



TOWN OF CORTLANDT

ZONING BOARD OF APPEALS

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
914-734-1080

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Wai Man Chin
Vice-Chairman

Chris Beloff
Frank Franco
Michelle Piccolo Hill
Benito Martinez
Thomas Walsh

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You are invited to a Zoom webinar.
When: Jun 20, 2024 07:00 PM Eastern Time (US and Canada)
Topic: 2024 June 20 Zoning Board Meeting

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AGENDA.....ZONING BOARD OF APPEALS
Town Hall – 1 Heady Street
Cortlandt Manor, NY 10567

Work Session – Thursday, June 20, 2024 at 6:30 PM

1. Discuss Agenda for the Regular Meeting

Regular Meeting – Thursday, June 20, 2024 at 7:00 PM *

1. Pledge to the Flag and Roll Call
2. Adoption of the Meeting Minutes for May 16, 2024

3. OLD BUSINESS

A. Case No. 2024-4 Application of John Lentini, R.A., on behalf of Edison Ruilova, for area variances for a proposed garage in the front yard and for an existing shed located in the front yard at 4 Travis Lane.

**Regular meeting to begin at conclusion of the work session*

NEXT REGULAR MEETING THURSDAY, JULY 18, 2024

TOWN OF CORTLANDT
PLANNING AND ZONING BOARDS

ZONING BOARD MEETING

Town Hall
1 Heady Street
Cortlandt Manor, NY 10567
May 16, 2024
7:00 p.m. - 7:26 p.m.

May 16, 2024

MEMBERS PRESENT:

Michael Fleming, Chairman

Wai Man Chin, Vice-Chairman

Chris Beloff, Member

Frank Franco, Member

Michelle Piccolo Hill, Member

Benito Martinez, Member

Thomas Walsh, Member

ALSO PRESENT:

Chris Kehoe, AICP, Director of Planning

Michael Cunningham, Deputy Town Attorney

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2 (The board meeting commenced at 7:00 p.m.)

3 MR. MICHAEL FLEMING: Call to order. I'd
4 like to call to order the May 16, 2024 meeting of
5 the Town of Cortlandt's Zoning Board of Appeals.
6 I'd like to start by inviting everyone who wishes
7 to join me in saying the pledge of allegiance.

8 MULTIPLE: I pledge allegiance to the
9 flag of the United States of America and to the
10 Republic for which it stands, one nation under
11 God, indivisible, with liberty and justice for
12 all.

13 MR. FLEMING: All right, let's start
14 with a roll call please.

15 MR. CHRIS KEHOE: Ms. Piccolo Hill?

16 MS. MICHELLE PICCOLO HILL: Here.

17 MR. KEHOE: Mr. Martinez?

18 MR. BENITO MARTINEZ: Here.

19 MR. KEHOE: Mr. Franco?

20 MR. FRANK FRANCO: Here.

21 MR. KEHOE: Mr. Fleming?

22 MR. FLEMING: Here.

23 MR. KEHOE: Mr. Chin?

24 MR. WAI MAN CHIN: Here.

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2 MR. KEHOE: Mr. Walsh?

3 MR. THOMAS WALSH: Here.

4 MR. KEHOE: Mr. Beloff?

5 MR. CHRIS BELOFF: Here.

6 MR. FLEMING: All right, has all the
7 members of the board had an opportunity to review
8 the meeting minutes from the April 18, 2024
9 meeting?

10 MR. FRANCO: Yep.

11 MS. PICCOLO HILL: Yeah.

12 MR. FLEMING: Can I have a motion to
13 Approve?

14 MR. FRANCO: Motion to approve the
15 meeting minutes for April 18th.

16 MR. FLEMING: And a second?

17 MR. MARTINEZ: Seconded.

18 MR. FLEMING: All opposed? All in favor?

19 MULTIPLE: Aye.

20 MR. FLEMING: Alright, minutes are
21 approved. Old business, we'll start with case
22 number 2013-17, which is the application of Parth
23 Patel.

24 MS. PICCOLO HILL: 2023-17.

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2 MR. FLEMING: I'm sorry if I missed
3 that, it's 2023-17. I think Mr. Patel's counsel
4 is here?

5 MR. CLIFFORD DAVIS: Yes.

6 MR. FLEMING: Alright. Do you have
7 anything you want to say to the board before we
8 begin?

9 MR. DAVIS: No.

10 MR. FLEMING: Okay. The only thing left
11 to do on this is, is to hold our vote. We had we
12 had continued over for a month because last month
13 we had several members of the board,
14 unfortunately, who weren't able to be here. When
15 we have a significant member membership of the
16 board not here, we always invite the people
17 present to have the opportunity to wait until the
18 following meeting so the full board could be
19 here. Mr. Patel took us up on that, on that
20 offer, so we held it over. The only thing left to
21 do on this is, is to vote. So this is an -- I'm
22 sorry, Michelle, this is yours?

23 MS. PICCOLO HILL: Yes.

24 MR. FLEMING: Alright, hold on one

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2 second. Alright. We have a proposed decision
3 order and I think you're going to read a summary
4 of it?

5 MS. PICCOLO HILL: I am. So our proposed
6 decision is based off of Section 307-8C of the
7 town of Cortlandt zoning code. And this states
8 that the minimum average lot in an R-40 zone is
9 150 feet. According to the applicant's engineer
10 and confirmed by the town, the average lot width
11 of the four substantiated lots, 10, 11, 25, and
12 26 is 98.78 feet, which doesn't meet the required
13 150 feet. Given this, and based on the
14 application of Section 307-8C, the lots have not
15 been merged. So, I would like to make a motion to
16 declare their lots have not been merged and to
17 overturn the director of code enforcement's
18 determination.

19 MR. MARTINEZ: I do second that motion.

20 MR. FLEMING: All in favor?

21 MULTIPLE: Aye.

22 MR. FLEMING: Any opposition? Alright,
23 so the application is granted. There'll be a
24 decision and order coming forthwith.

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2 MR. DAVIS: Okay, thank you very much.

3 MR. FLEMING: Thank you.

4 MR. KEHOE: Well, wo just for the
5 record, you know, we'll, we'll mail the decision
6 and order, but then it would be up to your client
7 to determine what the next steps are.

8 MR. DAVIS: Got it.

9 MR. KEHOE: Okay.

10 MR. DAVIS: Thank you very much. Thank
11 you.

12 MR. FLEMING: Alright, that's the,
13 that's the remainder of old business. We do have
14 two new cases on the case for today. The first
15 case is 2024-four. Michelle, I think that's your
16 case as well?

