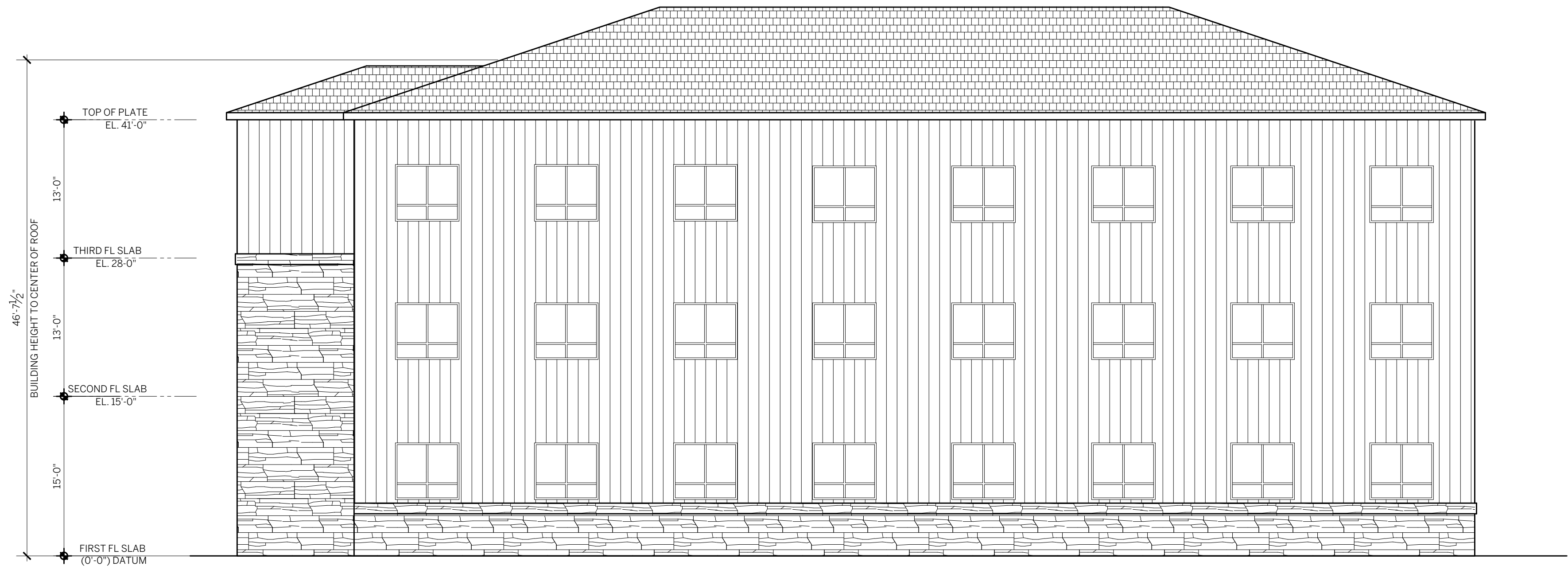






A PROPOSED FRONT ELEVATION - DORM BUILDING

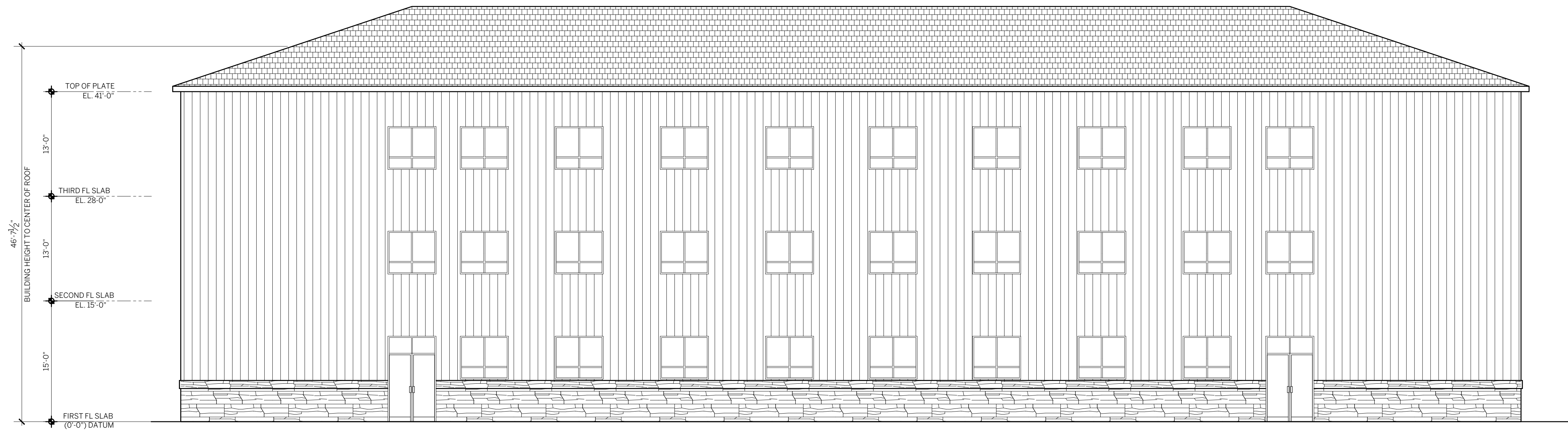
1/8"=1'-0"



B PROPOSED RIGHT ELEVATION - DORM BUILDING

1/8"=1'-0"

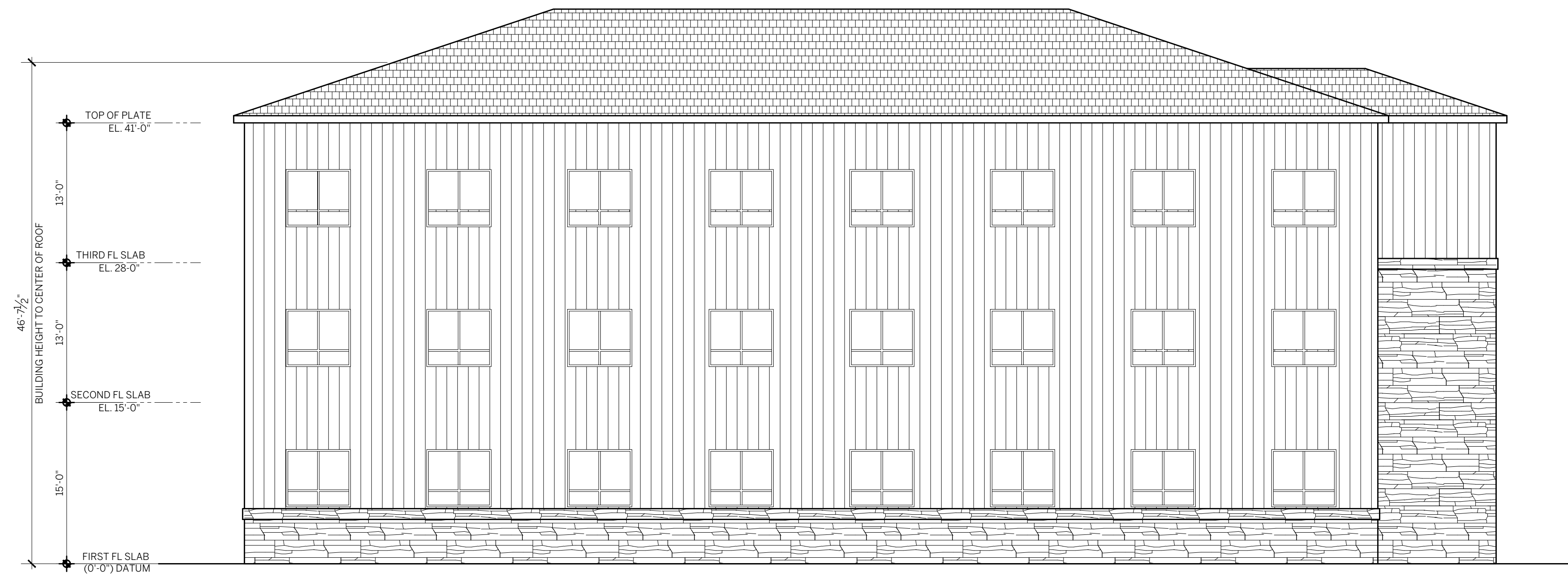
DATE	REVISIONS



A

PROPOSED REAR ELEVATION - DORM BUILDING

1/8"=1'-0"



B

PROPOSED LEFT ELEVATION - DORM BUILDING

1/8"=1'-0"

REVISIONS

DATE

PROPOSED DORMITORY FOR:

YESHIVA OHR HAMEIR OF PEEKSKILL  
BLOCK: 1 LOT: 3  
141 FURNACE WOODS RD  
CORTLANDT, NY 10567

JOB NO:

103.20

DATE:

4.23.25

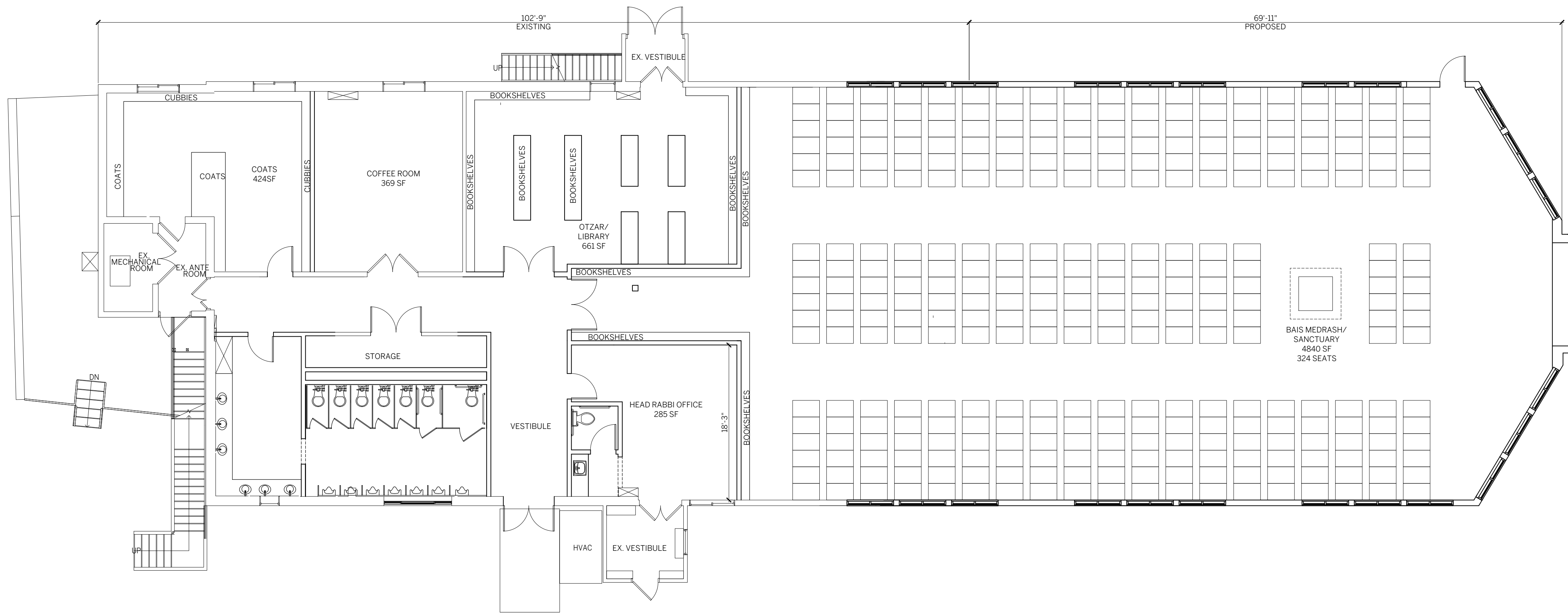
DWG NO:

A104

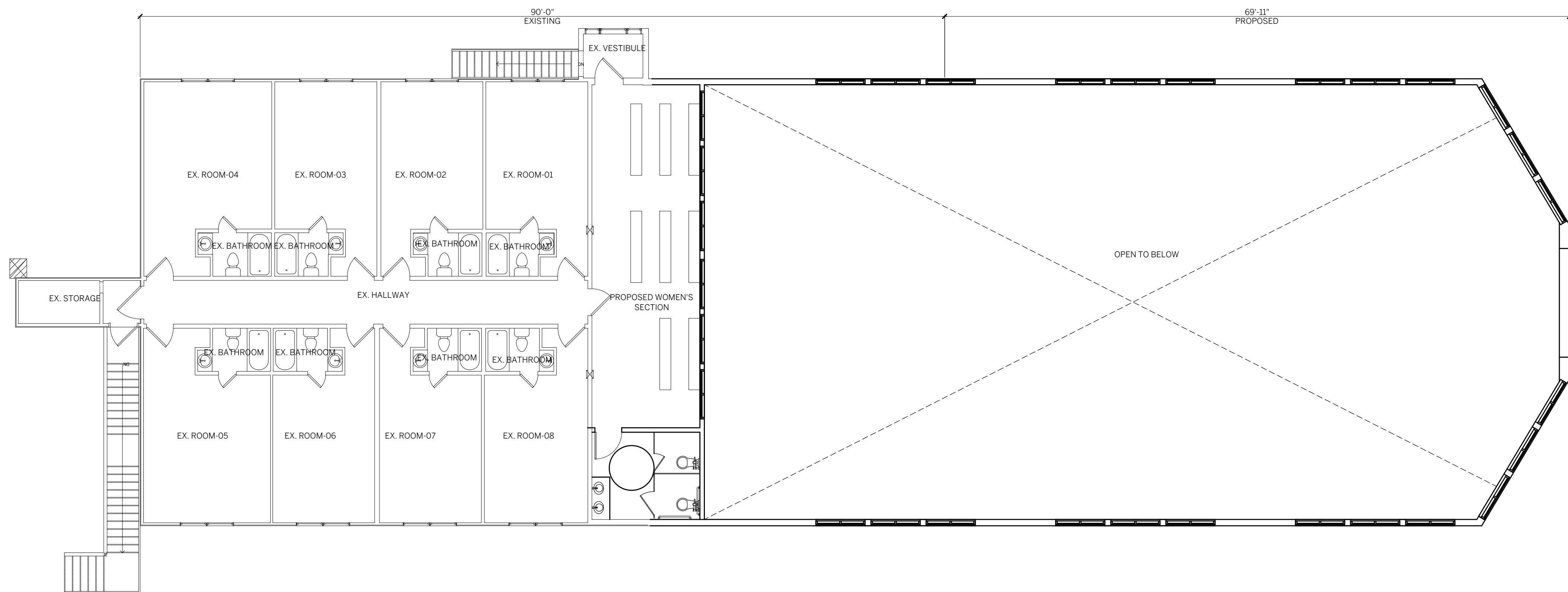


WEISZ ARCHITECTS  
1515 FOREST AVE #101, LAKEWOOD NJ 08701  
732.202.5455

Chase P. Weisz  
NJ LICENSE  
# 21A102138500



A PROPOSED SANCTUARY BUILDING FIRST FLOOR



B PROPOSED SANCTUARY BUILDING SECOND FLOOR

1/8"=1'-0"

REVISIONS	DATE				







# **WEISZ** ARCHITECTS

YESHIVA OHR HAMEIR OF PEEKSKILL  
141 FURNACE WOODS RD.





FURNACE

WOODS

ROAD

STAFF HOUSING

2-STORY  
DAKOTA BUILDING  
OFFICES

1-STORY  
BUILDING

CAFETERIA

TEXAS BUILDING  
HEAD RABBI RESIDENCE

KITCHEN

LIBRARY

DALLAS BUILDING  
EXISTING DORMITORY

3-STORY  
DORMITORY AND  
CLASSROOMS

SANCTUARY BUILDING  
SANCTUARY ADDITION  
(CHALET)



















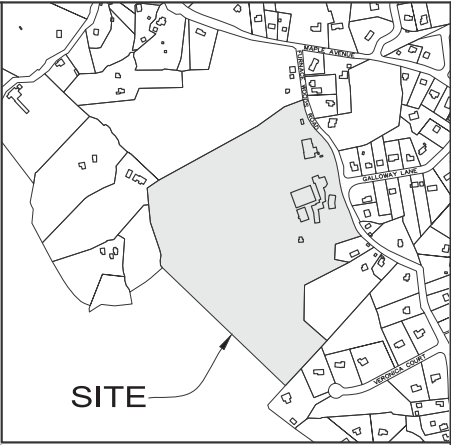


**WEISZ** ARCHITECTS



PROPERTY DATA	
PROPERTY OWNER	CONGREGATION YESHIVA OHR HAMEIR
APPLICANT	CONGREGATION YESHIVA OHR HAMEIR
LOCATION	141 FURNACE WOODS ROAD CORTLANDT MANOR, NY 10567
TAX MAP DATA	SECTION 44.12 BLOCK 1 LOT 3
SITE AREA	37.183 ACRES

PERMITTED USES ("PERMITTED BY RIGHT"):  
CHURCH OR OTHER PLACE OF WORSHIP INCLUDING  
RELIGIOUS INSTRUCTION; PRIVATE SCHOOL OFFERING  
COURSES IN GENERAL INSTRUCTION.



LOCATION MAP  
1" = 600'

ORIGINAL DATE: 3/27/2012  
1 MISC. REVISIONS 4-18-25  
PROJECT NUMBER:

(914) 245-0123  
YORKTOWN HEIGHTS, NY 10598 360 UNDERHILL  
AVENUE  
CIARCIA ENGINEERING, P.C.

EXISTING WETLANDS

YESHIVA OHR HAMEIR  
Prepared For  
AMMENDED SITE PLAN



UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS  
DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE  
NEW YORK STATE EDUCATION LAW.

\\s1\share\BIE\Eng\_ver\_3\3.jpg

SCALE: 1"=40'







## **NARRATIVE FOR**

### **Application for Town Wetland Permit - Buffer Disturbance**

Yeshiva Ohr Hameir, 141 Furnace Woods Road

April 24, 2025

Yeshiva Ohr Hameir, a theological seminary, has operated its facilities for many years at the site of a former dude ranch, which was developed before laws regulating wetlands were in place. The subject property contains wetlands (State regulated Wetland P-1) covering a very irregular shaped area thereby creating a larger, irregularly shaped regulated adjacent area (buffer) which extends onto some of the preexisting improvements on the property. The current site mapping includes an updated delineation based on numerous discussions with the DEC, and incorporates elements of the most recent delineation and past approved lines. The most recent delineation found that site conditions have changed since the original approval, and in some cases the wetland is now smaller. However, in an effort to be most conservative regarding wetlands, the original line has been maintained in most areas.

Yeshiva Ohr Hameir proposes to replace its existing subsurface septic systems (SSTAs) serving several buildings on the property and which are located in the wetland and adjacent area. Whereas the approved plan contemplated the construction of an STP on the site, the revised proposal involves a new connection to a municipal wastewater treatment plant. Under this plan, the Yeshiva will reconstruct a building in the general location of the former "Dodge City" building, a corner of which is located within 100 feet of the State regulated wetland, in an area that is currently a concrete slab. The footprint of the new Dodge City building includes a grassed courtyard, thereby reducing existing impervious surfaces on the site, and the nearby circulation and parking spaces will be slightly altered within the existing asphalt pavement surface area, but no new impervious surfaces will be added in this area. An updated stormwater management plan includes the construction of a new stormwater basin outside of the regulated buffer.

In addition to the construction of the new Dodge City building, the existing sanctuary will be extended to the south. All of this work will occur within the maintained lawn adjacent area. New disturbance to the buffer will be 3,510 sf. This addition is necessary to relieve overcrowding conditions and better provide for the study areas for the students.

To make the municipal sewer connection, a pump station building will be required on the property and the location of which is planned in the northeast corner of the property to accommodate direct access from the Town road. It is anticipated that the Town will ultimately take ownership of the pump station. A portion of the pump station building and wet well are within 100 feet of the State regulated wetland. The impacted area has limited functional value – it is on the far side of basketball and handball courts that have existed on the site for many years.

Importantly, the proposal will relieve a condition where several challenged septic systems are within and adjacent to the wetland. Moreover, the current proposal will eliminate need for a surface effluent discharge as is presently permitted by the NYSDEC permit. There will be no long term functional impact to the wetland from this proposal.

### **Description of Existing Wetland**

The wetlands on the property are a portion of a larger wetland designated as NYSDEC Wetland P-1. This part of that wetland, however, has been disturbed for much of its recent history, being used as horse paddocks and farmland, as confirmed by historic mapping. Some areas of the

wetland were trenched as part of previous activities. Construction debris and other rubbish were observed within the flagged wetland area.

The cessation of horse and farm activities with the introduction of the current boarding school use provided an opportunity for vegetation to become reestablished within the wetland area on the project site. At this time, the entire wetland is vegetated and stabilized. The most accurate description of the wetland type would be a wet meadow, with vegetation dominated by grasses.

A preliminary investigation utilizing Westchester County Soil Survey maps, site topography mapping and infrared aerial photography was conducted to delimit potential wetland communities on this site. This preliminary investigation identified the bounds of the on-site wetlands area.

As shown on the Westchester County Soil Survey, Udorthents soils (Uc) consisting of fill deposited over wet substrata predominate in the wetland area, and it appears that portions of this area were previously excavated to create two small permanent pools of water that drain to a long, linear ditch extending from the pools and through the wetlands to the north for a distance of greater than 400 feet. Each of the pools has approximate open-water dimensions that range from 40-50 feet in length and 10-15 feet in width. The maximum water depth in the pools was not determined, but portions were probed where the depth exceeded three feet. The edge of one pond was a mostly unbroken border of fringing vegetation dominated by common reedgrass (phragmites). The edge of the other pond included common reedgrass as emergent vegetation on edges abutting the meadow; and grasses, forbs, mud banks and an overhanging weeping willow tree on the eastern edge abutting the maintained lawn of the school ball fields. The area immediately around the pools includes some extensive areas of open, grassy meadow, portions of which may have persisted as meadow by being mown. Along the trenched portions of the open waters there is present a floating mat of grasses that rims the edges of the waterway.