17 MS. PICCOLO HILL: Yes.

18 MR. FLEMING: Alright.

19 MS. PICCOLO HILL: So, case number 2024-
20 4, the applicant, John A. Lentini, R.A. on behalf
21 of Edison, Ruilova, sorry if I'm pronouncing that
22 incorrectly. The request is area variances in the
23 front yard for a proposed two-car garage and an
24 existing shed. Is there anyone from the audience

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2 that would like to speak up?

3 MR. JOHN LENTINI: Yes.

4 MR. FLEMING: Welcome, please just state
5 your name and who you are relation.

6 MR. LENTINI: I'm John A. Lentini,
7 architect. I'm representing, excuse me one
8 minute, I just want to silence my phone.

9 MS. PICCOLO HILL: Sure, of course.

10 MR. LENTINI: I just got a call --

11 MS. PICCOLO HILL: Sure, please, of
12 course. Yeah, definitely.

13 MR. LENTINI: Last thing I want to do is
14 get interrupted. Thank you. I'm here, in
15 attendance is, Edison Ruilova, Nestor Tamachi,
16 and Nestor's son, Illias. If there's any purpose
17 for Edison to speak, Nestor is an interpreter,
18 although he speaks very good English, but he
19 still likes an interpreter.

20 I wanted to give you a little background
21 on the job. I was first involved last year.
22 Edison purchased the property in 2023 and it was
23 in kind of disrepair, especially for his taste,
24 so he immediately sought to clean it up and got a

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2 violation for building some small grade walls
3 around the house. So we filed, got an approval,
4 and while I'm trying to finalize that, he starts
5 moving dirt around, gets another violation for
6 moving the dirt around. Now, I don't believe that
7 would be a cause to call this a self-created
8 condition because when the town engineering
9 department went out there, they noticed that
10 there were walls that were built in the back that
11 maybe Edison didn't even do and there were sheds
12 that he didn't put in and there was all kinds of
13 things happening. So they said could you please
14 ask your client what does he want to do over
15 there ultimately?

16 So, after I talked to Edison, he said I
17 would've liked to get a garage in the front of
18 the house. He has four children. He has jet skis,
19 he has bicycles, motorcycles. At least three of
20 them I think are going to be -- are driving and
21 one is going to be driving and he has a car. So
22 he has vehicles. The modern family today has a
23 lot of vehicles, a lot of horses.

24 So the purpose for putting the garage

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2 there is there's not many flat places on the
3 site. The site has constraints. It's R-80 zone
4 requiring 80,000 square feet, but the lot is
5 95,000 square feet. So we've sufficient size and
6 he didn't want these vehicles to be stored close
7 to his house because they're, you know, he might
8 have a hand plow or something. He wants some
9 right where the driveway is.

10 And it works out very well except for
11 the fact that the town doesn't permit it. The
12 reason the town doesn't permit it, I believe, is
13 the zoning codes for setback and front yard
14 accessory buildings is for keeping a uniformity
15 in a neighborhood that you don't see anything
16 sticking out, it's all uniform, there's nice
17 looking houses.

18 Well, they're all very nice looking
19 there. It's a high end neighborhood. But it's not
20 very uniform to begin with. Between these blocks
21 of White Lion Road, Travis Lane and Montrose
22 Station Road, there's like 22 houses and none of
23 them are lined up. They're all over the place,
24 his being probably the highest site of all those.

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2 When you drive by, you can't -- wouldn't see the
3 garage we're proposing to build. But a peek up
4 the driveway would reveal the house, which is
5 still what I believe the town wants to see, not a
6 garage, but a house.

7 So to be creative, I approached, just
8 today, code enforcement. Well, what if we turned
9 our house around, faced Montrose Station Road and
10 now Travis Lane would be a side yard, then the
11 garage will be permitted right where we're
12 proposing it. The problem there is we'd also have
13 to move the driveway over and we'd have to move
14 the mailbox over and there's no good access from
15 Montrose Station Road because of the terrain. So
16 it's out of the question.

17 But my point for bringing this up is
18 that it doesn't look, it's not like it looks so
19 unusual and it would be permitted in another
20 situation. So it's, it's going to be an ordinary
21 looking structure hidden by a fence, trees and
22 the grade.

23 So I don't believe that it, you know,
24 one of the tests of asking for a variance, we're

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2 not asking for anything unusual per se. Back to
3 his hardship, with the grade the way it is, and
4 he still has work to do to satisfy the
5 engineering department, we have now been asked to
6 get a modern topographic survey for two acres.

7 To prepare my plans, I use Westchester
8 County, GIS mapping data, which is old. It
9 doesn't account for erosion. It doesn't account
10 for the work he did. So I, even though I believe
11 my plans are accurate, because I did, I did a
12 drone image and I did my own, I have a laser
13 level, one man can operate it. I took some of
14 these, the grades. All he did to get stopped
15 though, but requiring a permit, is he filled in
16 this crevice, like coming out from one part of
17 these big outcroppings, there was this crevice
18 that just went back up into the lot. So he pushed
19 the dirt over. Very obvious, people driving by
20 saw it, apparently somebody complained.

21 We stopped immediately and I went by
22 there today. I don't, I don't know if anybody on
23 the board went by, but it doesn't look unusual.
24 It doesn't look like there's any, you know, thing

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2 going on there other than what I'm representing.
3 So I believe I've made the points I'm trying to
4 make and I'll entertain any questions the board
5 has.

6 MR. FLEMING: So we, we met on this
7 beforehand and one of the things we, we sometimes
8 ask for, and I'm going to ask for in here is the
9 opportunity for any members of the board who'd
10 like to accompany, and I would like to be there,
11 is actually do a site visit. I'm interested in
12 actually seeing -- and sorry, that's my phone
13 beeping. I, I didn't do what you did and I should
14 have so sorry for that. But, I'd like to actually
15 see some of what you're talking about,
16 specifically the character of the neighborhood
17 and, and, and what this looks like.

18 I did not have an opportunity to drive
19 past, but I also would like to actually enter the
20 property and, and we won't do that without
21 obviously yours and your applicant's permission.

22 MR. LENTINI: Yeah, you have his
23 permission, but I'd be delighted to meet you
24 there if you will let me.

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2 MR. FLEMING: And that's what I'd like
3 to do, if possible. I certainly won't interrupt
4 any of the other board members who have direct
5 questions and I'll let them go in a second. But,
6 but before we take a vote on this, which means we
7 wouldn't take a vote tonight, we'd extend it to
8 the next meeting --

9 MR. LENTINI: I'd ask for an adjournment
10 if I was planning on doing that.

11 MR. FLEMING: But what I'd like to do
12 is, is, is have a site visit. So I'll let anybody
13 else from the board who has any specific
14 questions ask them. Anybody? Good? Okay.

15 MR. WALSH: I don't have any.

16 MR. FLEMING: Alright. So if we have the
17 opportunity for a site visit, and I will tell you
18 normally at site visits, if you could be there,
19 it'd be great because we do often have questions
20 while we're looking. Perhaps we can make, make an
21 appointment, and I hope we could do it now, or if
22 not we could have Mr. Kehoe arrange it with you.

23 MR. KEHOE: No, typically we would try
24 to find a date now.

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2 MR. FLEMING: Okay.

3 MR. KEHOE: That's why I'm, I'm opening
4 my phone back up. And John, you, you recall from
5 your experiences with the planning board that
6 they typically like to have these on the weekend.

7 MR. LENTINI: Sure.

8 MR. KEHOE: The site inspections and I
9 think even though maybe past practice for the
10 zoning board was Saturdays, I think we're going
11 to shoot for Sundays.

12 MR. FLEMING: Whatever people want. I
13 know Michelle indicated Sundays were better for
14 her and I'm happy to make myself available.

15 MS. PICCOLO HILL: My kids have sports
16 both days.

17 MR. CHIN: Usually, we do it the Sunday
18 before, but the Sunday before the next board
19 meeting is Father's Day. So I would say we have
20 to do maybe the week before that even.

21 MR. WALSH: The 9th.

22 MR. FLEMING: So you're talking about
23 the first weekend in June?

24 MR. CHIN: Yeah, the 9th.

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2 MR. FLEMING: Which is -- that's not --

3 MR. FRANCO: The 2nd or the 9th.

4 MR. CHIN: Because the meeting is June
5 20.

6 MR. FLEMING: Okay.

7 MR. CHIN: Okay. And the 16th is
8 Father's Day, which is right before the meeting,
9 alright. So, you don't want to disrupt Father's
10 Day for that.

11 MR. FLEMING: I understand.

12 MR. CHIN: And maybe the 9th.

13 MR. KEHOE: I cannot do the 2nd. I can
14 do the 9th.

15 MR. CHIN: The 9th.

16 MR. KEHOE: Yep.

17 MR. CHIN: Yep. That's what I'm saying.

18 MR. MARTINEZ: The 9th?

19 MR. CHIN: The 9th.

20 MR. FLEMING: Sunday, June 9th.

21 MR. CHIN: June 9th.

22 MR. LENTINI: That wouldn't be, that
23 would be the 8th.

24 MR. FLEMING: I'm sorry?

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2 MR. LENTINI: The 8th.

3 MR. KEHOE: No.

4 MR. LENTINI: What's Father's Day you
5 said was the 16th?

6 MR. FLEMING: Father's Day is Sunday the
7 16th. This is a week --

8 MR. LENTINI: Oh, so 9th, right, sorry.

9 MR. MARTINEZ: Mr. Chairman? Excuse me,
10 I'm sorry. I, I would like to be there and I
11 think I'm going to be coming back, but I'm going
12 to be out of the country, coming back that day.

13 MR. CHIN: Okay. So that's alright.

14 MR. FLEMING: Um --

15 MR. MARTINEZ: If it's okay, yeah.

16 MR. CHIN: Yeah. I mean as long as most
17 of the board members can make it, fine. You know
18 what I mean, that's all.

19 MR. FLEMING: Would you be there, are
20 you not available that entire day or would you be
21 available at a certain time? Do you know?

22 MR. MARTINEZ: No, because I'm going to
23 be heading back that day from --

24 MR. CHIN: No, that's you, so you

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2 wouldn't be there at all.

3 MR. MARTINEZ: I'm not going to be
4 there.

5 MR. FLEMING: Okay. Would you, would you
6 prefer we do it a different day? Do you want --

7 MR. MARTINEZ: That's what I mean.

8 MR. FLEMING: That's fine.

9 MR. MARTINEZ: Because I would love to
10 be there.

11 MR. FLEMING: What about a Saturday?
12 What about when are you leaving for your trip?
13 Are you available, like for example --

14 MR. MARTINEZ: Well, any day after the
15 9th, then I'll be fine, because I'll be here.

16 MR. FLEMING: And what day, what day is
17 the next meeting? It's the 20th?

18 MR. CHIN: The 20th.

19 MR. KEHOE: I, I can't speak for all
20 fathers, but I have no problem being on a site
21 inspection from 9:00 to 9:30 in the morning on
22 Father's Day.

23 MR. LENTINI: Nor, nor do I.

24 MR. FLEMING: I will do that as well.

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2 MR. CHIN: Okay, fine.

3 MR. MARTINEZ: I have no problem with
4 that.

5 MR. FLEMING: I'm happy if that's --

6 MR. CHIN: But is that okay with your
7 client?

8 MR. KEHOE: But --

9 MS. PICCOLO HILL: I mean, we could also
10 look at maybe Saturday instead.

11 MR. KEHOE: I, I apologize, I'm not
12 available that weekend.

13 MR. CHIN: Thank you.

14 MR. FLEMING: Saturday the 15th.

15 MR. MARTINEZ: I wouldn't do it for
16 Mother's Day, but for Father's Day, I'm okay
17 with.

18 MR. LENTINI: Mother's Day, that's
19 sacred.

20 MR. KEHOE: I'm away that weekend.

21 MR. FLEMING: That weekend, okay.
22 Saturday, June 8th. No, sorry, you're not
23 available.

24 MS. PICCOLO HILL: Are you around June

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2 1st?

3 MR. FLEMING: June 1st?

4 MS. PICCOLO HILL: Are you still away?
5 You're probably away.

6 MR. MARTINEZ: That's when I'm heading
7 out.

8 MR. FLEMING: Man, you're killing us.

9 MR. MARTINEZ: I'm sorry.

10 MR. KEHOE: Well, well maybe there's a
11 way Benito could make arrangements --

12 MS. PICCOLO HILL: To go separately.

13 MR. KEHOE: -- to go separately.

14 MR. MARTINEZ: Yeah, no --

15 MR. FLEMING: Would the applicant be --

16 MR. MARTINEZ: -- that would be fine.

17 MR. KEHOE: Based on what we decided at
18 the work session, you can't go separately. You'd
19 have to make arrangements with the applicant.

20 MR. FLEMING: Would you be willing to
21 meet twice essentially? Once with all of us --

22 MR. LENTINI: No problem.

23 MR. FLEMING: -- and then the second
24 time --

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2 MR. LENTINI: I'm very loose.