Other soils are present uphill and to either side of the wetland. These soils include Urban Land-Charlton-Chatfield Complexes over the majority of the easterly, developed portions of the site and Chatfield-Hollis Rock Outcrop Complexes to the west, on the rear portion of the site which is abutted by either residential properties or County parkland (Blue Mountain Reservation).

The ditch corridor through the wetland exists primarily as a wooded stream corridor, except for the small areas where enlargements exist that have created the small pools within the grassy meadow as described above. These pools are approximately 250 feet or further from the edge of the on-site woodlands. Common species of frogs and turtles were observed to use both the pools and the ditch. The pools are deep-sided, with dense fringing and floating vegetation allowing few shoreline access points.

The remainder of the ditch corridor extends underneath a partially closed canopy of red maples and Eastern cottonwood, with spicebush, multiflora rose, Oriental bittersweet and Japanese barberry in the shrub layer. While some clumps of tussock sedge are present in the herbaceous layer of the meadow, many of the grasses surrounding the waterways are taller mat forming species such as rice cutgrass and phragmites. There are no flows from rivulets or spring points, and the surface hydrology observed on several site visits since 2009 is relatively dry considering the amount of rainfall prior to the site visits. The wetland appears to be recharged both by rainfall and a high groundwater table.



## **Proposed Activities**

The following information outlines various elements of the current site plan as compared to the prior plan. Refer to the accompanying plan set that shows all proposed site construction.

The revised plan proposes the following wetland buffer encroachments:

- a. Construction and installation of a sewer pump station (a building and pump station wet well);
- b. Reconstruction of the Dodge City Building on its former foundation. Existing asphalt parking and circulation areas on the site will remain largely as they now exist, with minor changes to accommodate the new building entrances. Like the prior plan, the current plan will result in the abandonment of four leaching areas, three of which are in or adjacent to the wetland. (Soils constraints preclude any further development of on-site septic.)
- c. Extension of the existing sanctuary building by approximately 70 feet, for a total of 3,510 sf of disturbance.

The engineer's drawings (enclosed) show the proposed grading and layout relative to the wetland and adjacent area boundaries, limits of construction disturbance, erosion/sedimentation control measures, and a typical trench cross section.

No direct wetland disturbance is proposed.

## **Wetland Functional Impacts**

There will be no long term functional impact to the regulated wetland area. The activities within the adjacent area will result in a net positive effect on the wetland, as the removal of the concrete pad, restoration of some 6,000 square feet of pervious surfaces in that area, and the abandonment of four leaching areas (three of which are in or adjacent to the wetland) will improve site conditions relative to the wetland environment.

A significant benefit of the proposal is the improvement in sewage treatment on the site. The existing septic system operates in four different areas of the site, including one leaching area that is partially in the delineated wetland. The applicant has tried for several years to develop a sewage disposal system that would improve the treatment on site, but due to soils constraints, an adequate solution was not found. Therefore the applicant is choosing to connect to an existing town treatment plant to entirely replace the existing systems on site.

In 2009 the owner removed a significant amount of rubbish and debris from the wetland area that, in association with the proposed plan, will reestablish a healthier and more functional wetland.

## **Proposed Mitigation**

Buffer enhancement currently proposed as mitigation for the construction entails establishment of a permanent No Mow Zone on approximately 2/3 acre of wetland and another 1/3 acre of buffer areas of the site, and posting of markers at the limit of the No Mow Zone. (A limited amount of debris removal from a portion of the wetland was conducted in October 2009, with restoration by seeding with the specified seed mix.) A portion of the wetland and adjacent area that has been maintained as lawn for recreation use is proposed to be omitted from the maintained area, as in

the prior plan, and posted as a No Mow Zone with posts located 50' off of the wetland line, allowing natural revegetation to discourage intrusion into the adjacent area.

1. The existing septic system, which is not currently functioning to WCDOH standards, will be abandoned and all site-generated effluent will be discharged through the pump station to the town operated treatment plant.

2. An area encompassing approximately 2/3 acre of wetland and another 1/3 acre of adjacent area is proposed to be removed from use as a lawn recreation area and restored in naturalized vegetation, including shrubs and trees planted along a new fence line installed to prevent intrusion, as shown on the Landscape and Wetland Buffer Enhancement Plan.

4. Areas of restored buffer as shown on the Landscape and Wetland Buffer Enhancement Plan will be seeded with a native seed mix appropriate to wetland adjacent areas to enhance the buffer and wetlands on site. The seeded vegetation around the treatment plant will be mowed once or twice a year as specified on the plan. The wetland area and 50' wide portion of adjacent area proposed to be protected by a wood rail fence will be designated a No Mow Zone.

5. Appropriate erosion controls are shown on the Erosion Control Plan. The area of the actual wetland impact, i.e. the trench for the discharge pipe, will only be open for a short time during installation of the pipe, then back-filled, hayed and seeded. The area of the concrete removal and installation of the STP package plant will be ringed with silt fence to control possible erosion during construction, but is flat and not expected to be a significant source of sediment during construction.

April 24, 2025

**Via OpenGov & Email (ChrisK@townofcortlandt.com)**

Hon. Steven Kessler  
Chairman of the Town of Cortlandt Planning Board  
and Members of the Planning Board  
1 Heady Street  
Cortlandt Manor, New York 10567

**Re: BEB Capital LLC (Skyview)**  
**RRUSP Application & Petition for Zoning Text Amendment**

Dear Chairman Kessler and Members of the Planning Board:

Our firm represents BEB Capital LLC in connection with its application for a Residential Reuse Special Permit (“RRUSP”) and Petition for Zoning Text Amendment, that would facilitate the development of 70 townhome units (“Project”).

The Project includes the redevelopment of a 15.6-acre site fronting East Main Street (U.S. Route 6), Regina Avenue, and Lexington Avenue.<sup>1</sup> The site is currently improved with a mix of small, dilapidated residential structures, including one-, two-, multi-family dwellings, that combine to provide 58 dwelling units. The Applicant proposes to demolish these existing structures and construct 70 townhome units in four- and five-unit clusters, of which 12 units will meet Westchester County’s definition of affordable housing.

By demolishing the existing bungalow-type dwellings and constructing new town homes in a clustered format, the Project satisfies each of the purposes of the RRUSP. The Project would (i) replace pre-existing nonconforming or dilapidated housing with a new for-sale residential development, (ii) provide affordable housing within a multifamily development, (iii) enhance the visual appearance of the Town, and (iv) provide supply that meets the market’s demand for “middle housing” – “for-sale” housing of appropriate size, location, and affordability. Accordingly, the Project both furthers the intent and purpose of the RRUSP and will also contribute to the aesthetic qualities and vibrancy of the Cortlandt Boulevard corridor.

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<sup>1</sup> The site is comprised of property owned by Eastview/Southview Realty LLC (Tax IDs 24.11-1-2 and 24.7-2-2, 20 & 21) and Skyview/Westview LLC (24.7-1-1 & 2, and 24.7-2-4).

On April 22, 2025, the Town Board received and filed the Petition and RRUSP application and, in accordance with Town Code, referred the matter to the Planning Board. Accordingly, we submit the following documents for your Board's review and recommendation to the Town Board:

1. April 8, 2025 Letter to the Town Board
2. Petition for Zoning Text Amendment, dated April 4, 2025,
3. Site Plan Set, including:
  - a. Engineering Plans, last revised Apr. 1, 2025 (5 pages)
  - b. Survey, last revised Dec. 23, 2024 (2 pages)
  - c. Architectural Plans, last revised Apr. 1, 2025 (7 pages)
4. Full Environmental Assessment Form (FEAF), dated Apr. 4, 2025
5. Deeds (Control Nos. )
6. Owner Authorizations
7. Adjoining Owner List

We respectfully request that the Planning Board entertain the enclosed RRUSP application simultaneously and in conjunction with the Town Board's review of the Petition for Zoning Text Amendment. Further, we ask that this matter be added to the Planning Board's May 6<sup>th</sup> meeting agenda for an initial presentation.

We look forward to presenting this Project to your Board. Should you have any questions or wish to discuss, please contact our office.

Very truly yours,

ZARIN & STEINMETZ LLP



By: \_\_\_\_\_

David S. Steinmetz  
Brian T. Sinsabaugh

Encls.

Copied:

Laroue Shatzkin, Town Clerk  
Chris Kehoe, AICP, Dir. of Planning & Community Development  
Thomas F. Wood, Esq., Town Attorney  
Michael Cunningham, Esq., Deputy Town Attorney  
DTS Provident Engineers  
Gallin Beeler Design Studio



**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Skyview		
Project Location (describe, and attach a general location map): 3275 Lexington Avenue (tax parcel ID 24.11-1-2), 5 Skyview Avenue (24.7-2-4), 9 Regina Avenue (24.7-2-2), 17 Regina Avenue (24.7-2-21), 19 Regina Avenue (24.7-2-20), 3211 East Main Street (24.7-1-1) 3219 East Main Street (24.7-1-2), Town of Cortlandt, New York		
Brief Description of Proposed Action (include purpose or need): Proposed redevelopment of existing 58 cottages under the Town's Residential Reuse Special Permit (RRUSP) with 70 townhouses and associated improvements. A zoning text amendment is proposed to §307-94.2 of the Town Code to allow the Town Board to increase the maximum building coverage and total number of bedrooms under a RRUSP.		
Name of Applicant/Sponsor: BEB Capital, LLC	Telephone: E-Mail:	
Address: 26 Harbor Park Drive		
City/PO: Port Washington	State: NY	Zip Code: 11050
Project Contact (if not same as sponsor; give name and title/role): Dan Penaro	Telephone: 516-207-7442 E-Mail: dpenaro@bebcapital.com	
Address: 26 Harbor Park Drive		
City/PO: Port Washington	State: NY	Zip Code: 11050
Property Owner (if not same as sponsor): Eastview/Southview Realty, LLC (3275 Lexington Avenue; 9, 17, 19 Regina Avenue) and Skyview/Westview, LLC (3211, 3219 East Main Street; 5 Skyview Avenue)	Telephone: 516-207-7442 E-Mail: dpenaro@bebcapital.com	
Address: C/O Beb Capital, LLC		
City/PO: Port Washington	State: NY	Zip Code: 11050

## B. Government Approvals

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Special Permit Application Approval, Town Sewer District (extension or creation), Zoning Text Amendment	
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Site Development Plan, Special Permit Application, Tree Removal, Steep Slopes	
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Westchester County DOH - Water main and Sanitary Sewer Westchester County Department of Planning - GML239 Referral	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC - SPDES Stormwater General Permit NYSDOT - Highway Work Permit Perm 33	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

## C. Planning and Zoning

### C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

### C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐ Yes ☒ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☒ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☒ No

If Yes, identify the plan(s):

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c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

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<b>C.3. Zoning</b>	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district? <u>R-40 (Single-Family Residential) and CD (Designed Commercial)</u>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the use permitted or allowed by a special or conditional use permit?   Residential Reuse Special Permit (RRUSP)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
c. Is a zoning change requested as part of the proposed action? If Yes, i. What is the proposed new zoning for the site? _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>C.4. Existing community services.</b>	
a. In what school district is the project site located? <u>Lakeland Central School District</u>	
b. What police or other public protection forces serve the project site? <u>NYS Police &amp; Westchester County DPS</u>	
c. Which fire protection and emergency medical services serve the project site? <u>Mohegan Fire Department</u>	
d. What parks serve the project site? <u>Muriel H. Morabito Community Center, Michael C Mongero Veterans Memorial Park</u>	

#### D. Project Details

<b>D.1. Proposed and Potential Development</b>	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? <u>Residential</u>	
b. a. Total acreage of the site of the proposed action?	<u>±15.6</u> acres
b. Total acreage to be physically disturbed?	<u>±9</u> acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	<u>±19.5</u> acres
c. Is the proposed action an expansion of an existing project or use? i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)?   % _____ Units: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Is the proposed action a subdivision, or does it include a subdivision? If Yes, i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____ ii. Is a cluster/conservation layout proposed? iii. Number of lots proposed? _____ iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
e. Will the proposed action be constructed in multiple phases? i. If No, anticipated period of construction: _____ months ii. If Yes: • Total number of phases anticipated _____ • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year • Anticipated completion date of final phase _____ month _____ year • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____ _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

f. Does the project include new residential uses? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	70 (townhomes)

g. Does the proposed action include new non-residential construction (including expansions)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes,	
i. Total number of structures _____ ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes,	
i. Purpose of the impoundment: _____ ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____ iii. If other than water, identify the type of impounded/contained liquids and their source. _____ iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____ _____	

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) If Yes:	
i. What is the purpose of the excavation or dredging? _____ ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____ _____ iv. Will there be onsite dewatering or processing of excavated materials? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, describe. _____ _____ v. What is the total area to be dredged or excavated? _____ acres vi. What is the maximum area to be worked at any one time? _____ acres vii. What would be the maximum depth of excavation or dredging? _____ feet viii. Will the excavation require blasting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> ix. Summarize site reclamation goals and plan: _____ _____ _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____ _____	



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

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c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No  
If Yes:

i. Total anticipated water usage/demand per day: 20,680 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No  
If Yes:

- Name of district or service area: Cortlandt Consolidated Water District
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☒ Yes ☐ No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: Exptension of lines in order to supply the proposed project
- Source(s) of supply for the district: Northern Westchester Joint Waterworks

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No  
If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

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d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No  
If Yes:

i. Total anticipated liquid waste generation per day: 22,750 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

\_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No  
If Yes:

- Name of wastewater treatment plant to be used: Peekskill Wastewater Treatment Facility
- Name of district: Peekskill Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☒ Yes ☐ No

☒ Yes ☐ No  
☒ Yes ☐ No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

Extension of sewer mains from existing sewer located in Regina Avenue within area previously identified as future Cortlandt Blvd East Sewer Improvement Area \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? ☐ Yes ☒ No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? ☒ Yes ☐ No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or ±4.3 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 15.6 acres (parcel size)  
 ii. Describe types of new point sources. inlets, catch basins, stormwater basins  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
On-site stormwater detention systems, other on-site infrastructure, storm sewer in public right-of-way  
 \_\_\_\_\_  
 \_\_\_\_\_

• If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties? ☐ Yes ☒ No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? ☐ Yes ☒ No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? ☐ Yes ☒ No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? ☐ Yes ☒ No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ☐ Yes ☐ No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend  <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No N/A</span></p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:*</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7:00 AM - 7:00 PM</li> <li>• Saturday: _____ 8:00 AM - 7:00 PM</li> <li>• Sunday: _____ N/A</li> <li>• Holidays: _____ N/A</li> </ul> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations: Residential: 24 hours per day / 7 days a week</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul> </td> </tr> </table>		<p>i. During Construction:*</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7:00 AM - 7:00 PM</li> <li>• Saturday: _____ 8:00 AM - 7:00 PM</li> <li>• Sunday: _____ N/A</li> <li>• Holidays: _____ N/A</li> </ul>	<p>ii. During Operations: Residential: 24 hours per day / 7 days a week</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
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\*Per Town Code Chapter 197

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p style="text-align: center;">TBD</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	



s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

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t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

## E. Site and Setting of Proposed Action

<b>E.1. Land uses on and surrounding the project site</b>			
<p>a. Existing land uses.</p> <p>i. Check all uses that occur on, adjoining and near the project site.</p> <div style="display: flex; justify-content: space-between;"> <span><input type="checkbox"/> Urban</span> <span><input type="checkbox"/> Industrial</span> <span><input checked="" type="checkbox"/> Commercial</span> <span><input checked="" type="checkbox"/> Residential (suburban)</span> <span><input type="checkbox"/> Rural (non-farm)</span> </div> <div style="display: flex; justify-content: space-between;"> <span><input checked="" type="checkbox"/> Forest</span> <span><input type="checkbox"/> Agriculture</span> <span><input type="checkbox"/> Aquatic</span> <span><input type="checkbox"/> Other (specify): _____</span> </div> <p>ii. If mix of uses, generally describe: _____</p>			
b. Land uses and covertypes on the project site.			
Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	±2	±4.3	±2.3
• Forested	--	--	--
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	--	--	--
• Agricultural (includes active orchards, field, greenhouse etc.)	--	--	--
• Surface water features (lakes, ponds, streams, rivers, etc.)	--	--	--
• Wetlands (freshwater or tidal)	--	--	--
• Non-vegetated (bare rock, earth or fill)	--	--	--
• Other Describe: <u>Wooded areas, landscape areas, lawn areas</u>	±13.6	±11.3	±(2.3)

c. Is the project site presently used by members of the community for public recreation? i. If Yes: explain:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, i. Identify Facilities:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<div style="border-bottom: 1px solid black; margin-bottom: 5px;">The Sentinel of Mohegan Lake (senior assisted living located over 900 feet northeast of the Project Site)</div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div>	
e. Does the project site contain an existing dam? If Yes:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Dimensions of the dam and impoundment:	
<ul style="list-style-type: none"> <li>• Dam height: _____ feet</li> <li>• Dam length: _____ feet</li> <li>• Surface area: _____ acres</li> <li>• Volume impounded: _____ gallons OR acre-feet</li> </ul>	
ii. Dam's existing hazard classification: _____	
iii. Provide date and summarize results of last inspection: _____ <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div>	
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Has the facility been formally closed?	
<ul style="list-style-type: none"> <li>• If yes, cite sources/documentation: _____</li> </ul>	
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____ <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div>	
iii. Describe any development constraints due to the prior solid waste activities: _____ <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div>	
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____ <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div>	
h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:	
<input type="checkbox"/> Yes – Spills Incidents database      Provide DEC ID number(s): _____	
<input type="checkbox"/> Yes – Environmental Site Remediation database      Provide DEC ID number(s): _____	
<input type="checkbox"/> Neither database	
ii. If site has been subject of RCRA corrective activities, describe control measures: _____ <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div>	
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): _____	
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____ <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div>	

v. Is the project site subject to an institutional control limiting property uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
<ul style="list-style-type: none"> <li>• If yes, DEC site ID number: _____</li> <li>• Describe the type of institutional control (e.g., deed restriction or easement): _____</li> <li>• Describe any use limitations: _____</li> <li>• Describe any engineering controls: _____</li> <li>• Will the project affect the institutional or engineering controls in place? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> <li>• Explain: _____</li> </ul>													
<b>E.2. Natural Resources On or Near Project Site</b>													
a. What is the average depth to bedrock on the project site? _____ > 6 _____ feet													
b. Are there bedrock outcroppings on the project site? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ 0.7 _____ %													
c. Predominant soil type(s) present on project site: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border-bottom: 1px solid black;">Paxton fine sandy loam (PnC)</td> <td style="border-bottom: 1px solid black; text-align: right;">27.8</td> <td style="border-bottom: 1px solid black; text-align: right;">%</td> </tr> <tr> <td style="border-bottom: 1px solid black;">Charlton fine sandy loam (ChC)</td> <td style="border-bottom: 1px solid black; text-align: right;">14.3</td> <td style="border-bottom: 1px solid black; text-align: right;">%</td> </tr> <tr> <td style="border-bottom: 1px solid black;">Charlton-Chatfield complex (CrC)</td> <td style="border-bottom: 1px solid black; text-align: right;">34.9</td> <td style="border-bottom: 1px solid black; text-align: right;">%</td> </tr> </table>		Paxton fine sandy loam (PnC)	27.8	%	Charlton fine sandy loam (ChC)	14.3	%	Charlton-Chatfield complex (CrC)	34.9	%			
Paxton fine sandy loam (PnC)	27.8	%											
Charlton fine sandy loam (ChC)	14.3	%											
Charlton-Chatfield complex (CrC)	34.9	%											
d. What is the average depth to the water table on the project site? Average: _____ > 6 _____ feet													
e. Drainage status of project site soils: <input checked="" type="checkbox"/> Well Drained: _____ 100 _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input type="checkbox"/> Poorly Drained _____ % of site													
f. Approximate proportion of proposed action site with slopes: <input checked="" type="checkbox"/> 0-10%: _____ 14 _____ % of site <input checked="" type="checkbox"/> 10-15%: _____ 17 _____ % of site <input checked="" type="checkbox"/> 15% or greater: _____ 69 _____ % of site													
g. Are there any unique geologic features on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, describe: _____													
h. Surface water features.													
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
ii. Do any wetlands or other waterbodies adjoin the project site? <span style="float: right;">*Wetlands located over 400 feet west of the Project Site</span> <span style="float: right;">* <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>													
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.													
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>													
iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">• Streams:</td> <td style="width: 50%;">Name _____</td> <td style="width: 40%;">Classification _____</td> </tr> <tr> <td>• Lakes or Ponds:</td> <td>Name _____</td> <td>Classification _____</td> </tr> <tr> <td>• Wetlands:</td> <td>Name _____</td> <td>Approximate Size _____</td> </tr> <tr> <td>• Wetland No. (if regulated by DEC)</td> <td colspan="2">_____</td> </tr> </table>		• Streams:	Name _____	Classification _____	• Lakes or Ponds:	Name _____	Classification _____	• Wetlands:	Name _____	Approximate Size _____	• Wetland No. (if regulated by DEC)	_____	
• Streams:	Name _____	Classification _____											
• Lakes or Ponds:	Name _____	Classification _____											
• Wetlands:	Name _____	Approximate Size _____											
• Wetland No. (if regulated by DEC)	_____												
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, name of impaired water body/bodies and basis for listing as impaired: _____													
i. Is the project site in a designated Floodway? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
j. Is the project site in the 100-year Floodplain? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
k. Is the project site in the 500-year Floodplain? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:													
i. Name of aquifer: _____													

<p>m. Identify the predominant wildlife species that occupy or use the project site:              typical suburban species _____              _____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:              i. Describe the habitat/community (composition, function, and basis for designation): _____              _____              ii. Source(s) of description or evaluation: _____              iii. Extent of community/habitat:                  • Currently: _____ acres                  • Following completion of project as proposed: _____ acres                  • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:              i. Species and listing (endangered or threatened): _____              _____              _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:              i. Species and listing: _____              _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If yes, give a brief description of how the proposed action may affect that use: _____              _____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>              i. If Yes: acreage(s) on project site: _____              ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:              i. Nature of the natural landmark:     <input type="checkbox"/> Biological Community     <input type="checkbox"/> Geological Feature              ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____              _____              _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:              i. CEA name: _____              ii. Basis for designation: _____              iii. Designating agency and date: _____</p>	



e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: i. Identify resource: <u>Taconic State Parkway</u> ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Scenic byway</u> iii. Distance between project and resource: <u>1.75</u> miles.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No    <input type="checkbox"/> Yes <input type="checkbox"/> No

#### F. Additional Information

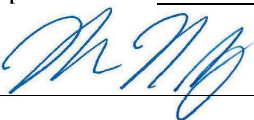
Attach any additional information which may be needed to clarify your project.