3 MR. FLEMING: -- with Benito?

4 MR. MARTINEZ: No, no, no.

5 MR. FLEMING: I'm sorry.

6 MR. MARTINEZ: That's fine. Set it up
7 for you guys to be there.

8 MR. KEHOE: Right.

9 MR. MARTINEZ: And I'll just --

10 MR. KEHOE: But if you want to go, get
11 in touch with me, I'll get in touch with John.
12 You can figure out a time to get there.

13 MR. MARTINEZ: I will make that if it's
14 necessary, but I don't think it would be, so.

15 MR. FLEMING: Okay.

16 MR. LENTINI: Well, we'll --

17 MR. MARTINEZ: I, I'll handle it
18 differently.

19 MR. KEHOE: So if, Benito, so are we
20 back to the 8th?

21 MR. CHIN: Stick with the 9th?

22 MR. KEHOE: The 9th?

23 MR. FLEMING: The 9th, Sunday, June 9th?

24 MR. WALSH: Perfect, time?

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2 MR. FLEMING: Is that okay with
3 everybody else?

4 MR. KEHOE: First thing in the morning?
5 9:00 o'clock?

6 MR. FLEMING: 9:00 o'clock that morning?

7 MR. LENTINI: 9:00 o'clock.

8 MR. CHIN: On June 9th.

9 MR. KEHOE: On June 9th.

10 MR. CHIN: Sunday, June 9th.

11 MR. FLEMING: And that's okay with your
12 clients, everything's okay?

13 MR. LENTINI: Excuse me?

14 MR. FLEMING: Your clients can do that,
15 June 9th?

16 MR. LENTINI: Oh yes, absolutely.

17 MR. FLEMING: Okay. Alright. So we'll,
18 we'll, we'll, we'll have that. If anyone else has
19 any other questions, I do also want to invite,
20 although I don't think there's anyone present,
21 any members of the public who have any comments
22 to make on this, I do wish to invite you to do
23 so. And if there is anybody online at the meeting
24 who wishes to make any comments, you're welcome

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2 to.

3 MR. CHIN: Anybody online? No? Okay.

4 MR. FLEMING: Alright. So in light of
5 that, what we'll do is we will adjourn. I need a
6 motion to adjourn.

7 MS. PICCOLO HILL: I make a motion to
8 adjourn.

9 MR. WALSH: Second.

10 MR. FLEMING: Alright. So this matter is
11 adjourned into the next hearing and prior to
12 that, on June 9th at 9:00 a.m., we'll have a site
13 visit where the board members may have more
14 specific questions for you.

15 MR. LENTINI: Sure.

16 MR. FLEMING: If you have anything you
17 want to give to us before that, you're welcome to
18 do that.

19 MR. CHIN: And that's on case 2024-4.

20 MR. KEHOE: And, and John, I'll send out
21 a written invitation.

22 MR. LENTINI: Okay.

23 MR. KEHOE: In the old days I would've
24 mailed it, now I'll email it to everybody. I'll

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2 email it to the zoning board members. And since
3 it constitutes a quorum of the board, I also have
4 to notify the press. That's just Gary Cahill at
5 the Gazette. And then I notify the CAC as well.

6 MR. LENTINI: Okay.

7 MR. KEHOE: So sometimes a member of the
8 CAC, who's an advisor to the zoning board and the
9 planning board might come on the site inspection
10 as well.

11 MR. LENTINI: The more the better.

12 MR. FLEMING: Thank you for being
13 accommodating. We appreciate it.

14 MR. LENTINI: You're welcome. And we
15 will see you on June 9th.

16 MR. CHIN: There better be coffee.

17 MR. FLEMING: Okay. Alright, the next
18 case is 2024-5 and I think this one is yours.

19 MR. CHIN: This is my case on 2024-5,
20 Carly Sheck.

21 MR. FLEMING: Okay.

22 MR. CHIN: Mr. Lentini, would you like
23 to speak again on this?

24 MR. LENTINI: John Lentini, architect on

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2 behalf of Carly Sheck. This is a rather
3 interesting variance and I'm trying to avoid any
4 attempt at humor, but fact is the section of the
5 property maintenance code doesn't permit two
6 people to be in a bedroom under a hundred square
7 feet. It's Section, for the record, New York,
8 404.4.1, every room area, every habitable room,
9 has to have no less than 70 square feet. 4.2 from
10 bedrooms, let's see, from bedrooms, it has to be,
11 or 4.1, same, same section, 50 square feet per
12 person. This house is a little unusual. There's
13 only two houses on Hickory Street, a very tough
14 block to get down. I was talking to one of my
15 clients who's a Mohegan Lake firefighter, so hope
16 you never have to go there, you know. I, I have a
17 moderate sized car and every time I go there it's
18 hard to turn around.

19 The variance we seek is not self-
20 created, she just wants to do this. We applied
21 for a permit and was denied. It is for a front
22 yard setback primarily. There's a shed involved
23 too that I'll talk about separately. But the
24 front yard is not actually adjacent to the street

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2 because the street ends right about where this
3 starts. But the code enforcement examiner
4 determined that you just keep running that line
5 and that's the setback we have to be set back
6 from. There's the other places you could have put
7 it perhaps is on the right side yard, but the
8 septic system stops it. The rear yard, which is a
9 nice little yard, if we put an extension there
10 that would kill the whole yard. And the left was
11 a potential yard except that it isn't the look of
12 the house. The house will start looking very
13 large and she wanted to keep the house looking
14 modest and she works on her planting and stuff
15 around the left side yard. So this is an
16 appropriate place to put it.

17 In the terms of is there any o other way
18 we could do it expanding the existing bedroom?
19 Well, it's bordered by a bathroom, a kitchen and
20 a three bearing walls, four bearing walls. The
21 house, the roofs change right over the bedroom
22 that it would be a structural nightmare to try to
23 move a wall and then we would lose the living
24 room. So this was about the, you know, most

1 May 16, 2024

2 appropriate way to do it.

3 The shed has been there for 15 years.
4 It's four feet from a fence, but it is too close
5 to the lot line. The house beyond that is several
6 hundred feet down a hill. It's in another high-
7 end subdivision. I don't believe the house could
8 even see it. One of the concerns the code
9 enforcement has is that we have a state law about
10 having setback of five feet for fire division,
11 you know, non-combustible. We could add some non-
12 asbestos fireproofing material to satisfy that
13 portion of the code.