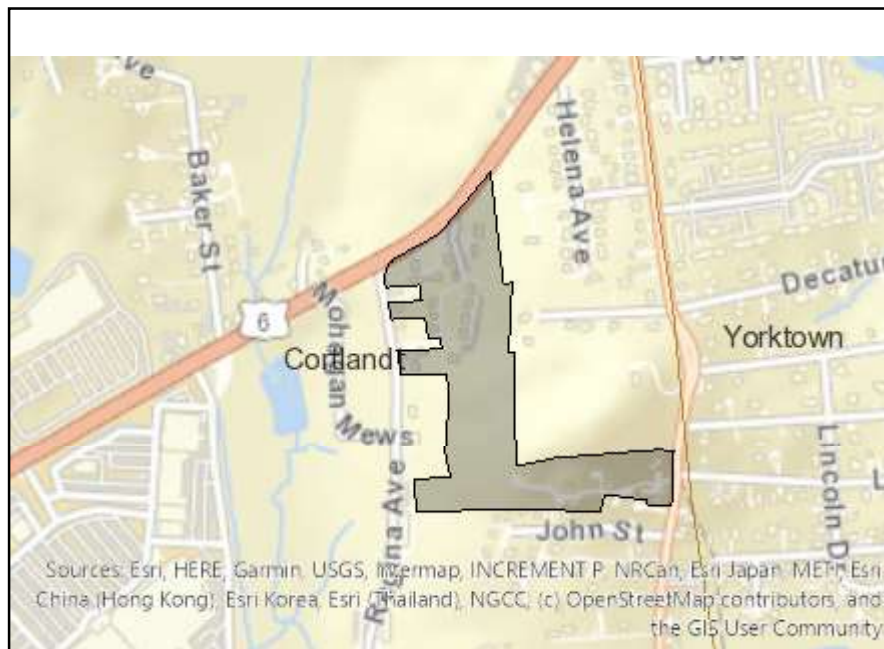
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

#### G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name BEB Capital, LLC Date 4/4/2025

Signature  Matthew N. Steinberg, AICP Title Senior Associate  
DTS Provident Design Engineering, LLP



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No

E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No







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9/17/19 Regina Avenue, 3211/3219 East Main St.  
Cortlandt, New York

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Port Washington, NY 11050

**GB<sup>ds</sup>**  
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23 Washington Ave, Pleasantville, NY 10570

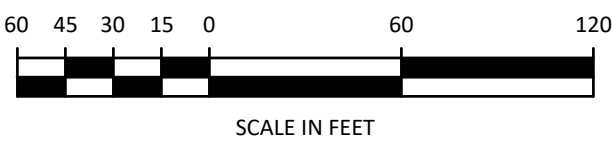
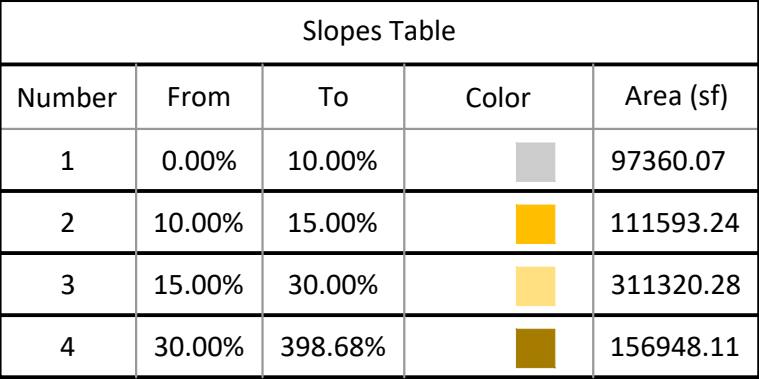
**DTS • PROVIDENT**  
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Civil Engineers, Landscape Architect and Planner  
DTS Provident Design Engineering, LLP  
One North Broadway White Plains, NY 10601  
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**Gallas Surveying Group, LLC**  
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## Key Plan



Project number	GBDS 2329;DTSP 1085
Date	04/01/25
Drawn by	RPP
Checked by	GMS

Scale 1" = 60'



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Cortlandt, New York

BEB Capital

**Architect:**

**GALLIN BEELER** DESIGN STUDIO  
23 Washington Ave, Pleasantville, NY 10570

**CIVIL Engineer:**

Civil Engineers, Landscape Architect and

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One North Broadway White Plains, NY 10601  
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F: 914.428.0017

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## SURVEYOR

**Gallas Surveying Group, LLC**  
2865 US Route 1  
North Brunswick, NJ 08902

**ATTORNEY:**

**Zarin & Steinmetz, LLP**  
31 Main Street, Suite 415  
White Plains, NY 10601

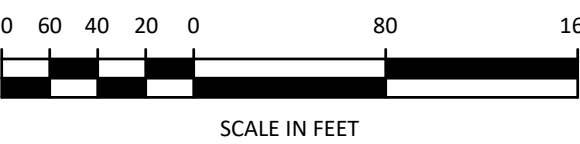
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SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS  
ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER,  
TO ALTER THIS DOCUMENT

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### Key Plan



## OVERALL SITE PLAN

Project number	GBDS 2329;DTSP 1085
----------------	---------------------

SD 100

Scale

 $1'' = 80$ 



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Port Washington, NY 11050

**GB<sup>ds</sup>**  
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23 Washington Ave, Pleasantville, NY 10570

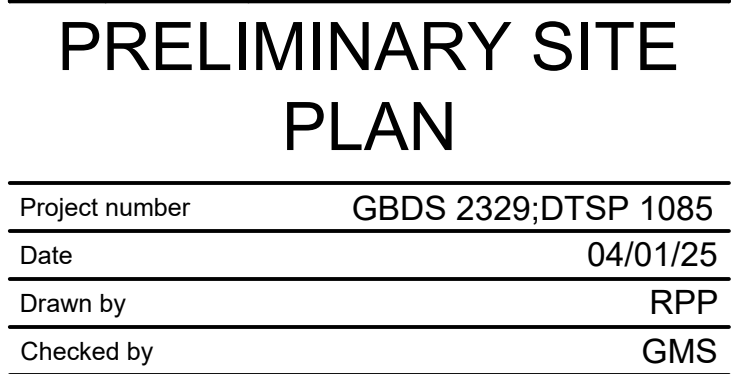
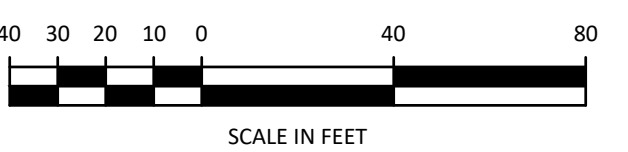
Civil Engineers, Landscape Architect and Planner  
DTS Provident Design Engineering, LLP  
One North Broadway White Plains, NY 10601  
P: 914.428.0010  
F: 914.428.0017

**Gallas Surveying Group, LLC**  
2865 US Route 1  
North Brunswick, NJ 08902

**Zarin & Steinmetz, LLP**  
81 Main Street, Suite 415  
White Plains, NY 10601

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## Key Plan



Scale 1" = 40'





SKYVIEW

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9/17/19 Regina Avenue, 3211/3219 East Main St.  
Cortlandt, New York

Owner:  
**BEB Capital**  
26 Harbor Park Drive  
Port Washington, NY 11050  
Architect:

**GBds**  
GALIN BEELER DESIGN STUDIO  
23 Washington Ave, Pleasantville, NY 10570

CIVIL Engineer:  
**DTS • PROVIDENT**  
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Civil Engineers, Landscape Architect and Planner  
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One North Broadway White Plains, NY 10601  
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SURVEYOR:  
**Gallas Surveying Group, LLC**  
2865 US Route 1  
North Brunswick, NJ 08902

ATTORNEY:  
**Zarin & Steinmetz, LLP**  
81 Main Street, Suite 415  
White Plains, NY 10601

UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 2209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

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**NOT FOR CONSTRUCTION**

Key Plan



**NORTH**

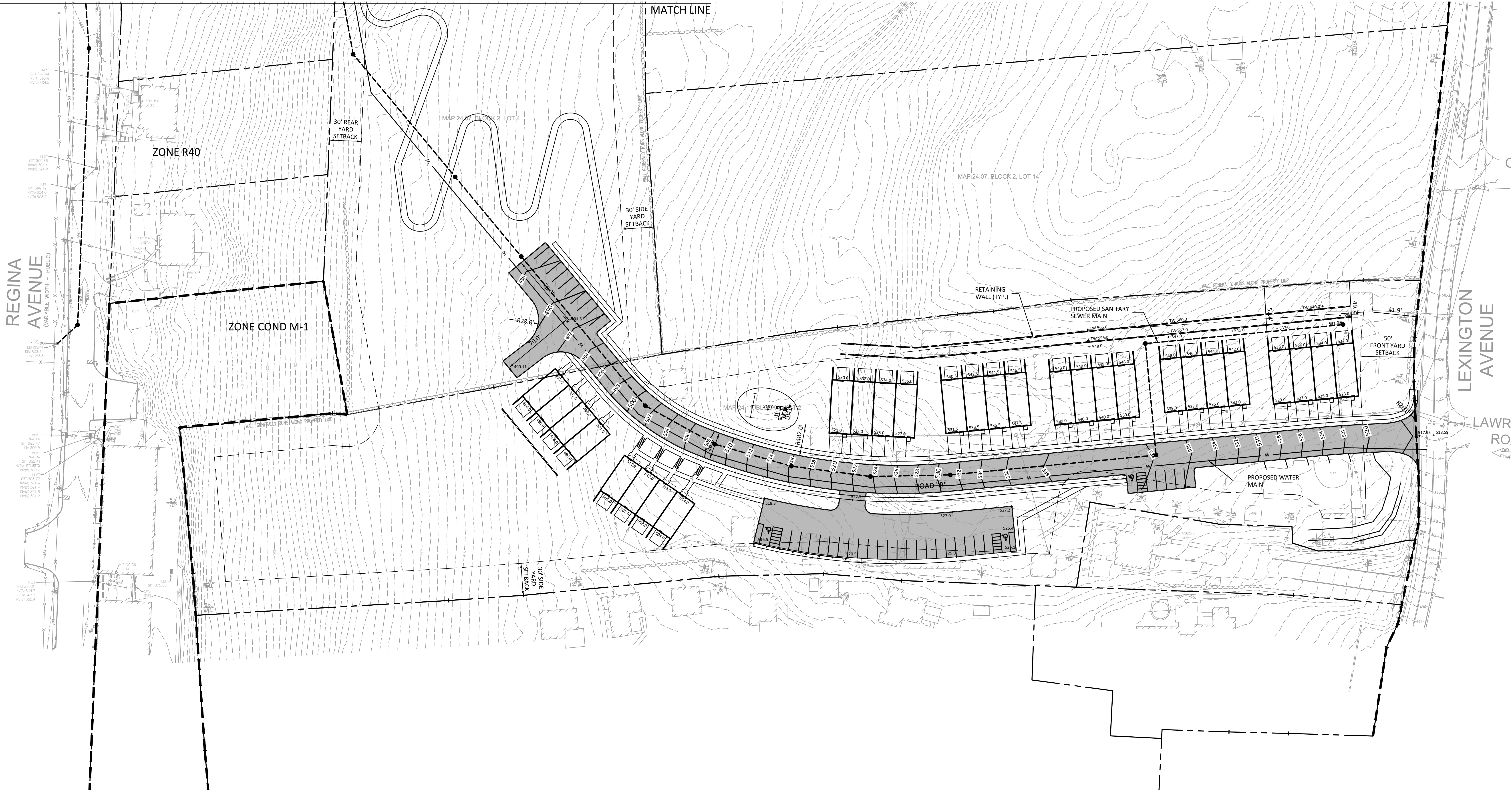
No.	Date	Description
	04/01/25	RRUSP SPECIAL PERMIT

**PRELIMINARY SITE PLAN**

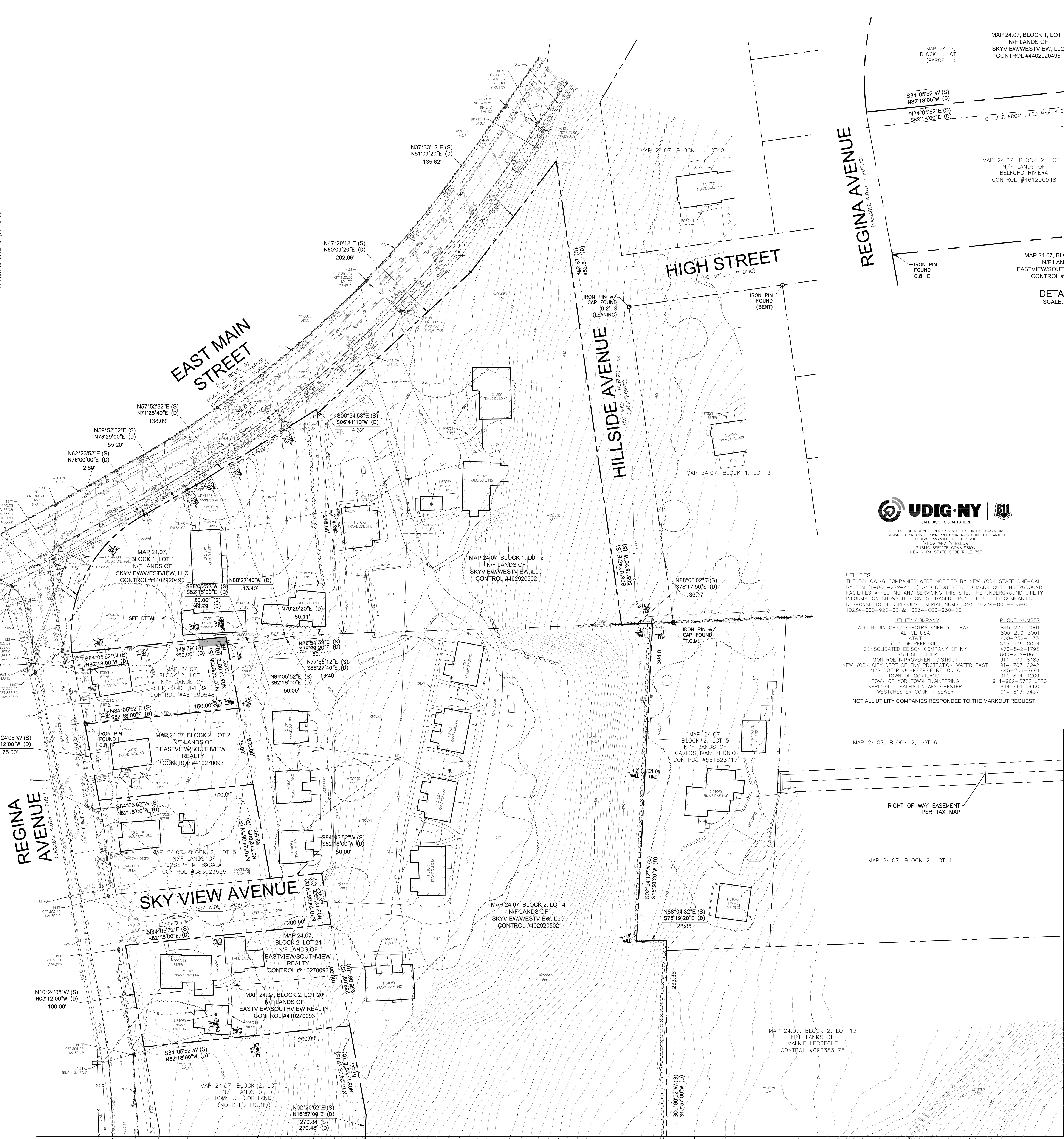
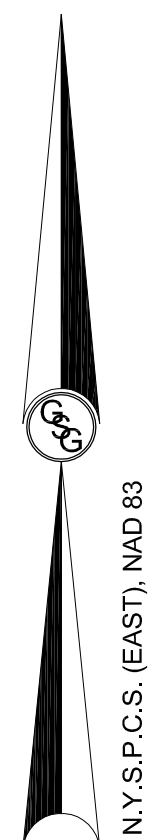
Project number	GBDS 2329-DTSP 1085
Date	04/01/25
Drawn by	RPP
Checked by	GMS

**SP-102**

Scale 1" = 40'







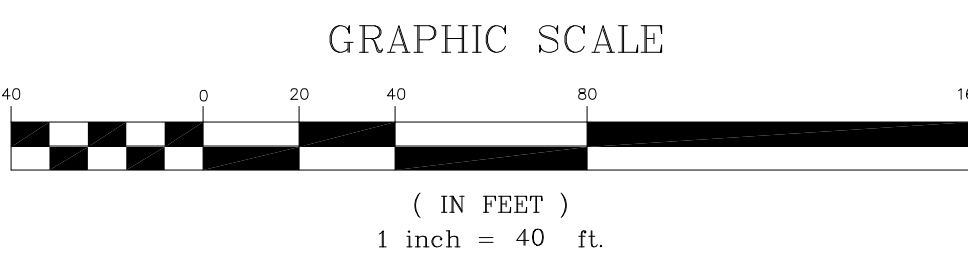
#### ABBREVIATIONS

AC	AIR CONDITIONER
AL	AREA LIGHT
ASC	ASPHALT CURB
ASPH	ASPHALT
BBC	BELGIAN BLOCK CURB
BLD	BUILDING
BOL	BOLLARD
CBW	CONCRETE BLOCK RETAINING WALL
CC	CONCRETE CURB
CNG	CURB / FENCE CHANGE
CLF	CHAIN LINK FENCE
COL	COLUMN
CONC	CONCRETE
CRW	CONCRETE RETAINING WALL
COW	CONCRETE SIDEWALK
CWS	CONCRETE WHEEL STOP
DE	DEED
DC	DEPRESSED CURB
DWL	DASHED WHITE LINE
DYL	DOUBLE YELLOW LINE
DOP	EDGE OF PAVEMENT
FIM	FILLED MAT
FTH	FENCE
FDB	FILLED WITH DIRT/DEBRIS
GW	GUY WIRE
GR	GRATE
GR	GRATE
HYD	HYDRANT
INV	INVERT
ISRW	IRREGULAR STONE RETAINING WALL
LSA	LANDSCAPED AREA
MB	MAIL BOX
MC	METAL COVER
MF	METAL FENCE
MGR	METAL GUIDE RAIL
MA	MANHOLE
MP	METAL POLE
NR	METAL RAILING
NV	NO PIPES VISIBLE
PR	POST & RAIL FENCE
RD	ROOF DRAIN
REC	RECESSED
SV	SURVEY
SB	STOP BAR
SCRW	STONE & CONCRETE RETAINING WALL
SCW	STONE & CONCRETE WALL
SF	STOCKADE FENCE
TRNS	TRANSFORMER
TYP	TYPICAL
UB	UTILITY BOX
UP	UTILITY POLE
UTD	UNABLE TO OBTAIN
VF	VINYL FENCE
WL	WHITE LINE
WP	WOOD POST
WR	WOOD RAILING
YL	YELLOW LINE
YS	YELLOW STRIPING

#### MAP LEGEND

---	PROPERTY LINE
---	EXIST. BUILDING FOOTPRINT & DOORWAY AT GROUND LEVEL
---	FENCE
---	GUIDE RAIL
---	STONE WALL
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
---	EXIST. TOP OF CURB ELEVATION
---	EXIST. GUTTER ELEVATION
---	EXIST. TOP OF WALL ELEVATION
---	EXIST. BOTTOM OF WALL ELEVATION
---	DOOR SILL ELEVATION
---	GARAGE FLOOR ELEVATION
---	APPROXIMATE LOCATION UNDERGROUND WATER LINE PER UTILITY MARKOUT
---	APPROXIMATE LOCATION UNDERGROUND GAS LINE PER UTILITY MARKOUT
---	APPROXIMATE LOCATION UNDERGROUND ELECTRIC LINE PER UTILITY MARKOUT
---	APPROXIMATE LOCATION UNDERGROUND TELEPHONE LINE PER UTILITY MARKOUT
---	APPROXIMATE LOCATION UNDERGROUND FIBER OPTIC LINE PER UTILITY MARKOUT
---	APPROXIMATE LOCATION UNDERGROUND CABLE TELEVISION LINE PER UTILITY MARKOUT
---	APPROXIMATE LOCATION UNDERGROUND STORM LINE & SIZE PER UTILITY MARKOUT
---	APPROXIMATE LOCATION UNDERGROUND SANITARY LINE PER UTILITY MARKOUT
---	APPROXIMATE LOCATION UNDERGROUND UNKNOWN LINE PER UTILITY MARKOUT
---	HYDRANT
---	WATER VALVE
---	GAS VALVE
---	AREA LIGHT
---	MANHOLE
---	INLET
---	MONITORING WELL
---	OVERHEAD WIRES
---	UTILITY POLE
---	GUY WIRE
---	BOLLARD
---	SIGN
---	NOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
---	WOODS LINE

SEE SHEET 2 OF 2 FOR NOTES & REFERENCES



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DATE	SCALE	DRAWN	CHECKED
12-23-2024	1"=40'	R.M.C.	D.A.H./C.J.O.
FIELD DATE	FIELD BOOK	PAGE	FIELD CREW
11-05-2024	219	38	D.A.H./C.J.O.
11-17-2024	219	48-52	D.A.H./C.J.O.
11-20-2024	219	64	D.A.H./C.J.O.
12-23-2024	219	102	D.A.H./C.J.O.
FILE NO.	DRAWING NAME/SHEET NO.		
G24160	G24160.DWG	1	OF 2

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GREGORY S. GALLAS  
NEW YORK PROFESSIONAL LAND SURVEYOR #50124

DATE

BOUNDARY & TOPOGRAPHIC SURVEY  
BLOCK 1, LOTS 1 & 2, MAP 24.7  
3211 & 3219 EAST MAIN STREET  
BLOCK 2, LOTS 2, 4, 14, 20 & 21, MAP 24.7  
9, 17 & 19 REGINA AVENUE, 5 SKY VIEW AVENUE AND  
291 LEXINGTON AVENUE  
BLOCK 2, LOT 1, MAP 24.11  
3275 LEXINGTON AVENUE  
MOHEGAN LAKE (TOWN OF CORTLANDT)  
WESTCHESTER COUNTY  
STATE OF NEW YORK

GALLAS  
SURVEYING  
GROUP

2885 U.S. ROUTE 1  
NORTH BRUNSWICK, NJ 08902  
TEL: 732-422-8700  
FAX: 732-940-8786  
www.gallasurvey.com





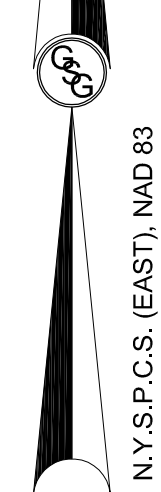
VICINITY MAP

NOTES:

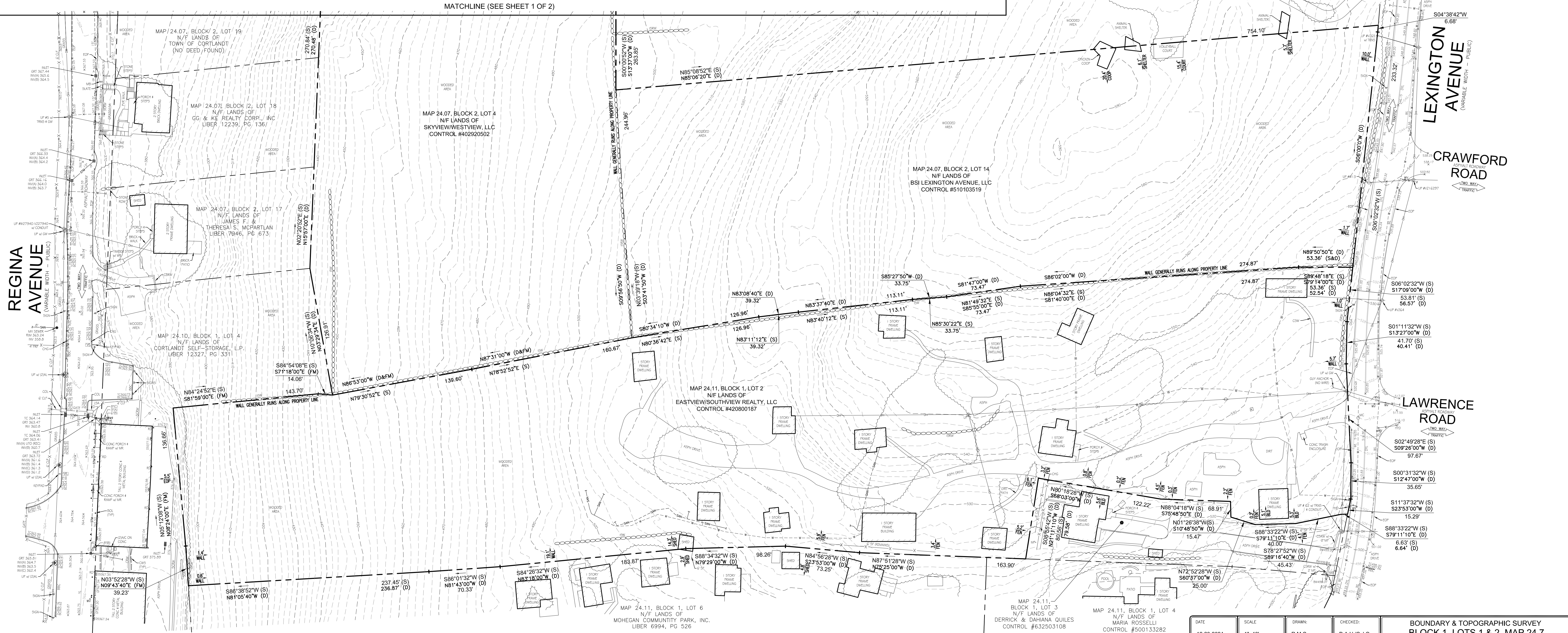
- PROPERTY KNOWN AND DESIGNATED AS MAP 24.07, BLOCK 1, LOTS 1 & 2, MAP 24.07, BLOCK 2, LOTS 2, 4, 14, 20, & 21 AND MAP 24.11, BLOCK 1, LOT 2 ON THE OFFICIAL TAX MAP FOR THE TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK.
- AREA MAP 24.07, BLOCK 1, LOT 1: 38.333 S.F. OR 0.8800 AC.  
AREA MAP 24.07, BLOCK 1, LOT 2: 85.887 S.F. OR 1.9717 AC.  
AREA MAP 24.07, BLOCK 2, LOT 2: 11,215 S.F. OR 0.2575 AC.  
AREA MAP 24.07, BLOCK 2, LOT 4: 272,781 S.F. OR 6.2622 AC.  
AREA MAP 24.07, BLOCK 2, LOT 14: 170,382 S.F. OR 3.9109 AC.  
AREA MAP 24.07, BLOCK 2, LOT 20: 9,989 S.F. OR 0.2289 AC.  
AREA MAP 24.07, BLOCK 1, LOT 21: 9,989 S.F. OR 0.2289 AC.  
AREA MAP 24.11, BLOCK 1, LOT 2: 248,429 S.F. OR 5.7061 AC.  
TOTAL AREA: 847,947 S.F. OR 19.4682 AC.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- ON SITE UTILITIES WERE MARKED OUT BY LEVEL A UNDERGROUND SOLUTIONS ON 11-11-2024.
- THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT AND IS SUBJECT TO THE COVENANTS, RESTRICTIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
- ELEVATIONS ARE BASED UPON NAVD 88 (BENCHMARK: NGS MONUMENT D 76, PID LX1281, ELEV: 433.35 (NAVD 88)).
- BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN) PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NOS. 36119C0029F & 36119C0030F, EFFECTIVE DATE: 09-28-2007, OBTAINED FROM FEMA NFWL WEB SERVICE ON 10-23-2024.
- THE LOCATION AND EXTENTS OF UNDERGROUND TANKS AND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.

REFERENCES:

- MAP OF SUNNYSIDE PARK, LAKE MOHEGAN, TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK, THE PROPERTY OF JANE CONGLIN - JESSIE TRAVIS, PREPARED BY PERSKILL ENGINEERING, DATED 03-10-08 AND FILED AS MAP NO. 2291 ON 04-12-1921.
- SURVEY OF PROPERTY SITUATE IN TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK, GRATZ-ROGE-CANOR PROPERTIES, COUNTY SHEET NO. 277, COUNTY BLOCK NO. 11022, PREPARED BY J.W. IRISH, PE & LS, DATED 06-05-1945 AND FILED AS MAP NO. 5912 ON 06-20-1945.
- MAP NO. ONE, WESTVIEW GARDENS, TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK, COUNTY SHEET NO. 277, COUNTY BLOCK NO. 11022, PREPARED BY J.W. IRISH, PE & LS, DATED 06-11-1946 AND FILED AS MAP NO. 6109 ON 07-03-1946.
- SUBDIVISION MAP OF REGINA ESTATES, SITUATE IN TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK, COUNTY SHEET NO. 277, COUNTY BLOCK NO. 11022, PREPARED BY BUNNY ASSOCIATES, DATED 06-05-1969 AND FILED AS MAP NO. 1600 ON 05-13-1969.
- CAD FILE FOR CORTLAND MANOR, NOVEMBER 14, 2024 TOPOGRAPHIC MAPPING, PREPARED BY COOPER AERIAL SURVEYS CO., RECEIVED ON 12-16-2024.



MATCHLINE (SEE SHEET 1 OF 2)

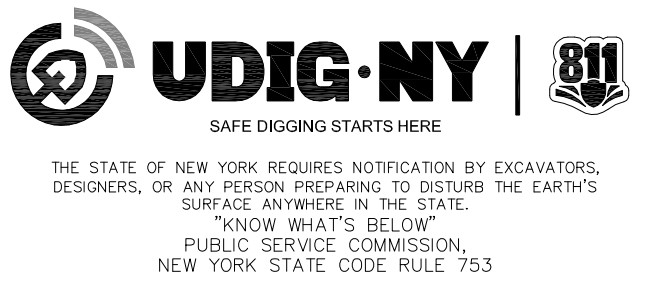


UTILITIES:  
THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW YORK STATE ONE-CALL SYSTEM (1-800-272-4480) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 10234-000-903-00, 10234-000-920-00 & 10234-000-930-00

UTILITY COMPANY  
ALCONQUIN GAS/ SPECTRA ENERGY - EAST  
ALICE USA  
CITY OF PEKESKILL  
CONSOLIDATED EDISON COMPANY OF NY  
FIRSTLIGHT FIBER  
MONTROE IMPROVEMENT DISTRICT  
NEW YORK CITY DEPT OF ENV PROTECTION WATER EAST  
NYS DOT FINGERLAKES REGION S  
TOWN OF CORTLANDT  
TOWN OF YORKTOWN ENGINEERING  
VERIZON - VALHALLA WESTCHESTER  
WESTCHESTER COUNTY SENIOR

PHONE NUMBER  
845-273-3001  
800-279-3001  
800-252-1133  
845-736-8024  
470-842-1795  
800-282-8600  
914-403-8485  
914-767-2922  
845-206-7991  
914-804-4209  
845-962-7272 x220  
844-661-0660  
914-813-5437

NOT ALL UTILITY COMPANIES RESPONDED TO THE MARKOUT REQUEST



SEE SHEET 1 OF 2 FOR MAP LEGEND & ABBREVIATIONS  
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GRAPHIC SCALE  
0 20 40 60 80 100 120 140 160  
( IN FEET )  
1 inch = 40 ft.

DATE	SCALE	DRAWN	CHECKED
12-23-2024	1"=40'	R.M.C.	D.A.H./C.J.O.
FILE NO.	DRAWING NAME/SHEET NO.	DATE	
G24160	G24160.DWG	2 OF 2	

11-05-2024	219	38	DAJ/K
11-17-2024	219	48-52	DAJ/K
11-20-2024	219	64	D.A.
12-23-2024	219	102	

BOUNDARY & TOPOGRAPHIC SURVEY BLOCK 1, LOTS 1 & 2, MAP 24.7 3211 & 3219 EAST MAIN STREET BLOCK 2, LOTS 2, 4, 14, 20 & 21, MAP 24.7 9, 17 & 19 REGINA AVENUE, 5 SKY VIEW AVENUE AND 291 LEXINGTON AVENUE BLOCK 2, LOT 1, MAP 24.11 3275 LEXINGTON AVENUE MOHEGAN LAKE (TOWN OF CORTLANDT) WESTCHESTER COUNTY STATE OF NEW YORK	GALLAS SURVEYING GROUP	2885 U.S. ROUTE 1 NORTH BRUNSWICK, NJ 08902 TELE: 732-422-8700 FAX: 732-940-8786 www.gallasurvey.com
---	------------------------------	--



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Cortlandt, New York

**BEB Capital**  
26 Harbor Park Drive  
Port Washington, NY 11050

**GB<sup>ds</sup>**

One North Broadway  
White Plains, NY 10601

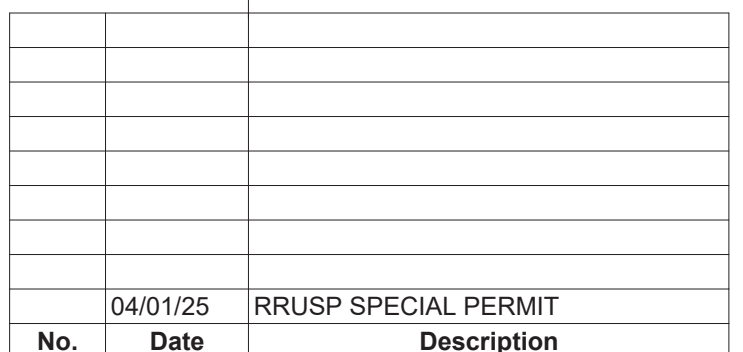
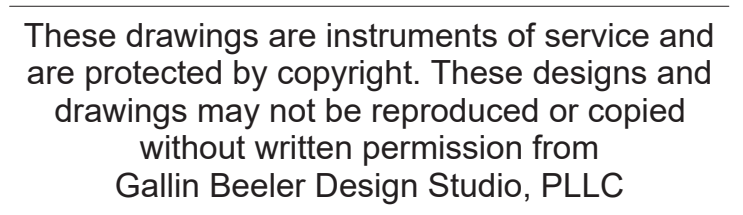
2865 US Route 1  
North Brunswick, NJ 08902

81 Main Street, Suite 415  
White Plains, NY 10601

**MEP Engineer:**

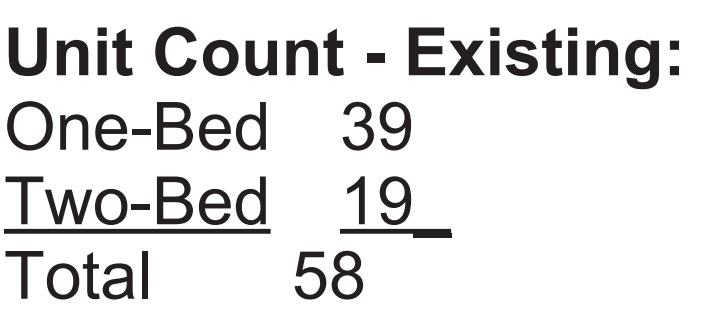
## CONSTRUCTION Manager

## Key Plan



Project number	2329
Date	4/1/25
Drawn by	KG
Checked by	RB

Scale	N.T.S.
-------	--------





3275/3291 Lexington Avenue, 5 Skyview Road,  
9/17/19 Regina Avenue, 3211/3219 East Main St.  
Cortlandt, New York

**Owner:**

---

**BEB Capital**  
26 Harbor Park Drive  
Port Washington, NY 11050

**Architect:**

---

**GB<sup>ds</sup>**  
GALLIN BEELER DESIGN STUDIO  
23 Washington Ave, Pleasantville, NY 10570

**CIVIL Engineer:**

---

**DTS Provident Design Engineering**  
One North Broadway  
White Plains, NY 10601

**SURVEYOR:**

---

**Gallas Surveying Group, LLC**  
2865 US Route 1  
North Brunswick, NJ 08902

**ATTORNEY:**

---

**Zarin & Steinmetz, LLP**  
81 Main Street, Suite 415  
White Plains, NY 10601

**Structural Engineer:** \_\_\_\_\_

MEP Engineer: \_\_\_\_\_

LANDSCAPE Architect:

## CONSTRUCTION Manager

## Key Plan



### Skyview - Units 1-4

## USE - MULTI-FAMILY



### Skyview - Units 1-4

USE - MULTI-FAMILY



Eastview – Unit 11

## USE - SINGLE-FAMILY



### Skyview - Units 5 & 6

USE - DUPLEX



### Skyview - Units 7 & 8

USE - DUPLEX



Eastview – Unit 15

USE - SINGLE-FAMILY

## RRUSP CALCULATION

Unit increase is limited to 20% more than existing  
Existing Units = 58

Calculation:  $58 \times 1.2 = 69.6$  Units



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No.	Date	Description

## EXISTING BUILDINGS & USES - PROJECT SITE

Project number	2329
Date	4/1/25
Drawn by	KG
Checked by	RB

G05

Scale	N.T.S.
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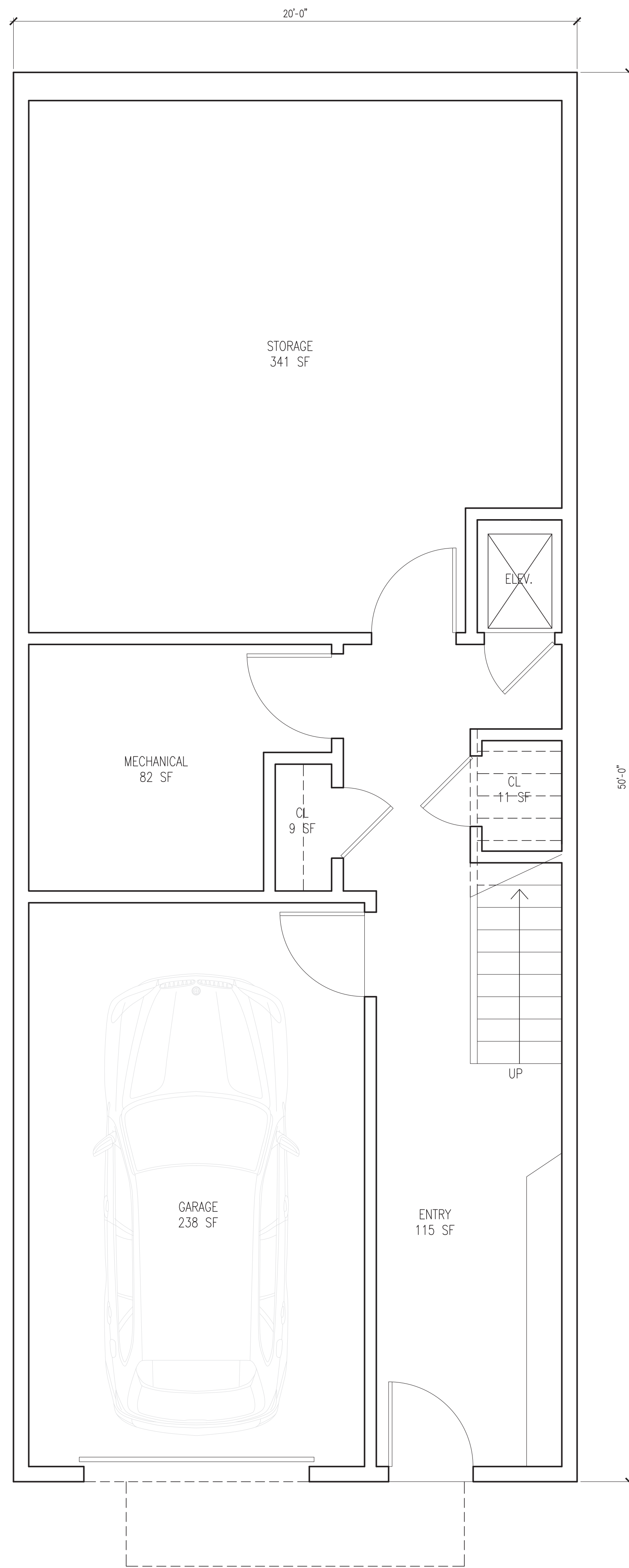