14 But otherwise, I had told Martin if this
15 is going to hold everything up, we could also try
16 to move it. Except that right now everything is
17 nicely landscaped and if, if anybody wants to go
18 there too, but it really would be a shame to have
19 to move it. And it's very valuable because
20 there's no storage place in the house. You know,
21 all her gardening equipment is in that little
22 shed.

23 So let's see the other points I have.
24 The value of the house, I mean, there's only two

1 May 16, 2024

2 houses, so it was hard to prepare, but the
3 actual, full market value is only 141,000 for the
4 house. It's hard to believe today because lots
5 are going for that much, even though this lot
6 probably wouldn't, and the only other house that
7 actually also uses another address is valued at
8 172,000. Neither of them are really attractive in
9 terms of what the value would be. And I believe
10 that without improving at least one bedroom in
11 the house, it would, you know, if she ever did
12 plan on selling it, which she doesn't at the
13 moment, it would hurt the potential for selling
14 it.

15 And then the lot itself is a tax lot,
16 but it's too small. It's, it's an R-10
17 neighborhood required to be 10,000 square feet
18 and the lot is only 8,300. Not her fault. I'm an
19 architect 55 years. When I bought my house at
20 Lake Allendale, I didn't realize it was a non-
21 conforming lot. I'm an R-10, it's supposed to be
22 10,000, mine's 9,000. Oh my god, you know, now I
23 can't do anything. You know, fortunately the code
24 enforcement looks at it a little differently.

1 May 16, 2024

2 There's certain things you could do, but if they
3 didn't, you don't relax the yard requirements.
4 You know, I made a case before the board that
5 wasn't successful once before. If you're going to
6 allow an R-40 lot at 20,000 feet to be built, you
7 should use the R-20 setbacks. But they don't. So
8 therein is all the hardships, self-created. And I
9 think that's about all I have.

10 MR. CHIN: Okay. Well actually I drove
11 and saw the house, okay. Got up right to the
12 fence.

13 MR. LENTIN: Yes.

14 MR. CHIN: Opened the gate, of course I
15 knocked on the door, nobody was home. But I
16 looked at the plan and I walked around it a
17 little bit this way, that way I say I'm looking
18 at the site of the flashes. This is the only
19 place you could really put the bedroom. You know,
20 there's no other place to put it. You know, you
21 got a porch on this side, you got this over
22 there. The front deck is on the other side over
23 there. You know, this, you can't put it on the
24 left or right of the front, front, you know, the

1 May 16, 2024

2 front of the house.

3 MR. LENTIN: Yeah.

4 MR. CHIN: It's just impossible to put,
5 you know what I mean? So, it's the only location
6 I could see myself. Alright. And from what I saw,
7 based on what you're putting there and everything
8 else, based on also the five factors that you
9 also put down yourself, I didn't see a problem
10 with your addition going there. And it's a little
11 bit larger than most variances that we do give,
12 but based on the condition of the area,
13 everything is so close to each other over there.
14 I don't have a problem with it.

15 MR. LENTINI: Thank you.

16 MR. CHIN: Anybody else?

17 MR. FLEMING: Any members the board have
18 any comments?

19 MR. WALSH: No. As I, as I went through
20 --

21 MS. PICCOLO HILL: Eighty-eight square
22 feet is not a lot for a bedroom, I have no
23 problems. I have no concerns.

24 MR. LENTINI: Well, so you spend one

1 May 16, 2024

2 third of your life in the bedroom.

3 MS. PICCOLO HILL: Yeah.

4 MR. LENTIN: At least one third.

5 MR. MARTINEZ: Just for the record, I, I
6 had like the fact that you highlighted all five
7 factors, so I do not have a problem with it
8 either.

9 MR. CHIN: And the other thing is I, you
10 know, we got the statement from the three
11 adjoining property owners and they had no problem
12 with the addition that you're putting on.

13 MR. FLEMING: Mr. Walsh?

14 MR. WALSH: Yeah. As I agree with Mr.
15 Chin, you know, it doesn't have an undesirable
16 change in the neighborhood, feasible for
17 somewhere else, you know, you have the septic
18 tank, your leach fields. This is really the best
19 spot for it. Is a substantial, yes, it is
20 substantial, but that is not one of the -- it is
21 one of the factors, but we don't have to meet all
22 five factors, so.

23 MR. LENTINI: And the shed.

24 MR. WALSH: Adverse impact of the

1 May 16, 2024

2 neighborhood, I don't think so. I think it's
3 going to fit nicely in the neighborhood. And is
4 it self-created? Yes. Pretty much every zoning
5 case is self-created at some point. So it's, and
6 again, we don't have to meet all five factors, so
7 --

8 MR. LENTIN: Understood.

9 MR. WALSH: -- I am in support of this.

10 MR. FLEMING: Any other?

11 MR. BELOFF: I agree with Tom. I'm, I'm
12 supportive.

13 MR. FLEMING: Again, this is actually I
14 think the largest area variance that I've, you
15 know, percentage wise, that I've actually been in
16 favor of. But you know, in light of the, the
17 obstacles you've identified with the site, I, I
18 do think this is, that this is the best way to
19 accomplish it. So, I also I, I would approve
20 this. I think it's a, a very good presentation as
21 well, so thank you.

22 MR. FRANCO: Yeah. For the same reasons
23 already discussed, I, I agree as well.

24 MR. FLEMING: Alright, so I think we

1 May 16, 2024

2 need a motion.

3 MR. CHIN: Okay. Well, for -- anybody in
4 the audience who want to speak about this?

5 MR. LENTINI: One --

6 MR. FLEMING: Oh, sorry.

7 MR. LENTINI: Does that include your
8 opinion of the shed being there?

9 MR. FLEMING: Well, the shed, the shed
10 before us?

11 MR. CHIN: Yeah. The existing shed was
12 still by a previous owner. It's not, it's not
13 really on here, on the DNO.

14 MR. FLEMING: I'm sorry, let me --

15 MR. WALSH: On the side here, four feet
16 is --

17 MR. FLEMING: -- let me just read his
18 denial letter.

19 MR. KEHOE: The shed is on there.

20 MR. FLEMING: Hold on one second.

21 MR. CHIN: It says propose addition to
22 side yard for the existing shed. Yeah, it's on
23 there, yeah.

24 MR. CUNNINGHAM: Yeah. What the board

1 May 16, 2024

2 will be voting on is allowing the shed to stay as
3 well.

4 MR. CHIN: Yeah.

5 MR. FLEMING: Alright.

6 MR. CHIN: Allowing --

7 MR. FLEMING: My mistake, I apologize.

8 MR. WALSH: Now, code enforcement
9 would've to -- do they have the dictate?

10 MR. KEHOE: Yeah, to the point of the
11 fire rating, that would be that the DNO's
12 conditioned upon receiving all necessary permits
13 from code enforcement.