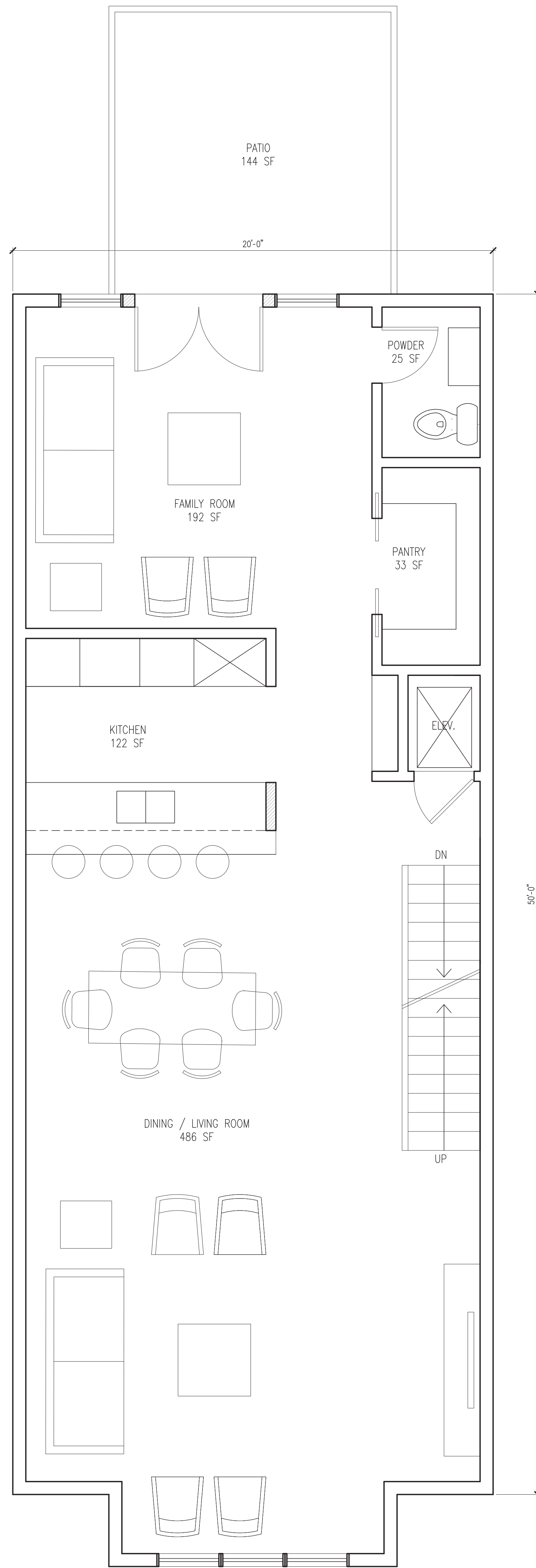
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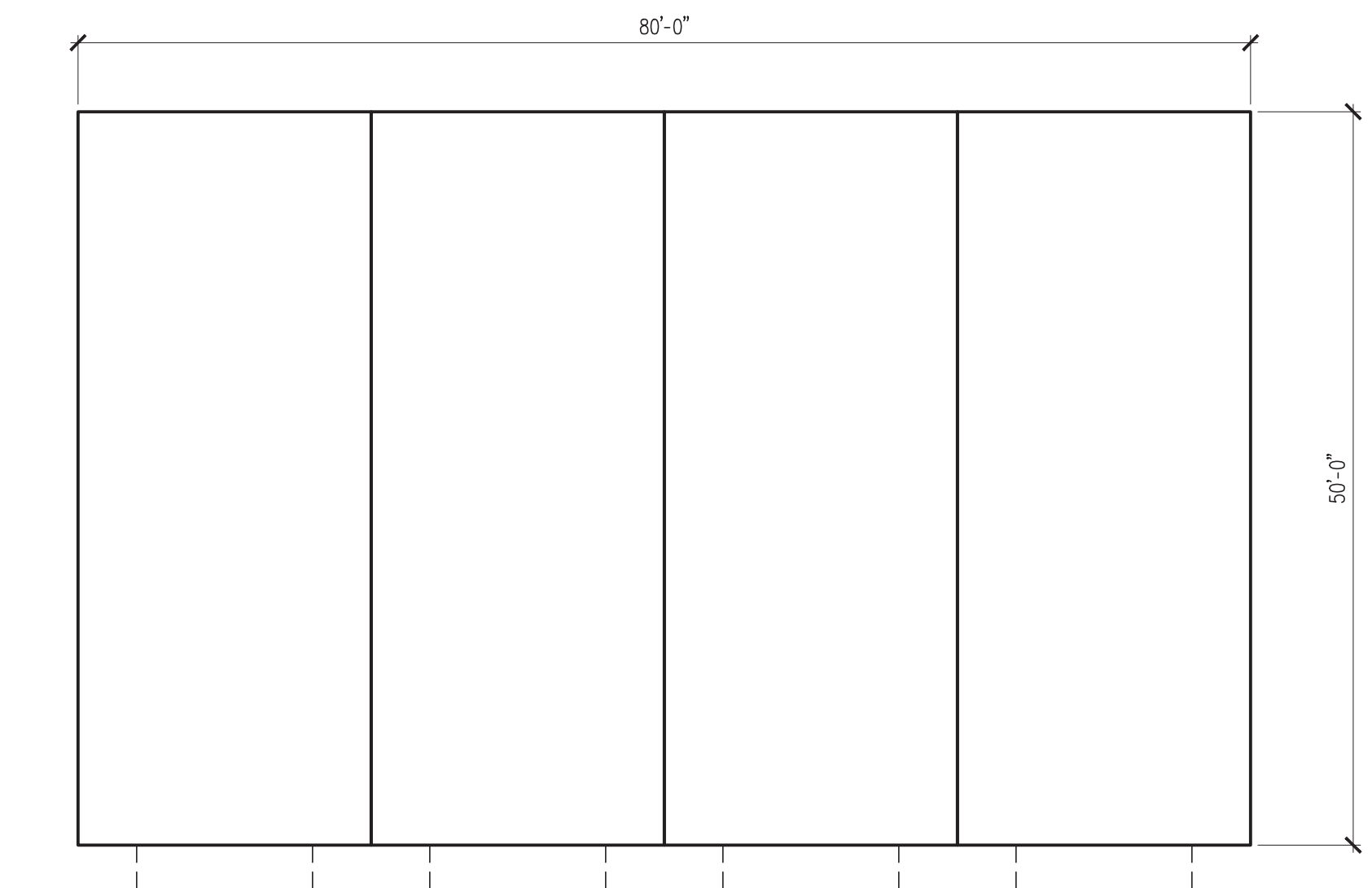
<u>TYPE A UNITS -- UPHILL</u>	
3 BEDROOM	
2.5 BATHROOM	
LOWER LEVEL AREA	1,000 SF
MAIN LEVEL AREA	1,036 SF
UPPER LEVEL AREA	1,036 SF
TOTAL AREA	3,072 SF
FOOTPRINT (ONE UNIT)	
QUANTITY TYPE B UNITS	48



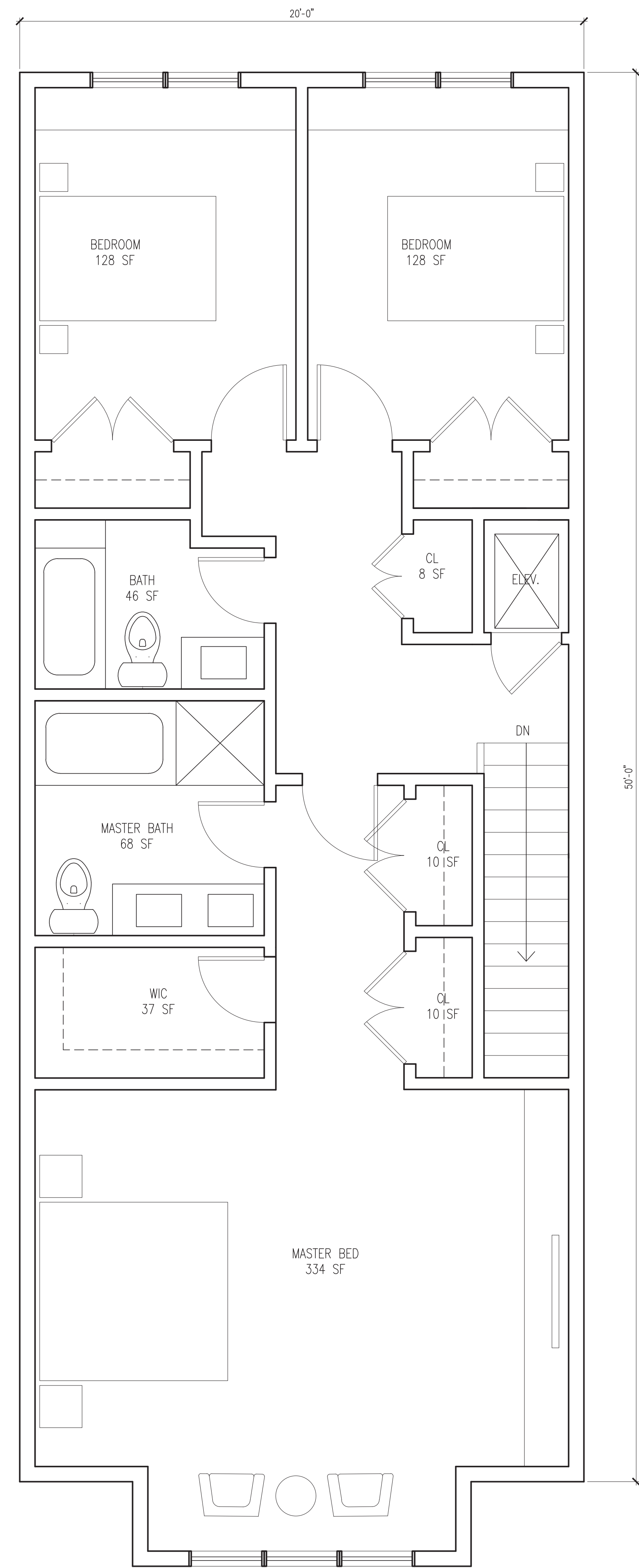
1 LOWER LEVEL PLAN  
SCALE 1/4" = 1' - 0"



2 MAIN LEVEL PLAN  
SCALE 1/4" = 1' - 0"



4 TYPICAL CLUSTER PLAN  
SCALE 3/32" = 1'-0"



3 UPPER LEVEL PLAN  
SCALE 1/4" = 1' - 0"

# SKYVIEW

3275/3291 Lexington Avenue, 5 Skyview Road,  
9/17/19 Regina Avenue, 3211/3219 East Main St.  
Cortlandt, New York

**Owner:**

---

**BEB Capital**  
26 Harbor Park Drive  
Port Washington, NY 11050

**Architect:**

**GB<sup>ds</sup>**  
GALLIN BEELER DESIGN STUDIO  
23 Washington Ave, Pleasantville, NY 10570

**CIVIL Engineer:** \_\_\_\_\_  
**DTS Provident Design Engineering**

One North Broadway  
White Plains, NY 10601

**SURVEYOR:** \_\_\_\_\_

**Gallas Surveying Group, LLC**  
2865 US Route 1  
North Brunswick, NJ 08902

ATTORNEY:

**Zarin & Steinmetz, LLP**  
81 Main Street, Suite 415  
White Plains, NY 10601

## Key Plan



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Gallin Beeler Design Studio, PLLC

	04/01/25	RRUSP SPECIAL PERMIT
<b>No.</b>	<b>Date</b>	<b>Description</b>

## TYPE A - UPHILL FLOOR PLANS

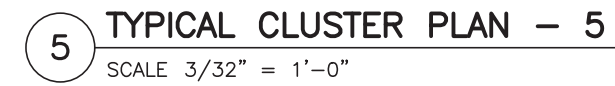
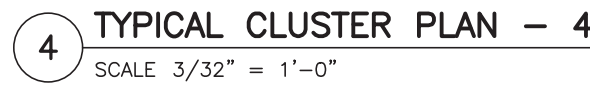
Project number	2329
Date	4/1/25
Drawn by	KG
Checked by	RB

A10

Scale	AS NOTED
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FOOTPRINT (ONE UNIT)	800 SF
QUANTITY TYPE B UNITS	22



Scale	AS NOTED
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3291 Lexington Avenue, 5 Skyview Road,  
39 Regina Avenue, 3211/3219 East Main St.  
ndt, New York

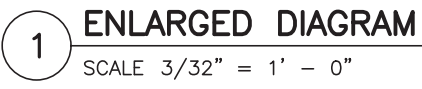
**GB<sup>ds</sup>**  
GALLIN BEELER DESIGN STUDIO  
23 Washington Ave, Pleasantville, NY 10570

**SURVEYOR:**

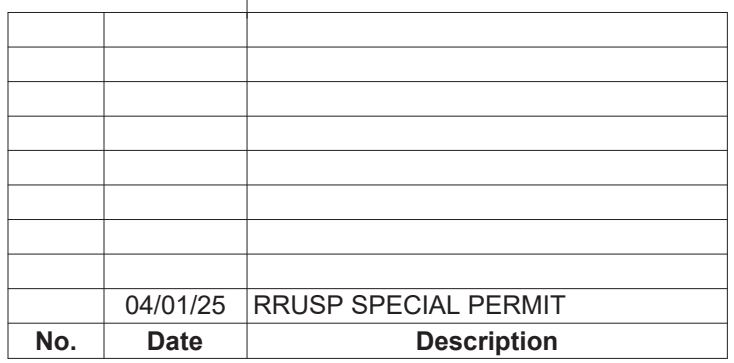
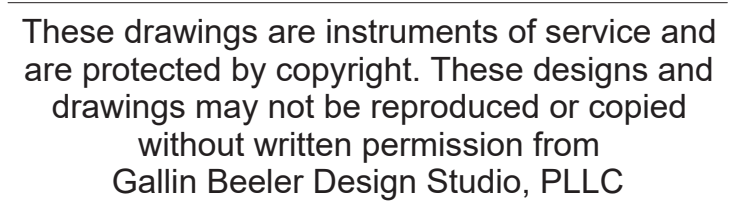
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**Gallas Surveying Group, LLC**  
2865 US Route 1  
North Brunswick, NJ 08902

### Key Plan



### PROPOSED BUILDING HEIGHT CALCULATION



Project number	2329
Date	4/1/25
Drawn by	KG
Checked by	RB

Scale AS NOTED



## SKYVIEW

3275/3291 Lexington Avenue, 5 Skyview Road,  
9/17/19 Regina Avenue, 3211/3219 East Main St.  
Cortlandt, New York

Owner: \_\_\_\_\_

**BEB Capital**  
26 Harbor Park Drive  
Port Washington, NY 11050  
**Architect:**

GB<sup>ds</sup>

**GALLIN BEELER DESIGN STUDIO**  
23 Washington Ave, Pleasantville, NY 10570

**CIVIL Engineer:**

**DTS Provident Design Engineering**

One North Broadway  
White Plains, NY 10601

**SURVEYOR:** \_\_\_\_\_

**Gallas Surveying Group, LLC**

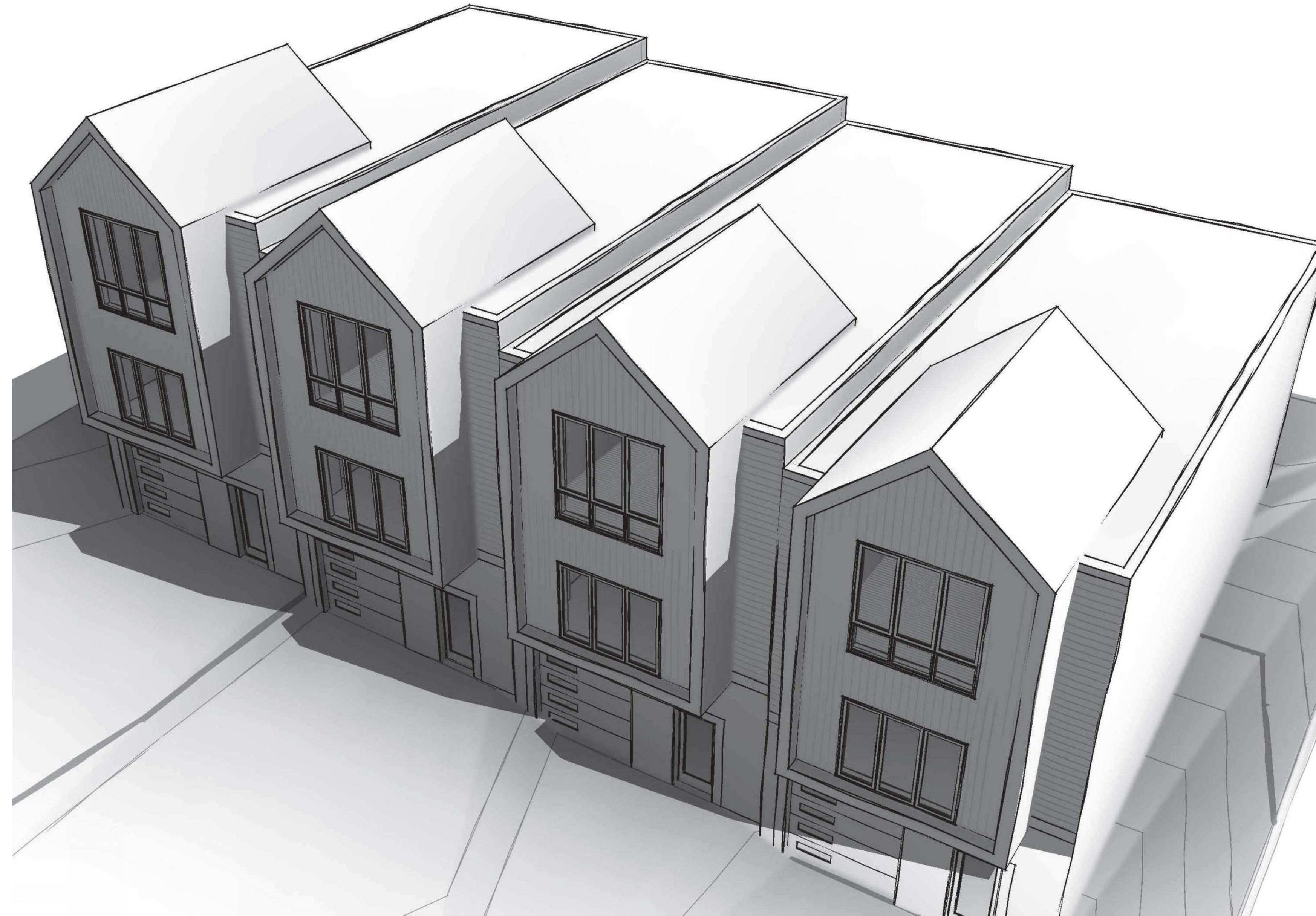
2865 US Route 1  
North Brunswick, NJ 08902

ATTORNEY:

**Zarin & Steinmetz, LLP**  
81 Main Street, Suite 415  
White Plains, NY 10601



1 TYPE A - UPHILL APPROACH  
SCALE N.T.S.



2 TYPE A - UPHILL AERIAL  
SCALE N.T.S.



3 TYPE B - DOWNHILL APPROACH  
SCALE N.T.S.



4 TYPE B - DOWNHILL AERIAL  
SCALE N.T.S.



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Gallin Beeler Design Studio, PLLC

No.	Date	Description
	04/01/25	RRUSP SPECIAL PERMIT

## EXTERIOR CHARACTER STUDY

Project number	2329
Date	4/1/25
Drawn by	KG
Checked by	RB

A21

Scale

AS NOTED



April 8, 2025

**Via OpenGov & Email (Laroues@townofcortlandt.com)**

Dr. Richard H. Becker  
Supervisor of the Town of Cortlandt  
and Members of the Town Board  
1 Heady Street  
Cortlandt Manor, New York 10567

***Re:   BEB Capital LLC (Skyview)  
      RRUSP Application & Petition for Zoning Text Amendment***

Dear Supervisor Becker and Members of the Town Board:

Our firm represents BEB Capital LLC in connection with its Petition for Zoning Text Amendment and application for a Residential Reuse Special Permit (“RRUSP”) that would facilitate the development of 70 townhome units (“Project”).

We make this submission in advance of the Town Board’s April 22, 2025 meeting for an introductory presentation of the Project and Petition, and to receive any feedback the Board may have. Architectural and engineering plan sets, an Environmental Assessment Form (FEAF), and Petition for Zoning Text Amendment (and other required application documents) are enclosed for your review. As discussed below and as shown in the enclosed documents, our Development Team maintains the Project furthers the intent and purpose of the RRUSP and will contribute to the aesthetic qualities and vibrancy of the Cortlandt Boulevard corridor.

The Project satisfies each of the RRUSP eligibility requirements set forth in Town Zoning Ordinance Section 307-94.2(B). Specifically, the Applicant proposes to redevelop a 15.6-acre site fronting East Main Street (U.S. Route 6), Regina Avenue, and Lexington Avenue.<sup>1</sup> The site is currently improved with a mix of small, dilapidated residential structures, including one-, two-, multi-family dwellings, that combine to provide 58 dwelling units. The Applicant proposes to demolish these existing structures and construct 70 townhome units in four- and five-unit clusters, of which 12 units will meet Westchester County’s definition of affordable housing. Accordingly, each of the RRUSP regulation’s eligibility criteria are met.

---

<sup>1</sup> The site is comprised of Tax IDs 24.11-1-2; 24.7-2-2, 4, 20 & 21; and 24.1-1-1 & 2.



By demolishing the existing bungalow-type dwellings and constructing new town homes in a clustered format, the Project also satisfies each of the purposes of the RRUSP. The Project would (i) replace pre-existing nonconforming or dilapidated housing with a new for-sale residential development, (ii) provide affordable housing within a multifamily development, (iii) enhance the visual appearance of the Town, and (iv) provide supply that meets the market's demand for "middle housing" – "for-sale" housing of appropriate size, location, and affordability.

The Project would require two technical amendments to the Zoning Ordinance – an increase in the average number of bedrooms per dwelling unit from 2 to 2.75, and an increase in the maximum building coverage the Town Board may permit from 50% over existing circumstances to 100%. These changes to "zoning bulk criteria" enable BEB Capital to provide a better-quality dwelling which can accommodate both a small family or empty nesters. Accordingly, enclosed is a Petition for Zoning Text Amendment seeking to amend Sections 307-94.2(B)(3) and 307-94.2(B)(4) of the Town's Zoning Ordinance. The Text Amendments would not only permit the development of the Applicant's proposed 70-unit town home Project but would also ensure that future RRUSP developments are designed to satisfy the market demand and further the purposes of the RRUSP by providing affordable housing, as well as other benefits more fully explained in the Petition. Should your Board not adopt the zoning text changes, our Development Team would still process a RRUSP application for the site, it would however be somewhat inconsistent with the suggestions made by your Board at our pre-submission work session.

We respectfully request that the Town Board entertain the enclosed Petition simultaneously and in conjunction with the RRUSP application. Further, we ask that the Petition and RRUSP application be added to the Town Board's April 22<sup>nd</sup> meeting agenda for an initial presentation and to begin the SEQRA review process. To initiate the review processes, enclosed are (i) a Petition for Zoning Text Amendment, dated April 4, 2025, and (ii) the following RRUSP application documents:

1. Site Plan Set
  - a. Engineering Plans, last revised Apr. 1, 2025 (5 pages)
  - b. Survey, last revised Dec. 23, 2024 (2 pages)
  - c. Architectural Plans, last revised Apr. 1, 2025 (7 pages)
2. Full Environmental Assessment Form (FEAF), dated Apr. 4, 2025
3. Adjoining Owner List
4. Title Report (Metropolitan Abstract Corporation, Title No. W352963)
5. Owner Authorizations



We look forward to presenting this Project to your Board. Should you have any questions or wish to discuss, please contact our office.

Very truly yours,

ZARIN & STEINMETZ LLP



By:

---

David S. Steinmetz  
Brian T. Sinsabaugh

Encls.

Copied:

Laroue Shatzkin, Town Clerk  
Chris Kehoe, AICP, Dir. of Planning & Community Development  
Thomas F. Wood, Esq., Town Attorney  
Michael Cunningham, Esq., Deputy Town Attorney  
DTS Provident Engineers  
Gallin Beeler Design Studio



TOWN OF CORTLANDT: TOWN BOARD  
WESTCHESTER COUNTY: STATE OF NEW YORK

----- x

In the Application of: :

BEB CAPITAL, LLC :

For an Amendment to the Zoning Ordinance of the  
Town of Cortlandt Pursuant to Section 307-97 :  
of the Zoning Ordinance of the Town of Cortlandt

----- x

**PETITION FOR  
ZONING  
TEXT AMENDMENT**

Petitioner BEB Capital (“Petitioner”), by its attorneys Zarin & Steinmetz LLP,  
respectfully petitions the Town Board of the Town of Cortlandt (“Town”) as follows:

**Summary of Zoning Petition**

1. This Petition seeks an amendment of the Town Zoning Ordinance empowering the Town Board to allow properties that are eligible for a Residential Reuse Special Permit (“RRUSP”) to be developed with a maximum building coverage not to exceed 200% of the existing building coverage, and to increase the average bedroom count per unit to 2.75.

2. Petitioner proposes to construct a seventy (70)-unit residential development known as “Skyview” (the “Project”). The Project is located on a 15.6-acre site fronting East Main Street (U.S. Route 6), Lexington Avenue, and Regina Avenue, on property designated on the Town of Cortlandt Tax Map as Section 24.07, Block 1, Lots 1 & 2, Section 24.07, Block 2, Lots 2, 4, 14, 20 & 21, and Section 24.11 Block 1 Lot 2 (“Property”).

3. Petitioner proposes to construct the Project with forty-two (42) units having access to and from East Main Street (U.S. Route 6) and Regina Avenue, and the remaining twenty-eight (28) units having access to and from Lexington Avenue. A walking trail will connect the two portions of the Project, providing outdoor recreational space.



4. Petitioner is confident that the proposed units would provide much needed, modern residential housing, catering to a diverse population of individuals and small families.

5. The proposed Zoning Amendment would also facilitate the Town's implementation of important housing accessibility and affordability, recreational and/or sustainability goals and policies identified in the Town's Comprehensive Plan.

6. Accordingly, for the reasons set forth in this Petition and accompanying materials, Petitioner respectfully requests that the Town Board accept this Petition, and commence the requisite environmental, planning, and legislative review procedures in connection with the Town Board's consideration and ultimate adoption of the Zoning Amendment, and the Planning Board's review and approval of a Site Plan and any other approvals as needed. Petitioner also respectfully request that you entertain this zoning text amendment simultaneously and in conjunction with the RRUSP application that Petitioner has also filed with the Town Board.

### **Petitioner**

7. Petitioner BEB Capital, LLC is a limited liability company organized under the laws of the State of New York and has its principal office at 28 Harbor Park Drive, Port Washington, New York 11050.

8. Petitioner is a real estate development and investment firm with a portfolio of industrial, office and multifamily properties across the Northeastern U.S., and has a track record of successful residential developments throughout the New York Metropolitan Area.

### **Property**

9. The Property currently consists of seven (7) tax lots, having a total area of approximately 15.6 acres, which are located partially within the Town's Single-Family



Residential (“R-40”) District and partially within the Designed Commercial (“CD”) District zones.

10. Eastview/Southview Realty LLC is the owner of portions of the Property identified on the Town of Cortlandt Tax Maps as Section 24.11 Block 1 Lot 2 and Section 24.7 Block 2, Lots 2, 20 and 21.

11. Skyview/Westview Realty LLC is the owner of portions of the Property identified on the Town of Cortlandt Tax Maps as Section 24.7 Block 2, Lot 4 and Section 24.7 Block 1 Lots 1 and 2.

12. The Property is currently improved with fifty-eight (58) residential units, including single-family, two-family and multi-family dwellings.

13. The Project will significantly enhance the aesthetics of the site through the reconstruction of new, townhouse style residential units and landscaping, as intended by the RRUSP regulations.

### **Proposed Project**

14. In order to meet market demand, Petitioner seeks to construct seventy (70) residential townhouse-style units on the Property, replacing the existing outdated and dilapidated structures currently existing on the Property.

15. Petitioner refers the Town Board to the enclosed Overall Site Plan (Dwg. SP-100), attached as **Exhibit “A.”**

16. The Project will connect to public water supplied by Northern Westchester Joint Waterworks and to public sewer utilizing the Peekskill Wastewater Treatment Facility, as the Property is located within the Peekskill Sewer District.



17. The Project also proposes the installation of on-site stormwater systems, including on-site stormwater detention and infrastructure directing excess flow to the existing storm sewer located in the public right-of-way.

18. The proposed units are a mix of two- and three-bedroom townhouse style units, all being three levels, with an average of 2.7 bedrooms per unit.

19. All proposed units would have three levels, clustered in groups of four and five, with some designed to have a garage for a single vehicle. Those units without a garage have outdoor spaces similarly clustered on the site and within close walking distance of the unit entry.

20. While the Zoning Ordinance requires two (2) parking spaces per dwelling unit, which would require 140 spaces for the proposed 70-unit development, the Project includes 171 parking spaces to accommodate visitor parking. See Zoning Ordinance § 307-29(C).

21. The Project will also benefit the local area by increasing local housing supply, thereby addressing the depressed housing stock and enhancing housing affordability in the Town and the surrounding area.

22. Further, the Project's product, which is attractive to small families, will increase the Town's tax base and help to attract and retain skilled workers to the Town.

#### **Proposed Zoning Text Amendment**

23. The proposed Zoning Text Amendment would amend the RRUSP regulations in the Zoning Ordinance with regard to maximum building coverage and the average bedrooms per unit to permit the construction of dwelling units that reflect the market demand and will provide a more realistic and appropriate housing unit, while maintaining the environmental and aesthetic conditions of the area.



24. The RRUSP regulations, as they exist today, are simply no longer reflective of current market demands and therefore cannot further the Town's express goals of providing affordable housing in the Town. The Zoning Ordinance text amendments proposed by Petitioner will permit the type of development necessary to meet the market demand for housing in the Town, increasing housing supply and accordingly, enhancing housing affordability – key goals of the Town as stated in the Comprehensive Plan.

25. Currently, the RRUSP regulations state that “The maximum permitted gross building coverage over the existing coverage on any RRUSP site shall not exceed 25% of the existing gross building coverage, except that the Town Board may allow a greater maximum coverage based on existing circumstances not to exceed 50%.” See Zoning Ordinance §§ 307-94.2(B)(4).

26. The Zoning Ordinance defines Building Coverage as “the percentage of the area of a lot occupied by buildings, including accessory buildings.” See Zoning Ordinance § 307-4.

27. Application of this regulation to sites, such as the Property here, where the existing dwelling size is far below the sizes the market demands would be adverse to the purpose of the RRUSP.

28. Here, despite the Property's total lot area, the buildings located on the Property are small, with many having approximately 1,000 square feet of total floor area.

29. The proposed Zoning Amendment to the RRUSP regulations would empower the Town Board, in its discretion, to grant additional Building Coverage of up to 200% of the existing Building Coverage, as described in the draft Zoning Amendment attached as **Exhibit “B.”**

30. Without the Town Board's discretionary approval, the RRUSP regulations would continue to limit Building Coverage to a maximum of 25% over the existing Building Coverage.



31. The Zoning Amendment would also provide that in no event shall the total maximum Building Coverage permitted by the Town Board exceed 200% of the existing Building Coverage (i.e., 100% over the Property's existing building coverage).

32. In addition to Building Coverage, the proposed Zoning Text Amendment would amend the Zoning Ordinance RRUSP regulations to permit an average of 2.75 Bedrooms per Dwelling Unit. See Exhibit B.

33. Currently, the RRUSP regulations state that "The total number of bedrooms shall not exceed an average of two bedrooms per unit." See Zoning Ordinance §§ 307-94.2(B)(3).

34. Under the current RRUSP regulation, residential developments can only build three-bedroom units if the development includes one-bedroom units. Apart from rental developments, the use of one-bedroom units is no longer economically viable.

35. Where the development is for-purchase, current market trends require a minimum of two bedrooms per unit, with the preference of three bedrooms. This trend has become even more of a requirement post-COVID with many employees having the flexibility to work remotely, thus requiring a separate room for office use.

36. Thus, increasing the average number of bedrooms per unit from the current requirement of two bedrooms to the proposed requirement of three bedrooms is necessary to ensure marketability of the Project.

37. Increasing the average bedrooms per unit would also benefit the Town by providing the requisite housing to allow growing families and skilled workers to continue to reside in the Town.



### **Consistency With Comprehensive Plan**

38. Petitioner's proposal would be in furtherance of several planning and land use objectives identified in the Town's 2016 Sustainable Comprehensive Plan, *Envision Cortlandt*, adopted March 15, 2016 ("Comp. Plan").

39. One of the Town's key residential land use and housing goals is to "[c]reate a wide range of housing choices throughout the Town that provide for the needs of an increasingly diverse population throughout all life stages." (Comp. Plan at 50). The Comprehensive Plan's policy to address this goal is to "[i]dentify potential locations for additional multi-family and middle-housing opportunities throughout Town." (Id.).

40. The Comprehensive Plan recognizes that "[w]hile the town continues to be dominated by single-family homes, the demand for multi-generational and more reasonably priced housing options is increasing." (Id. at 46).

41. The Comprehensive Plan notes that "[r]esidential development trends and demographics point toward an increased need for a broad range of housing to serve a varied range of incomes, ages, and family types and meet the needs of residents of all abilities and in all life stages." (Id.). However, as of the Comprehensive Plan's adoption, 76% of all of the Town's housing units were single-family homes. (See id. at 44-46).

42. To address these needs for more diverse housing options, the Comprehensive Plan recommends, among other things, the development of missing "Middle Housing," which can be defined as "a range of housing types that achieve medium-density yields and provide high-quality, marketable housing options between the scale of single-family homes and mid-rise flats. It is designed to meet the specific needs of shifting demographics and the new market demand, and is a key component to a diverse neighborhood." (Id. at 47).



43. The Project’s proposed 2 and 3-bedroom, moderately priced, townhouse units are an example of such recommended Middle Housing. The proposed 70 units would help further meet the demand for such housing in the Town.

44. The Project will also promote neighborhood character and sense of place, by bringing a level of uniformity in design and connectivity between neighboring properties. (See, e.g., Comp. Plan at 48).

45. The proposed residential development is also proper in the CD District, within which the Town seeks to increase residential uses. (See, e.g., Comp. Plan at 48).

46. In addition, the Comprehensive Plan makes numerous references to the importance of open space and active and passive recreational opportunities, including the provision of a variety of parks and recreational fields. (See, e.g., Comp. Plan at 114, 118, 119).

47. The Comprehensive Plan also prioritizes sustainable development, including energy efficiency. (See id. at 11, 52).

48. The proposed Zoning Amendment’s additional density bonus opportunities would be consistent with all the Town objectives. It would incentivize the construction of more high quality, missing Middle Housing, while also resulting in recreational improvements and/or sustainable development measures.

49. For all of these reasons, Petitioner respectfully submits that the Zoning Amendment is consistent with the Town’s Comprehensive Plan.

### **SEQRA**

50. Pursuant to the New York State Environmental Quality Review Act (“SEQRA”), Petitioner is submitting a Full Environmental Assessment Form (Part 1) (attached as **Exhibit “C”**) in connection with the proposed Zoning Amendment and RRUSP.



**Requested Relief**

51. Petitioner respectfully requests that the Town Board take the following administrative and legislative steps: (a) accept this Petition; (b) place Petitioner on an upcoming Town Board Agenda for an initial presentation; (c) conduct an environmental review of the subject action under SEQRA and determine with the planning board which agency will serve as Lead Agency for SEQRA; (d) refer the Zoning Amendment to the Planning Board for its recommendation and report; (e) refer the Zoning Amendment to the Westchester County Department of Planning for its recommendations; (f) schedule, notice, and conduct a public hearing on the Zoning Amendment and RRUSP Amendment; (g) adopt the Zoning Amendment and RRUSP Amendment; (h) permit the Planning Board to simultaneously review an application for Site Development Plan Approval (and other associated Planning Board approvals).

**WHEREFORE**, it is respectfully requested that the instant matter be placed on the next available agenda of the Town Board, and be, in all respects, granted.

Dated: April 4, 2025  
White Plains, New York

ZARIN & STEINMETZ LLP

By: 

David S. Steinmetz  
Brian T. Sinsabaugh  
*Attorneys for Petitioner*  
81 Main Street, Suite 415  
White Plains, NY 10601  
(914) 682-7800



### **Exhibit List**

- A** Overall Site Plan (Dwg. SP-100)
- B** Draft Zoning Amendment
- C** Full Environmental Assessment Form (FEAF)
- D** Owner Authorizations



**Exhibit A**

*Overall Site Plan (Dwg. SP-100)*



3275/3291 Lexington Avenue, 5 Skyview Road,  
9/17/19 Regina Avenue, 3211/3219 East Main St.  
Cortlandt, New York

**GB<sup>ds</sup>**

**CIVIL Engineer:**

Civil Engineers, Landscape Architect and Planner  
DTS Provident Design Engineering, LLP  
One North Broadway White Plains, NY 10601  
P: 914.428.0010  
F: 914.428.0017

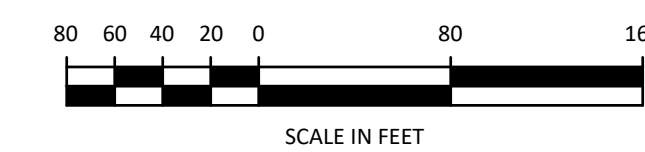
**SURVEYOR**

**ATTORNEY:**

**Zarin & Steinmetz, LLP**  
81 Main Street, Suite 415  
White Plains, NY 10601

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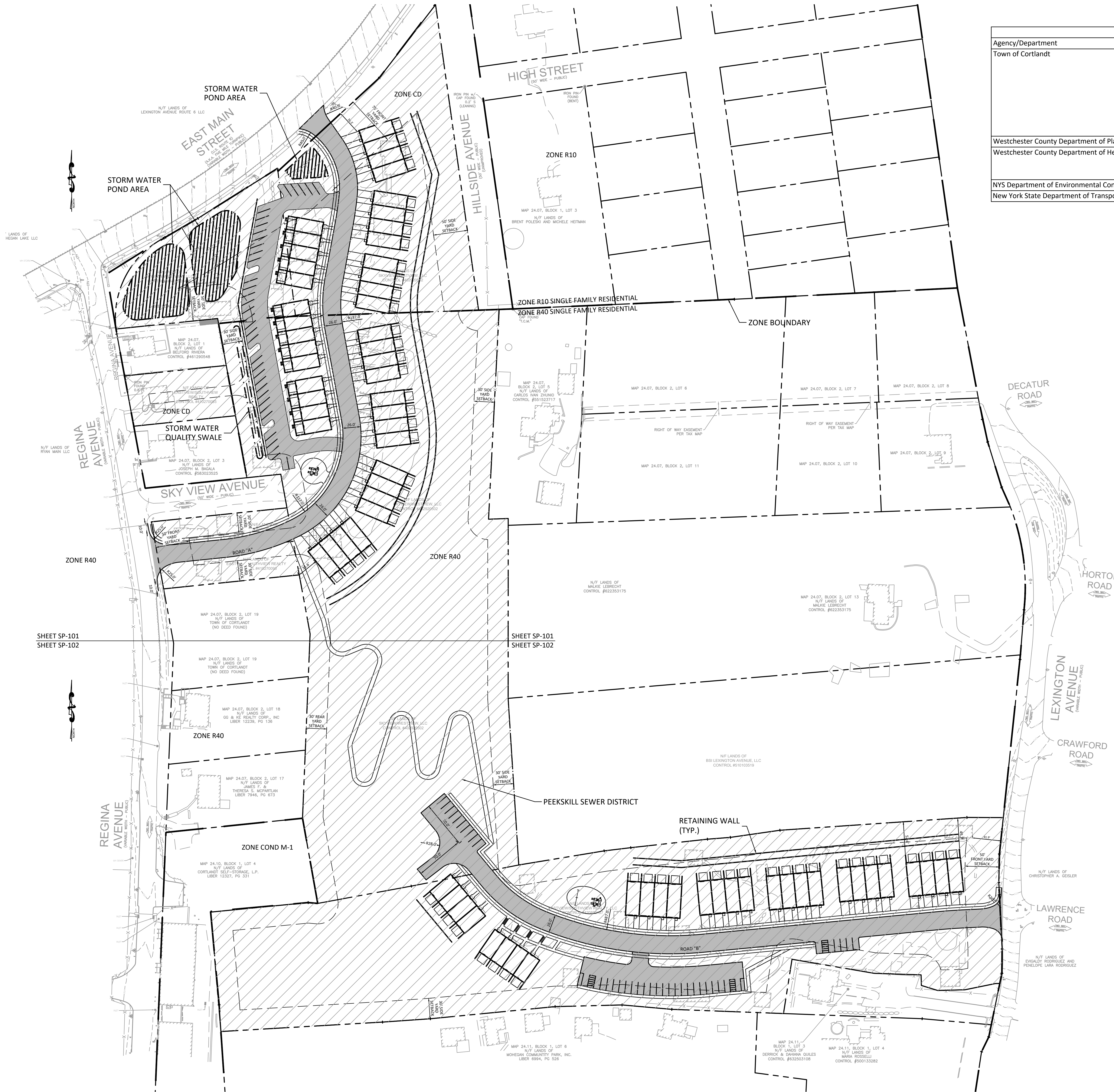
## Key Plan



# SP-100

Scale 1" = 80'

Preliminary List of Permits and Approvals			
Agency/Department	Description	Status	Approval Date
Town of Cortlandt	SEQRA Determination	Pending	
	Zoning Amendment(s)	Pending	
	Special Permit	Pending	
	Site Plan Approval	Pending	
	Tree Removal Permit and Steep Slope Permit	Pending	
	Demolition Permit(s)	Pending	
	Building Permit(s)	Pending	
	Sewer District Extension (Map, Plan and Report)	Pending	
Westchester County Department of Planning	GML239 Referral	Pending	
Westchester County Department of Health (DOH)	Sanitary Sewer Extension	Pending	
	Water Main Extension	Pending	
	Sewer District Extension	Pending	
NYS Department of Environmental Conservation (DEC)	Stormwater Pollution Prevention Plan (SWPPP)	Pending	
New York State Department of Transportation (NYS DOT)	Highway Work Permit Perm33Com	Pending	





**Exhibit B**

*Draft Zoning Amendment*

§ 307-94.2. Residential Reuse Special Permit.

C. Development standards and controls

(3) The total number of bedrooms shall not exceed an average of ~~two~~ **2.75** bedrooms per unit.

(4) Maximum coverage. The maximum permitted gross building coverage over the existing coverage on any RRUSP site shall not exceed 25% of the existing gross building coverage, except that the Town Board may allow a greater maximum coverage based on existing circumstances not to exceed ~~50%~~ **100%**



**Exhibit C**

*Full Environmental Assessment Form (FEAF)*



**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Skyview		
Project Location (describe, and attach a general location map): 3275 Lexington Avenue (tax parcel ID 24.11-1-2), 5 Skyview Avenue (24.7-2-4), 9 Regina Avenue (24.7-2-2), 17 Regina Avenue (24.7-2-21), 19 Regina Avenue (24.7-2-20), 3211 East Main Street (24.7-1-1) 3219 East Main Street (24.7-1-2), Town of Cortlandt, New York		
Brief Description of Proposed Action (include purpose or need): Proposed redevelopment of existing 58 cottages under the Town's Residential Reuse Special Permit (RRUSP) with 70 townhouses and associated improvements. A zoning text amendment is proposed to §307-94.2 of the Town Code to allow the Town Board to increase the maximum building coverage and total number of bedrooms under a RRUSP.		
Name of Applicant/Sponsor: BEB Capital, LLC	Telephone: E-Mail:	
Address: 26 Harbor Park Drive		
City/PO: Port Washington	State: NY	Zip Code: 11050
Project Contact (if not same as sponsor; give name and title/role): Dan Penaro	Telephone: 516-207-7442 E-Mail: dpenaro@bebcapital.com	
Address: 26 Harbor Park Drive		
City/PO: Port Washington	State: NY	Zip Code: 11050
Property Owner (if not same as sponsor): Eastview/Southview Realty, LLC (3275 Lexington Avenue; 9, 17, 19 Regina Avenue) and Skyview/Westview, LLC (3211, 3219 East Main Street; 5 Skyview Avenue)	Telephone: 516-207-7442 E-Mail: dpenaro@bebcapital.com	
Address: C/O Beb Capital, LLC		
City/PO: Port Washington	State: NY	Zip Code: 11050



## B. Government Approvals

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Special Permit Application Approval, Town Sewer District (extension or creation), Zoning Text Amendment	
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Site Development Plan, Special Permit Application, Tree Removal, Steep Slopes	
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Westchester County DOH - Water main and Sanitary Sewer Westchester County Department of Planning - GML239 Referral	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC - SPDES Stormwater General Permit NYSDOT - Highway Work Permit Perm 33	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

## C. Planning and Zoning

### C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

### C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐ Yes ☒ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☒ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☒ No

If Yes, identify the plan(s):

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c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

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<b>C.3. Zoning</b>	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district? <u>R-40 (Single-Family Residential) and CD (Designed Commercial)</u>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the use permitted or allowed by a special or conditional use permit?   Residential Reuse Special Permit (RRUSP)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
c. Is a zoning change requested as part of the proposed action? If Yes, i. What is the proposed new zoning for the site? _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>C.4. Existing community services.</b>	
a. In what school district is the project site located? <u>Lakeland Central School District</u>	
b. What police or other public protection forces serve the project site? <u>NYS Police &amp; Westchester County DPS</u>	
c. Which fire protection and emergency medical services serve the project site? <u>Mohegan Fire Department</u>	
d. What parks serve the project site? <u>Muriel H. Morabito Community Center, Michael C Mongero Veterans Memorial Park</u>	

#### D. Project Details

<b>D.1. Proposed and Potential Development</b>	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? <u>Residential</u>	
b. a. Total acreage of the site of the proposed action?	<u>±15.6</u> acres
b. Total acreage to be physically disturbed?	<u>±9</u> acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	<u>±19.5</u> acres
c. Is the proposed action an expansion of an existing project or use? i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)?   % _____ Units: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Is the proposed action a subdivision, or does it include a subdivision? If Yes, i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____ ii. Is a cluster/conservation layout proposed? iii. Number of lots proposed? _____ iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
e. Will the proposed action be constructed in multiple phases? i. If No, anticipated period of construction: _____ months ii. If Yes: • Total number of phases anticipated _____ • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year • Anticipated completion date of final phase _____ month _____ year • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____ _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No



f. Does the project include new residential uses? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	70 (townhomes)

g. Does the proposed action include new non-residential construction (including expansions)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes,	
i. Total number of structures _____ ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes,	
i. Purpose of the impoundment: _____ ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____ iii. If other than water, identify the type of impounded/contained liquids and their source. _____ iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____ _____	