14 MR. WALSH: Okay.

15 MR. KEHOE: So if they're going to
16 require fireproofing in the structure --

17 MR. LENTINI: We're, prepared to do
18 that.

19 MR. KEHOE: -- you'd deal with Martin.

20 MR. CHIN: That's between you and the
21 building department.

22 MR. LENTINI: Yes.

23 MR. FLEMING: Agreed. And thank you for
24 identifying that.

1 May 16, 2024

2 MR. CHIN: Anybody on the Zoom or
3 anything? Nope? Nope. Okay. So, I'm going to make
4 a motion on case 2024-5 to close the public
5 hearing.

6 MR. WALSH: Second.

7 MR. FLEMING: All in favor?

8 MULTIPLE: Aye.

9 MR. FLEMING: Public hearing is closed.

10 MR. CHIN: Okay. I'm going to make a
11 motion on case 2024-5 for, for a front yard
12 variance from a proposed 12.79, from 30 feet is a
13 variance of 17.21, it's 57 percent. Also the side
14 yard from four feet is down to 2.4 feet, 2.44
15 feet, a 1.36 feet variance, 34 percent. And that
16 includes the existing shed that was installed by
17 a previous owner that you would have to talk to
18 the building inspector on --

19 MR. LENTINI: Right.

20 MR. CHIN: -- just upgrading it a little
21 bit or whatever you have to do for fireproofing
22 the --

23 MR. LENTINI: Satisfying the state
24 building permit.

1 May 16, 2024

2 MR. CHIN: Okay. Alright. So this is a
3 type II under SQRA, no further compliance is
4 required.

5 MR. WALSH: Second.

6 MR. FLEMING: All in favor?

7 MULTIPLE: Aye.

8 MR. FLEMING: Alright. Congratulations,
9 your application has been approved.

10 MR. LENTINI: Thank you very much.

11 MS. CARLY SHECK: Thank you so much.

12 MR. MARTINEZ: You're welcome.

13 MR. CHIN: Have a nice day.

14 MR. FLEMING: Alright. In light of that,
15 is there any other business? I need a motion to
16 close our hearing.

17 MR. BELOFF: I make a motion to close
18 the public hearing.

19 MR. WALSH: Second.

20 MR. FLEMING: All in favor?

21 MULTIPLE: Aye.

22 MR. FLEMING: Alright. Motion is --
23 hearing is closed. Everyone have a lovely
24 evening.

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May 16, 2024

(The public board meeting concluded at
7:26 p.m.)

CERTIFICATE OF ACCURACY

I, Claudia Marques, certify that the foregoing transcript of the board meeting of the Town of Cortlandt on May 16, 2024 was prepared using the required transcription equipment and is a true and accurate record of the proceedings.

Certified By

A handwritten signature in cursive script that reads "Claudia Marques".