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) If Yes:	
i. What is the purpose of the excavation or dredging? _____ ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____ _____ iv. Will there be onsite dewatering or processing of excavated materials? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, describe. _____ _____ v. What is the total area to be dredged or excavated? _____ acres vi. What is the maximum area to be worked at any one time? _____ acres vii. What would be the maximum depth of excavation or dredging? _____ feet viii. Will the excavation require blasting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> ix. Summarize site reclamation goals and plan: _____ _____ _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____ _____	



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

---

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No  
If Yes:

i. Total anticipated water usage/demand per day: 20,680 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No  
If Yes:

- Name of district or service area: Cortlandt Consolidated Water District
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☒ Yes ☐ No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: Exptension of lines in order to supply the proposed project
- Source(s) of supply for the district: Northern Westchester Joint Waterworks

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

---

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No  
If Yes:

i. Total anticipated liquid waste generation per day: 22,750 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

\_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No  
If Yes:

- Name of wastewater treatment plant to be used: Peekskill Wastewater Treatment Facility
- Name of district: Peekskill Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☒ Yes ☐ No



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<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend  <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No N/A</span></p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:*</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7:00 AM - 7:00 PM</li> <li>• Saturday: _____ 8:00 AM - 7:00 PM</li> <li>• Sunday: _____ N/A</li> <li>• Holidays: _____ N/A</li> </ul> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations: Residential: 24 hours per day / 7 days a week</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul> </td> </tr> </table>		<p>i. During Construction:*</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7:00 AM - 7:00 PM</li> <li>• Saturday: _____ 8:00 AM - 7:00 PM</li> <li>• Sunday: _____ N/A</li> <li>• Holidays: _____ N/A</li> </ul>	<p>ii. During Operations: Residential: 24 hours per day / 7 days a week</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
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\*Per Town Code Chapter 197



<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p style="text-align: center;">TBD</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	



s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

## E. Site and Setting of Proposed Action

<b>E.1. Land uses on and surrounding the project site</b>																																							
<p>a. Existing land uses.</p> <p>i. Check all uses that occur on, adjoining and near the project site.</p> <div style="display: flex; justify-content: space-between;"> <span><input type="checkbox"/> Urban</span> <span><input type="checkbox"/> Industrial</span> <span><input checked="" type="checkbox"/> Commercial</span> <span><input checked="" type="checkbox"/> Residential (suburban)</span> <span><input type="checkbox"/> Rural (non-farm)</span> </div> <div style="display: flex; justify-content: space-between;"> <span><input checked="" type="checkbox"/> Forest</span> <span><input type="checkbox"/> Agriculture</span> <span><input type="checkbox"/> Aquatic</span> <span><input type="checkbox"/> Other (specify): _____</span> </div> <p>ii. If mix of uses, generally describe: _____</p>																																							
<p>b. Land uses and covertypes on the project site.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 40%;">Land use or Covertypes</th> <th style="width: 15%;">Current Acreage</th> <th style="width: 20%;">Acreage After Project Completion</th> <th style="width: 25%;">Change (Acres +/-)</th> </tr> </thead> <tbody> <tr> <td>• Roads, buildings, and other paved or impervious surfaces</td> <td style="text-align: center;">±2</td> <td style="text-align: center;">±4.3</td> <td style="text-align: center;">±2.3</td> </tr> <tr> <td>• Forested</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> </tr> <tr> <td>• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> </tr> <tr> <td>• Agricultural (includes active orchards, field, greenhouse etc.)</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> </tr> <tr> <td>• Surface water features (lakes, ponds, streams, rivers, etc.)</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> </tr> <tr> <td>• Wetlands (freshwater or tidal)</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> </tr> <tr> <td>• Non-vegetated (bare rock, earth or fill)</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> <td style="text-align: center;">--</td> </tr> <tr> <td>• Other Describe: <u>Wooded areas, landscape areas, lawn areas</u></td> <td style="text-align: center;">±13.6</td> <td style="text-align: center;">±11.3</td> <td style="text-align: center;">±(2.3)</td> </tr> </tbody> </table>				Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)	• Roads, buildings, and other paved or impervious surfaces	±2	±4.3	±2.3	• Forested	--	--	--	• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	--	--	--	• Agricultural (includes active orchards, field, greenhouse etc.)	--	--	--	• Surface water features (lakes, ponds, streams, rivers, etc.)	--	--	--	• Wetlands (freshwater or tidal)	--	--	--	• Non-vegetated (bare rock, earth or fill)	--	--	--	• Other Describe: <u>Wooded areas, landscape areas, lawn areas</u>	±13.6	±11.3	±(2.3)
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c. Is the project site presently used by members of the community for public recreation? <i>i. If Yes: explain:</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, <i>i. Identify Facilities:</i> <u>The Sentinel of Mohegan Lake (senior assisted living located over 900 feet northeast of the Project Site)</u>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
e. Does the project site contain an existing dam? If Yes: <i>i. Dimensions of the dam and impoundment:</i> <ul style="list-style-type: none"> <li>• Dam height: _____ feet</li> <li>• Dam length: _____ feet</li> <li>• Surface area: _____ acres</li> <li>• Volume impounded: _____ gallons OR acre-feet</li> </ul> <i>ii. Dam's existing hazard classification:</i> _____ <i>iii. Provide date and summarize results of last inspection:</i> _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: <i>i. Has the facility been formally closed?</i> • If yes, cite sources/documentation: _____ <i>ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:</i> _____ <i>iii. Describe any development constraints due to the prior solid waste activities:</i> _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: <i>i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:</i> _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: <i>i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:</i> <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Yes – Spills Incidents database  <input type="checkbox"/> Yes – Environmental Site Remediation database  <input type="checkbox"/> Neither database         </div> <div>           Provide DEC ID number(s): _____            Provide DEC ID number(s): _____         </div> </div> <i>ii. If site has been subject of RCRA corrective activities, describe control measures:</i> _____ _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<i>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?</i> If yes, provide DEC ID number(s): _____ <i>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):</i> _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No



v. Is the project site subject to an institutional control limiting property uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
<ul style="list-style-type: none"> <li>• If yes, DEC site ID number: _____</li> <li>• Describe the type of institutional control (e.g., deed restriction or easement): _____</li> <li>• Describe any use limitations: _____</li> <li>• Describe any engineering controls: _____</li> <li>• Will the project affect the institutional or engineering controls in place? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> <li>• Explain: _____</li> </ul>													
<b>E.2. Natural Resources On or Near Project Site</b>													
a. What is the average depth to bedrock on the project site? _____ > 6 _____ feet													
b. Are there bedrock outcroppings on the project site? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ 0.7 _____ %													
c. Predominant soil type(s) present on project site: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border-bottom: 1px solid black;">Paxton fine sandy loam (PnC)</td> <td style="text-align: right; border-bottom: 1px solid black;">27.8</td> <td style="text-align: right; border-bottom: 1px solid black;">%</td> </tr> <tr> <td style="border-bottom: 1px solid black;">Charlton fine sandy loam (ChC)</td> <td style="text-align: right; border-bottom: 1px solid black;">14.3</td> <td style="text-align: right; border-bottom: 1px solid black;">%</td> </tr> <tr> <td style="border-bottom: 1px solid black;">Charlton-Chatfield complex (CrC)</td> <td style="text-align: right; border-bottom: 1px solid black;">34.9</td> <td style="text-align: right; border-bottom: 1px solid black;">%</td> </tr> </table>		Paxton fine sandy loam (PnC)	27.8	%	Charlton fine sandy loam (ChC)	14.3	%	Charlton-Chatfield complex (CrC)	34.9	%			
Paxton fine sandy loam (PnC)	27.8	%											
Charlton fine sandy loam (ChC)	14.3	%											
Charlton-Chatfield complex (CrC)	34.9	%											
d. What is the average depth to the water table on the project site? Average: _____ > 6 _____ feet													
e. Drainage status of project site soils: <input checked="" type="checkbox"/> Well Drained: _____ 100 _____ % of site <div style="margin-left: 150px;"> <input type="checkbox"/> Moderately Well Drained: _____ % of site  <input type="checkbox"/> Poorly Drained: _____ % of site </div>													
f. Approximate proportion of proposed action site with slopes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border-bottom: 1px solid black;"><input checked="" type="checkbox"/> 0-10%:</td> <td style="text-align: right; border-bottom: 1px solid black;">14</td> <td style="text-align: right; border-bottom: 1px solid black;">% of site</td> </tr> <tr> <td style="border-bottom: 1px solid black;"><input checked="" type="checkbox"/> 10-15%:</td> <td style="text-align: right; border-bottom: 1px solid black;">17</td> <td style="text-align: right; border-bottom: 1px solid black;">% of site</td> </tr> <tr> <td style="border-bottom: 1px solid black;"><input checked="" type="checkbox"/> 15% or greater:</td> <td style="text-align: right; border-bottom: 1px solid black;">69</td> <td style="text-align: right; border-bottom: 1px solid black;">% of site</td> </tr> </table>		<input checked="" type="checkbox"/> 0-10%:	14	% of site	<input checked="" type="checkbox"/> 10-15%:	17	% of site	<input checked="" type="checkbox"/> 15% or greater:	69	% of site			
<input checked="" type="checkbox"/> 0-10%:	14	% of site											
<input checked="" type="checkbox"/> 10-15%:	17	% of site											
<input checked="" type="checkbox"/> 15% or greater:	69	% of site											
g. Are there any unique geologic features on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, describe: _____													
h. Surface water features.													
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
ii. Do any wetlands or other waterbodies adjoin the project site? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> <div style="text-align: center;"> *Wetlands located over 400 feet west of the Project Site </div>													
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.													
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>													
iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">• Streams:</td> <td style="width: 50%;">Name _____</td> <td style="width: 40%;">Classification _____</td> </tr> <tr> <td>• Lakes or Ponds:</td> <td>Name _____</td> <td>Classification _____</td> </tr> <tr> <td>• Wetlands:</td> <td>Name _____</td> <td>Approximate Size _____</td> </tr> <tr> <td>• Wetland No. (if regulated by DEC)</td> <td colspan="2">_____</td> </tr> </table>		• Streams:	Name _____	Classification _____	• Lakes or Ponds:	Name _____	Classification _____	• Wetlands:	Name _____	Approximate Size _____	• Wetland No. (if regulated by DEC)	_____	
• Streams:	Name _____	Classification _____											
• Lakes or Ponds:	Name _____	Classification _____											
• Wetlands:	Name _____	Approximate Size _____											
• Wetland No. (if regulated by DEC)	_____												
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, name of impaired water body/bodies and basis for listing as impaired: _____													
i. Is the project site in a designated Floodway? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
j. Is the project site in the 100-year Floodplain? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
k. Is the project site in the 500-year Floodplain? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>													
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:													
i. Name of aquifer: _____													



<p>m. Identify the predominant wildlife species that occupy or use the project site:              typical suburban species _____              _____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:              i. Describe the habitat/community (composition, function, and basis for designation): _____              ii. Source(s) of description or evaluation: _____              iii. Extent of community/habitat:                  • Currently: _____ acres                  • Following completion of project as proposed: _____ acres                  • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:              i. Species and listing (endangered or threatened): _____              _____              _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:              i. Species and listing: _____              _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If yes, give a brief description of how the proposed action may affect that use: _____              _____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>              i. If Yes: acreage(s) on project site: _____              ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:              i. Nature of the natural landmark:     <input type="checkbox"/> Biological Community     <input type="checkbox"/> Geological Feature              ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____              _____              _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>          If Yes:              i. CEA name: _____              ii. Basis for designation: _____              iii. Designating agency and date: _____</p>	



e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> <li>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</li> <li>ii. Name: _____</li> <li>iii. Brief description of attributes on which listing is based: _____</li> </ul>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> <li>i. Describe possible resource(s): _____</li> <li>ii. Basis for identification: _____</li> </ul>	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> <li>i. Identify resource: <u>Taconic State Parkway</u></li> <li>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Scenic byway</u></li> <li>iii. Distance between project and resource: <u>1.75</u> miles.</li> </ul>	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> <li>i. Identify the name of the river and its designation: _____</li> <li>ii. Is the activity consistent with development restrictions contained in 6 NYCRR Part 666?             <input type="checkbox"/> Yes <input type="checkbox"/> No           </li> </ul>	

## F. Additional Information


Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

## G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name BEB Capital, LLC Date 4/4/2025

Signature  Matthew N. Steinberg, AICP Title Senior Associate  
DTS Provident Design Engineering, LLP





**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No



E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No



**Exhibit D**


*Owner Authorizations*




## **OWNER AUTHORIZATION**

**EASTVIEW/SOUTHVIEW REALTY LLC** is the owner of property located in the Town of Cortlandt, New York and identified on the Town of Cortlandt Tax Maps as Section 24.11 Block 1 Lot 2 and Section 24.7 Block 2, Lots 2, 20 and 21. I, Lee J. Brodsky, am the Vice President of Skyview Cottage Associates, Inc., which is the Manager of Skyview/Westview, LLC, the sole Member of Eastview/Southview Realty LLC. By signing below, I authorize Zarin & Steinmetz LLP, and DTS Provident Design Engineering LLP to submit any application, petition or request for any documents to the Town of Cortlandt, Westchester County, or any other agency requiring submissions and/or approval authority in connection with the proposed Residential Reuse Special Permit application and associated development and use of the above-cited property. I understand that any permission granted and any conditions imposed by such agencies will accrue to the above-cited property and will be the responsibility of the property owner.

### **EASTVIEW/SOUTHVIEW REALTY LLC**

By:   
Lee J. Brodsky  
Vice President of Skyview Cottage Associates, Inc.,  
which is the Manager of Skyview/Westview, LLC,  
the sole Member of Eastview/Southview Realty LLC

Sworn to before me this 4<sup>th</sup> day of April, 2025

  
Notary Public

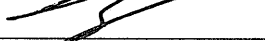
**JOY G. LITTERINE**  
Notary Public - State of New York  
No. 01LI6300712  
Qualified in Nassau County  
Commission Expires April 7, 2026



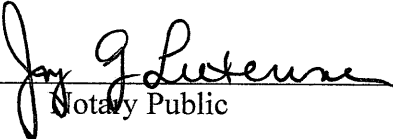
## OWNER AUTHORIZATION

SKYVIEW/WESTVIEW LLC is the owner of property located in the Town of Cortlandt, New York and identified on the Town of Cortlandt Tax Maps as Section 24.7 Block 2, Lot 4 and Section 24.7 Block 1 Lots 1 and 2. I, Lee J. Brodsky, am the Vice President of Skyview Cottage Associates, Inc., which is the Manager of Skyview/Westview, LLC. By signing below, I authorize Zarin & Steinmetz LLP, and DTS Provident Design Engineering LLP to submit any application, petition or request for any documents to the Town of Cortlandt, Westchester County, or any other agency requiring submissions and/or approval authority in connection with the proposed Residential Reuse Special Permit application and associated development and use of the above-cited property. I understand that any permission granted and any conditions imposed by such agencies will accrue to the above-cited property and will be the responsibility of the property owner.

**SKYVIEW/WESTVIEW LLC**

By:   
\_\_\_\_\_  
Lee J. Brodsky  
Vice President of Skyview Cottage  
Associates, Inc., Manager of  
Skyview/Westview, LLC

Sworn to before me this 4<sup>th</sup>  
day of April, 2025

  
\_\_\_\_\_  
Notary Public

JOY G. LITTERINE  
Notary Public - State of New York  
No. 01LI6300712  
Qualified in Nassau County  
Commission Expires April 7, 2026



Skyview Development  
Cortlandt, New York

Zoning Compliance Table

DIMENSIONAL STANDARD	R-40 DISTRICT <sup>8</sup>				CD DISTRICT <sup>8</sup>				TOTAL SITE (RRUSP) <sup>8</sup>			
	CODE SECTION	REQUIRED/ PERMITTED	EXISTING	PROPOSED	CODE SECTION	REQUIRED/ PERMITTED	EXISTING	PROPOSED	CODE SECTION	REQUIRED/ PERMITTED	EXISTING	PROPOSED
Minimum Lot Area (sf)	§ 307, Attach 3	40,000	542,148	542,148	§ 307, Attach 5	80,000	135,425	135,425	§ 307-94.2(C)(1)	Per TB <sup>3</sup>	677,584	677,584
Minimum Lot Width (ft)	§ 307, Attach 3	150	varies	--	§ 307, Attach 5	200	varies	--	§ 307-94.2(C)(1)	Per TB <sup>3</sup>	--	>200
Maximum Height (stories/ft)	§ 307, Attach 3	2½ stories/35 ft	<2½/35	--	§ 307, Attach 5	3 stories/35 feet	<3/35	--	§ 307-94.2(C)(2)	35 feet	--	≤35
Minimum Yards: Principal Structure												
Front (ft)	§ 307, Attach 3	50	41	--	§ 307, Attach 5	75	35	--	§ 307-94.2(C)(1)	75	35	36 <sup>3</sup>
Side (ft)	§ 307, Attach 3	N/A	--	--	§ 307, Attach 5	50	20	--	§ 307-94.2(C)(1)	50 (CD portion only)	20	31 <sup>3</sup>
Rear (ft)	§ 307, Attach 3	30	450	--	§ 307, Attach 5	50	4	--	§ 307-94.2(C)(1)	30	>400	165
Maximum Floor Area Ratio	§ 307, Attach 4 <sup>1</sup>	5,300	53,506	--	--	--	--	--	§ 307-94.2(C)(1)	Per TB <sup>3</sup>	--	92,500 <sup>10</sup>
Minimum Existing Residential Units		--	--	--		--	--	--	§ 307-94.2(B)(1)	3	>3	--
Minimum Landscape Coverage (% of lot area)	§ 307, Attach 3	60%	N/A	--	§ 307, Attach 5	25%	N/A	--	§ 307-94.2(C)(1)	Per TB <sup>3</sup>	--	>38%
Total Number of Bedrooms (avg) <sup>5</sup>	--	--	--	--	--	--	--	--	§ 307-94.2(C)(3)	2	--	2.7 <sup>10</sup>
Maximum Density <sup>4</sup>	--	--	--	--	--	--	--	--	§ 307-94.2(B)(2)	20% over existing	58	70
Maximum Building Coverage <sup>6</sup>	--	--	--	--	--	--	--	--	§ 307-94.2(C)(4)	see footnote 6	34,800sf existing @1.50% = 52,200 sf	65,600sf (1.9%) <sup>9</sup>
Recreation Area	--	--	--	--	--	--	--	--	§ 307-94.2(C)(7)	see footnote 7	--	To Comply
Minimum Parking (Single-family)	§ 307-29(C)	2 per dwelling	Complies	--	§ 307-29(C)	2 per dwelling	Complies	--	§ 307-29(C)	2 per dwelling	140	171

<sup>(1)</sup> 80,000 sf lot size has maximum FAR of 7,675 sf. Per 307 Attachment 4, Add 96 feet for every 1,000 square feet over 80,000 sf lot size.

<sup>(2)</sup> Based on units located with R-40 zone portion of Project Site.

<sup>(3)</sup> Per § 307-94.2(1) Bulk and area requirements will be established by the Town Board, and setbacks must comply with the requirements of the district unless it can be demonstrated to the satisfaction of the Planning Board that it is impracticable to comply, in which case the applicant will be allowed to have such setbacks as may be approved by the Planning Board but in no event shall they be less than the setbacks of the existing nonconforming structures.

<sup>(4)</sup> Property may be developed at a maximum density of 20% over the existing number of residential units. At a minimum, all additional units over the existing number of units shall meet the Westchester County definition of affordable housing.

<sup>(5)</sup> The total number of bedrooms shall not exceed an average of two bedrooms per unit. At a minimum, all additional units over the existing number of units shall meet the Westchester County definition of affordable housing.

<sup>(6)</sup> The maximum permitted gross building coverage over the existing coverage on any RRUSP site shall not exceed 25% of the existing gross building coverage, except that the Town Board may allow a greater maximum coverage based on existing circumstances not to exceed 50%.

<sup>(7)</sup> Projects will be required to either provide new public recreation areas or to pay a recreation fee as required under § 265-11

<sup>(8)</sup> § 307-7(D) with regards to split zoned lots states that "In all cases where a district boundary divides a lot and more than 50% of the area of such lot lies in the less restricted district, the regulations prescribed by this chapter for the less restricted district shall apply to such portion of the more restricted portion of said lot which lies within 30 feet of such district boundary."

<sup>(9)</sup> The Applicant has petitioned the town to amend §307-94.2 to provide the Town Board with additional flexibility to increase the permitted maximum building coverage and average number of bedrooms.

<sup>(10)</sup> Based on proposed units located within the R-40 district portion of the Project Site.



JOHN A. LENTINI ARCHITECT  
*pencilbase@aol.com*

124 ALLAN STREET  
CORTLANDT MANOR, NY 10567  
914-737-2890

April 23, 2025

TOWN OF CORTLANDT  
PLANNING BOARD  
Town Hall  
1 Heady Street  
Cortlandt Manor, NY 10567

Attn: Mr. Chris Kehoe

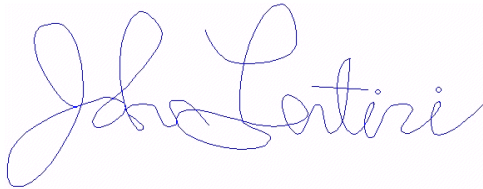
Re: 2011 Albany Post Rd, Croton-on Hudson, NY, Yukas Latin Fusion Restaurant

Dear Mr. Kehoe:

The owner of the referenced site desires to install a permanent open canopy at the rear of the existing restaurant referenced above. The area of the proposed Canopy has an existing Patio that we wish to cover for seasonal use.

Respectfully

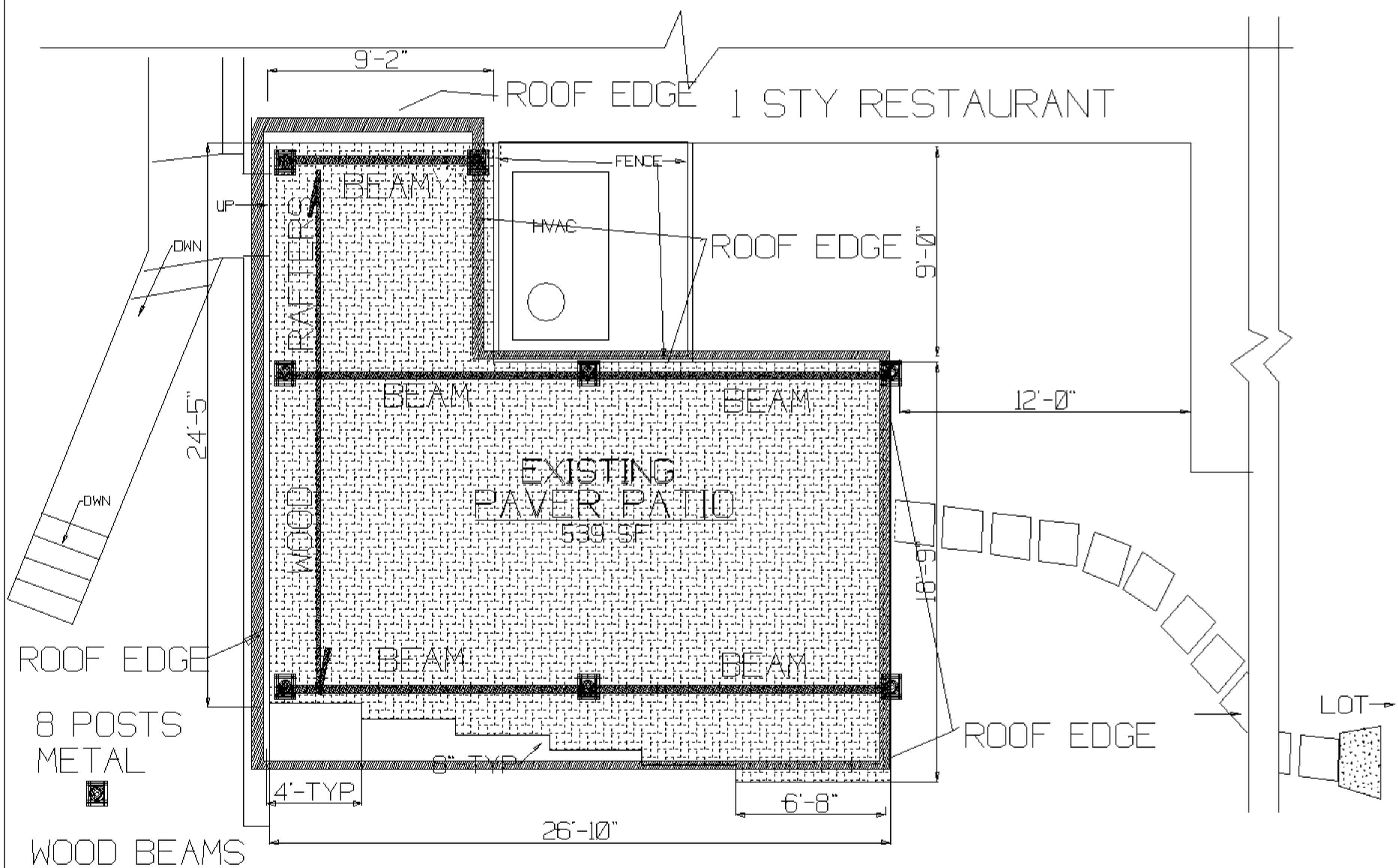
JOHN A. LENTINI ARCHITECT



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John A. Lentini RA NY # 23755\  
Cc: Claudia Villeda

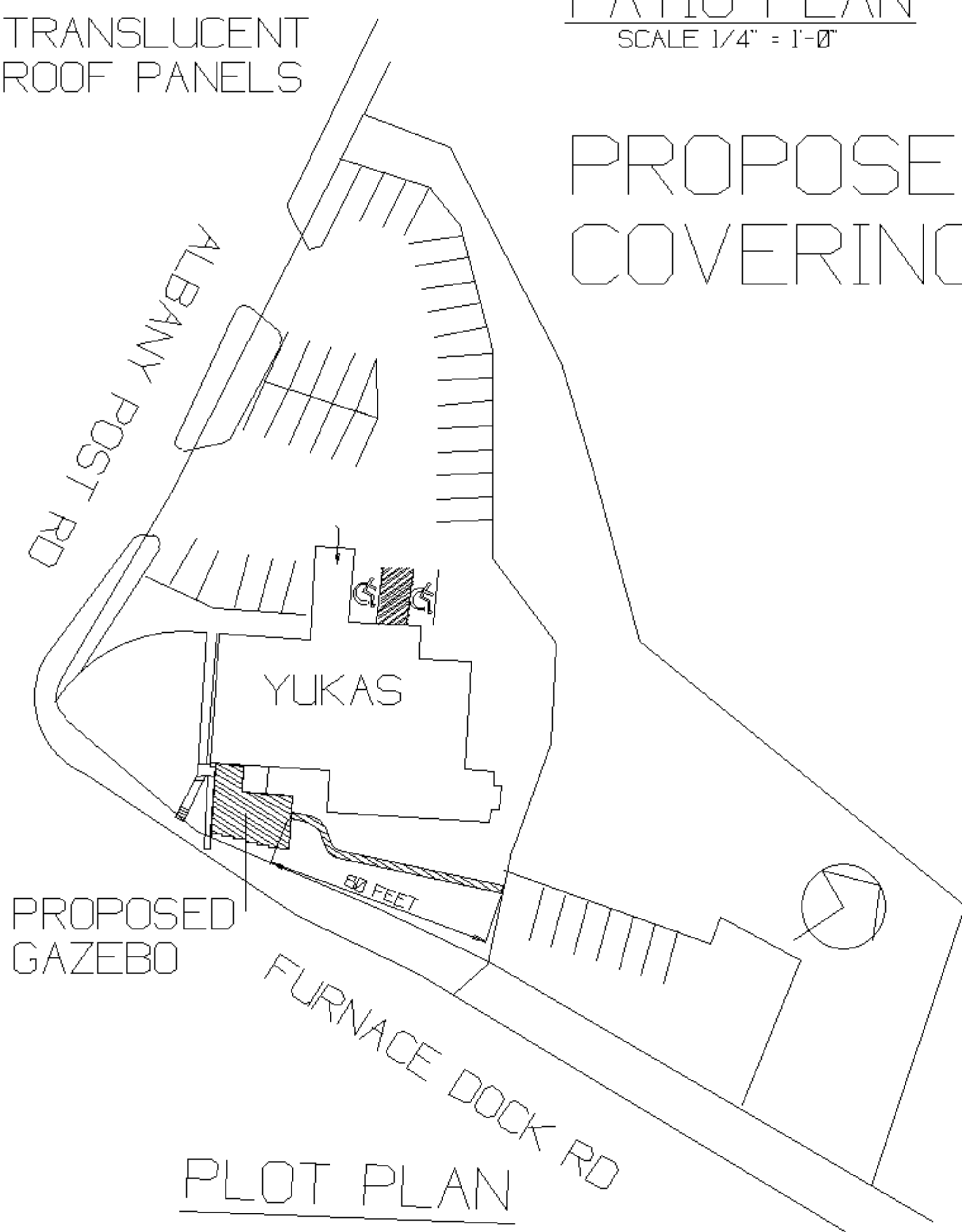




## PATIO PLAN

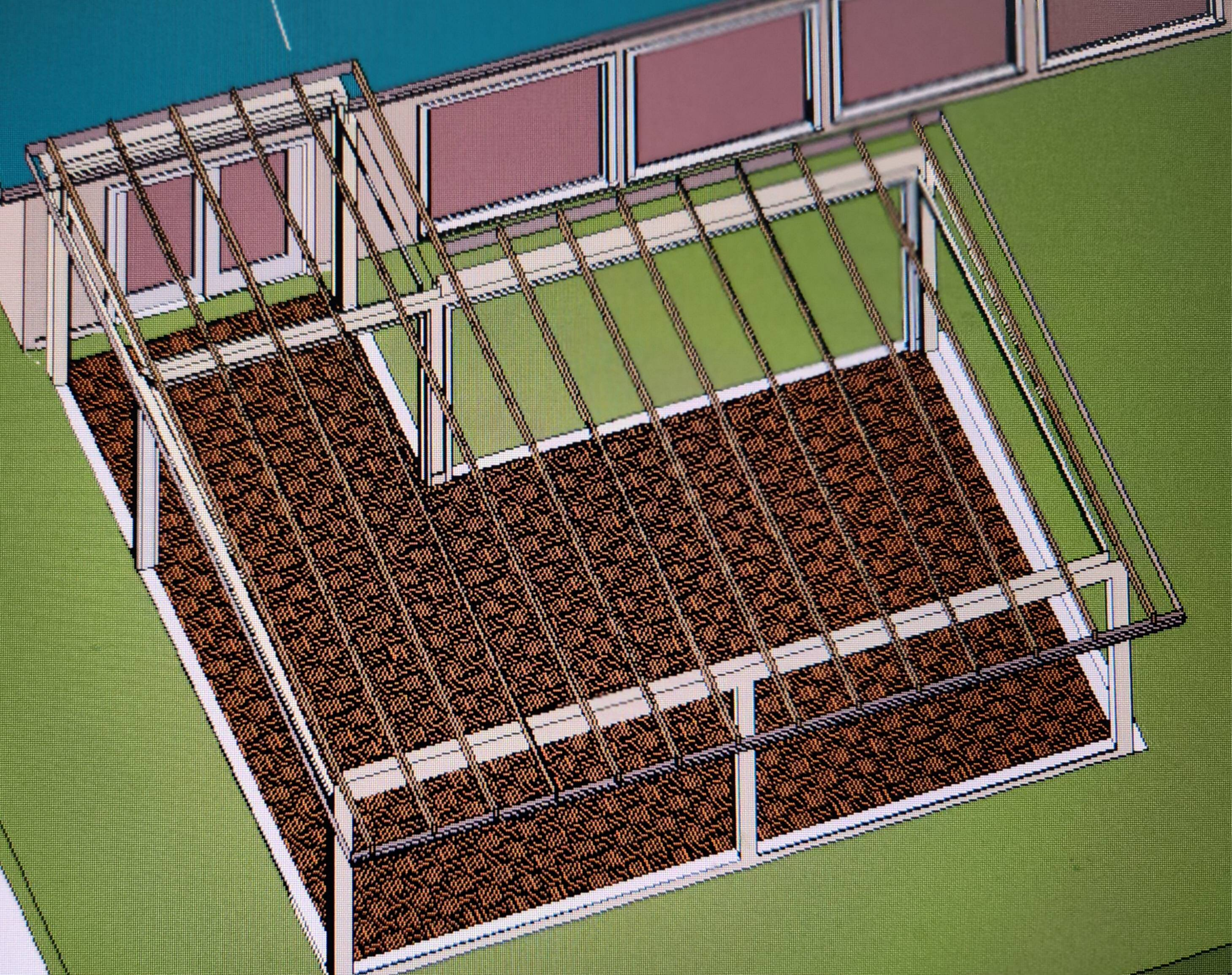
SCALE 1/4" = 1'-0"

# PROPOSED OPEN GAZEBO COVERING EXISTING PATIO



REVISION	DATE	DESCRIBE	BY
CLIENT <b>YUKA'S LATIN FUSION</b> LOCATION 2011 ALBANY POST ROAD CROTON-ON-HUDSON, NY 10520 56.18 - 2 - 17, HC/R40 ZONE, 49,984 SF			
DRAWING	DATE	BY	JL GHK
PATIO PLAN GAZEBO			
<b>JOHN A. LENTINI</b> <b>ARCHITECT</b> 124 ALLAN STREET CORTLANDT MANOR, NY 10567-1614 PHONE (914) 737-2890 EMAIL: PENCILBASE@aol.com			
SEAL & SIGNATURE		DRAWING NUMBER	
		A-1	
SHEET		OF	

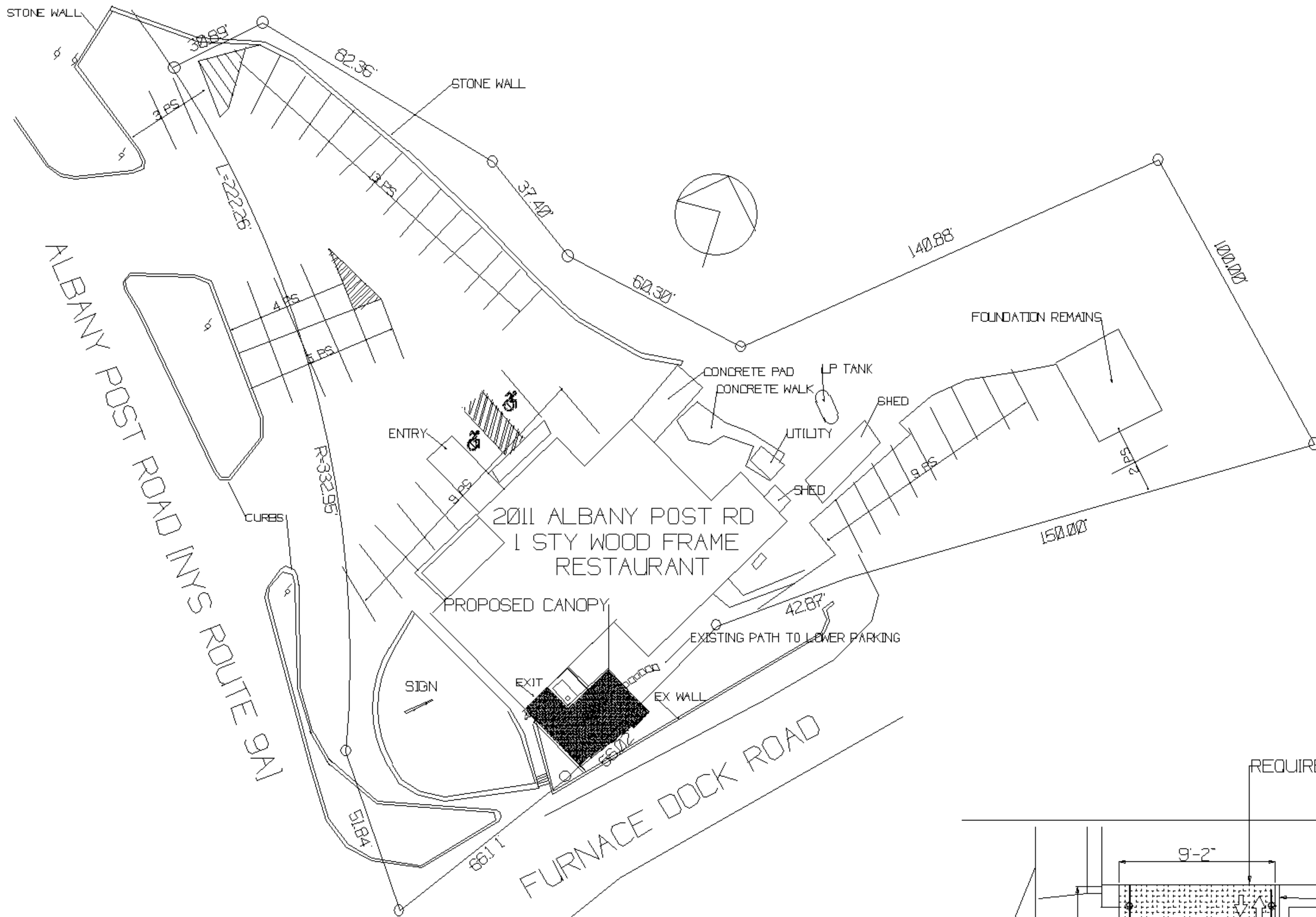












## PLOT PLAN

SCALE 1" = 20'-0"

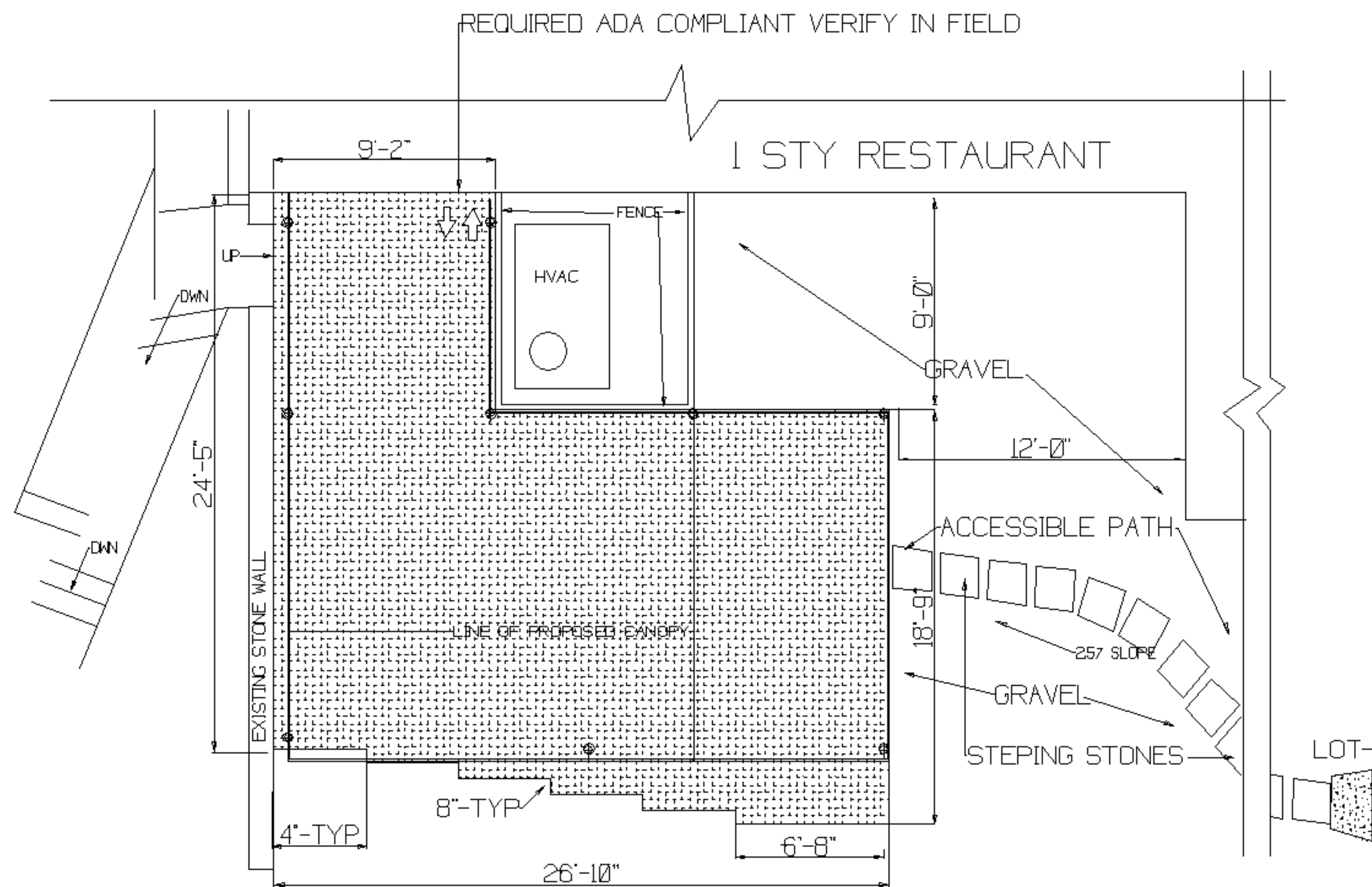
NOTE: PLOT PLAN INFORMATION TAKEN IN PART FROM SURVEY PROVIDED BY THE OWNER. SURVEY BY WILLIAM WELSH DATED APRIL 19, 2025.

NOTE: AREA PLAN INFORMATION TAKEN FROM WESTCHESTER COUNTY GIS MAPPING SYSTEM.



## AREA PLAN

1000.00'



## PATIO PLAN

SCALE 1/4" = 1'-0"

### DISTRICTS DISPLAYED

- \* HENDRICK HUDSON SCHOOL DISTRICT
- \* CORTLANDT CONSOLIDATED WATER DISTRICT
- \* MONTROSE FIRE DISTRICT
- \* CORTLANDT EMS
- \* COUNTY LEGISLATIVE DISTRICT 9
- \* ELECTION DISTRICT 020023
- \* NYS ASSEMBLY DISTRICT 95
- \* NYS SENATE DISTRICT 40
- \* US CONGRESSIONAL DISTRICT 17

### GENERAL NOTES

1. THERE IS NO PROPOSED CHANGE TO EXISTING FLOOR AREA.
2. THERE ARE NO TREES OR SHRUBS REQUIRED TO BE REMOVE OR DISTURBED.

REVISION	DATE	DESCRIBE	BY
CLIENT			
YUKA'S LATIN FUSION			
LOCATION			
2011 ALBANY POST ROAD			
CROTON-ON-HUDSON, NY 10520			
56JB - 2 - 17, HC/R40 ZONE 49,984 SF			
DRAWING	DATE 4/17/2025	BY JL	CHK
PATIO CANOPY PLAN			
JOHN A. LENTINI			
ARCHITECT			
124 ALLAN STREET			
CORTLANDT MANOR, NY 10567-1614			
PHONE (914) 737-2890			
EMAIL PENCILBASE@AOL.COM			
REAL & SIGNATURE			
DRAWING NUMBER 01625			



S-1





2011 ALBANY POST RD., CROTON-ON-HUDSON, NY YUKA'S LATIN FUSION RESTAURANT, LENTINI/ DJI 12/17/2022





PATIO