Date: June 3, 2024

GENEVAWORLDWIDE, INC
228 Park Ave S - PMB 27669
New York, NY 10003

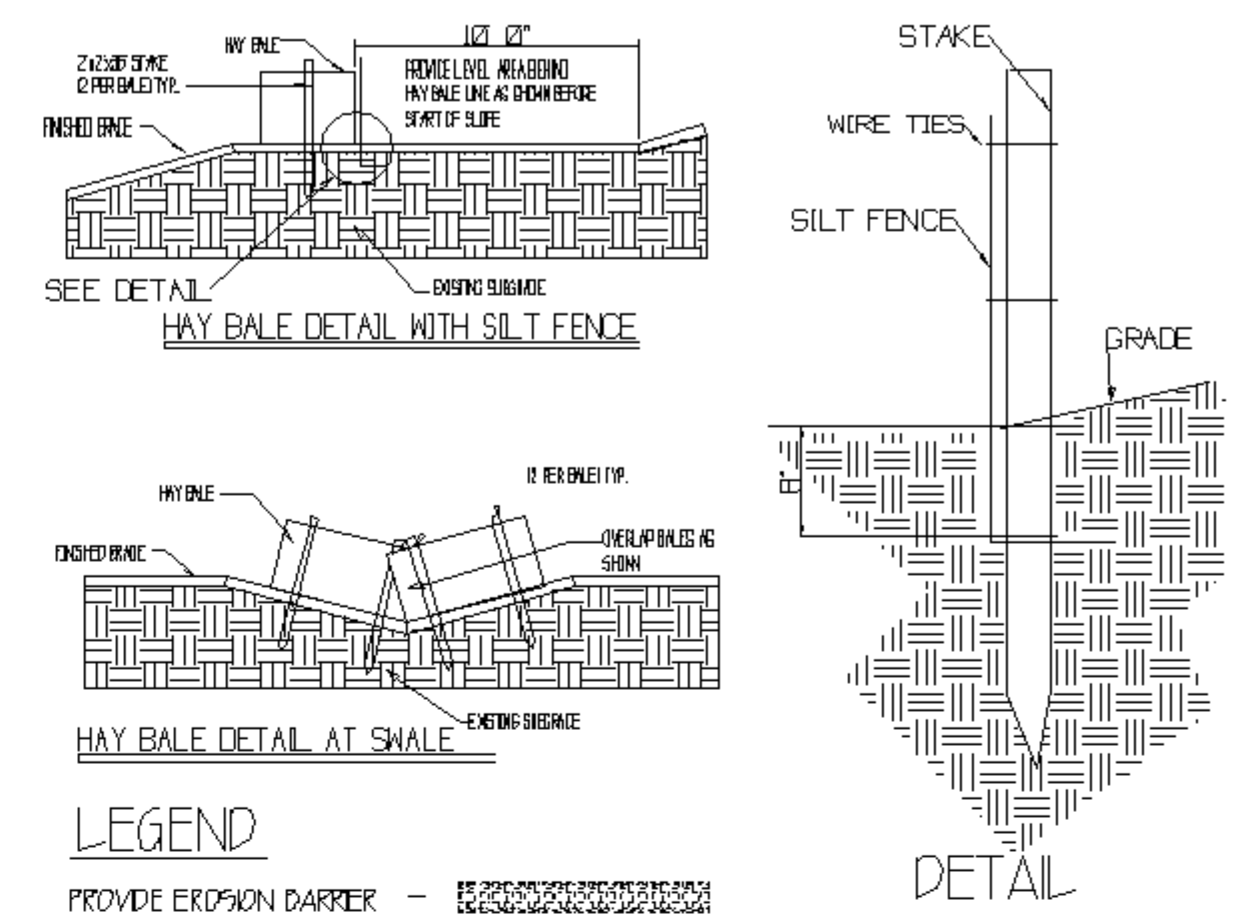
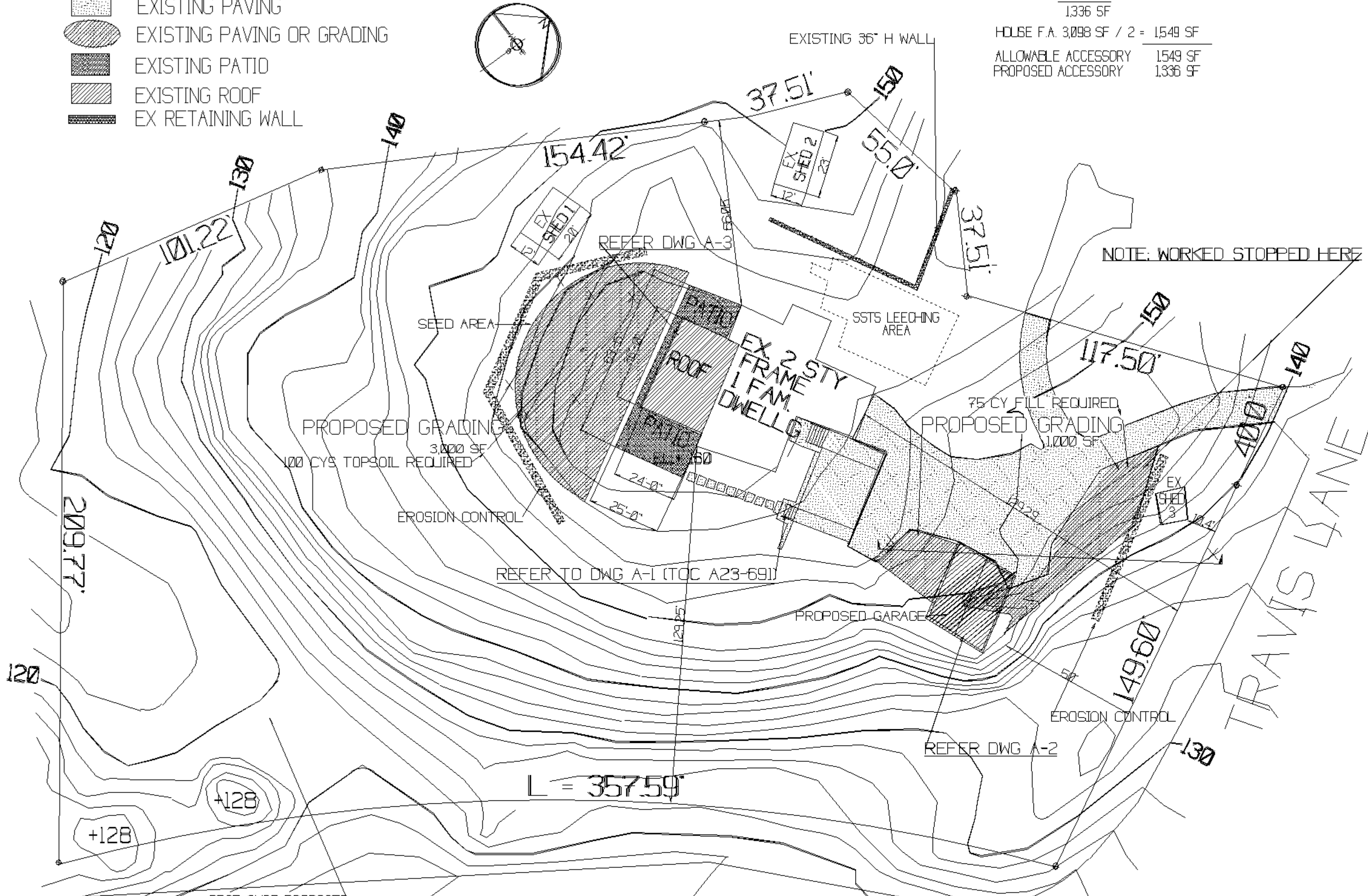
LEGEND

- EXISTING PAVING
- EXISTING PAVING OR GRADING
- EXISTING PATIO
- EXISTING ROOF
- EX RETAINING WALL

SHED 1 - 240 SF
 SHED 2 - 276 SF
 SHED 3 - 100 SF
 PR GARAGE - 720 SF
 1336 SF

HOUSE F.A. 3,098 SF / 2 = 1,549 SF
 ALLOWABLE ACCESSORY 1,549 SF
 PROPOSED ACCESSORY 1,336 SF

| EXPOSURE CRITERIA | | CODE REVIEW | | NYS 2020 RESIDENTIAL CODE | | EFFECTIVE 5/12/2020 | |
|-------------------|------------|----------------|---------------|---------------------------|--------------------------------|---------------------|------------------|
| GROUND SNOW | WIND SPEED | WIND DIRECTION | WIND BARRIERS | SEISMIC CATEGORY | POTENTIAL FOR DAMAGE FROM WIND | WEATHER RESISTANCE | TEMPERATURE ZONE |
| 30 | NO | YES | NO | C | SEVERE | 4" | 7 |
| | | | | | | | YES |
| | | | | | | | NO |
| | | | | | | | 100 OR LESS |
| | | | | | | | 5/6 |



LEGEND

PROVIDE EROSION BARRIER -

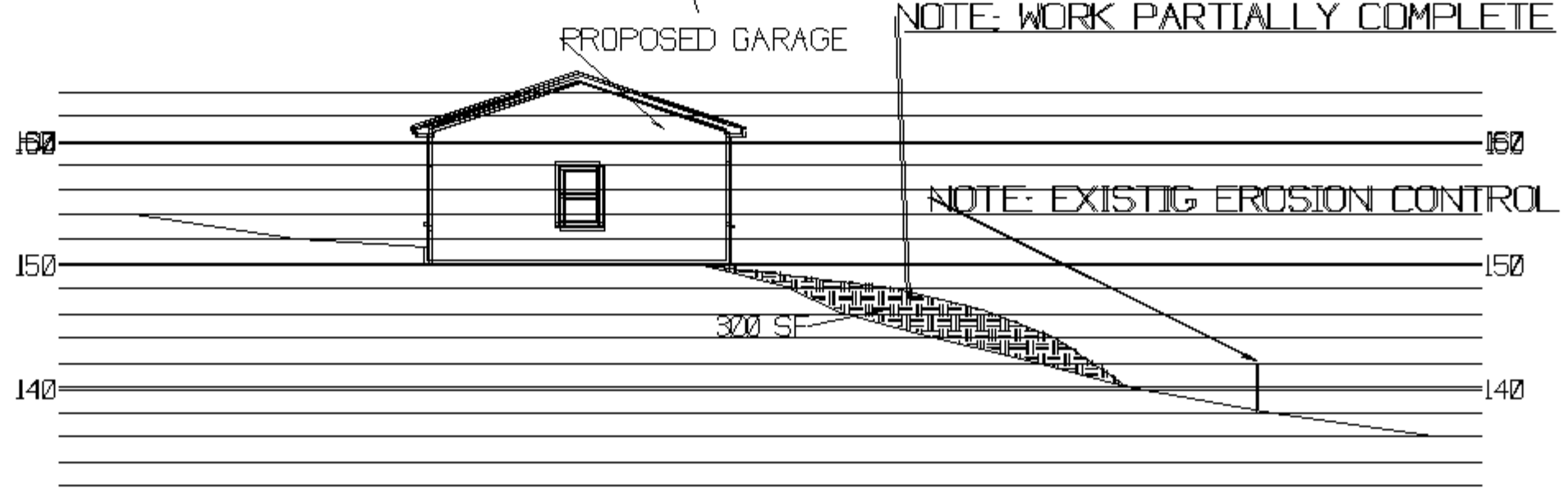
GENERAL NOTES:
 NOTE: IT IS UNLAWFUL TO ALTER THIS DRAWING UNLESS ACTING UNDER THE DIRECTION OF A LIC. DESIGN PROFESSIONAL (DESIGNER).
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 NOTE: THE OWNER AND CONTR. ARE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS.
 NOTE: CONTRACTOR IS REQUIRED TO SCHEDULE ALL REQUIRED INSPECTIONS.
SOIL BEARING NOTE:
 NOTE: THE SOIL AT THE BOTTOM OF FOOTING IS ASSUMED TO BE DRY SAND WITH THE BEARING CAPACITY OF TWO (2) TONS PER SQUARE FOOT.
INSPECTION NOTE:
 NOTE: DO NOT PLACE CONCRETE FOR FOOTINGS PRIOR TO THE INSPECTION OF SUB-SOILS, FORMS AND REINFORCING BY THE JURISDICTION CODE ENFORCEMENT OFFICER AND THE DESIGNER.
COMPLIANCE NOTE:
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MONTROSE STATION ROAD

PLOT PLAN

SCALE 1" = 20'-0"

NOTE: PLOT PLAN INFO TAKEN, IN PART, FROM SURVEY BY J. HENRY CARPENTOR DATED 7/31/1987. TOPO FROM "MAPPING WESTCHESTER COUNTY".



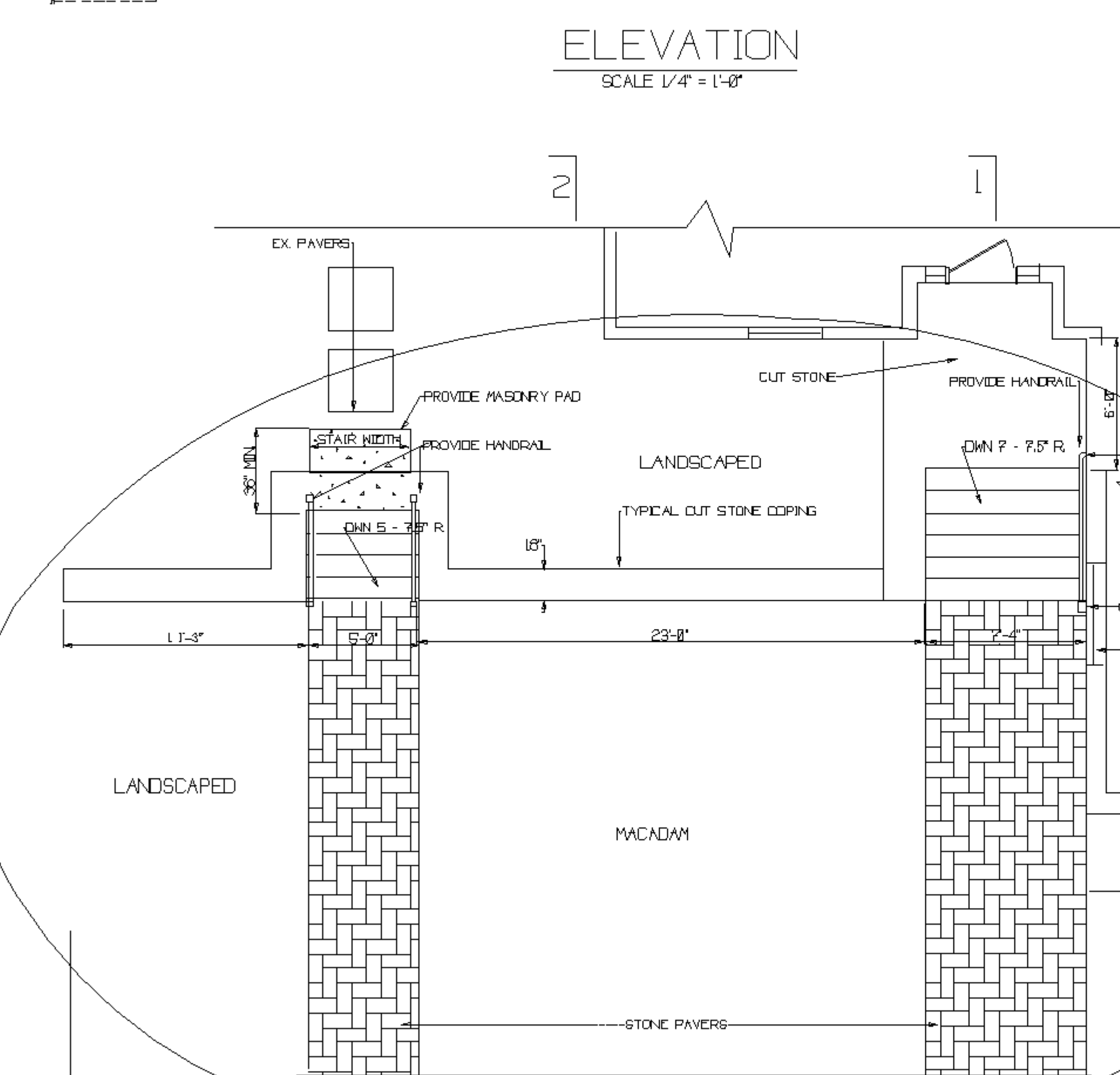
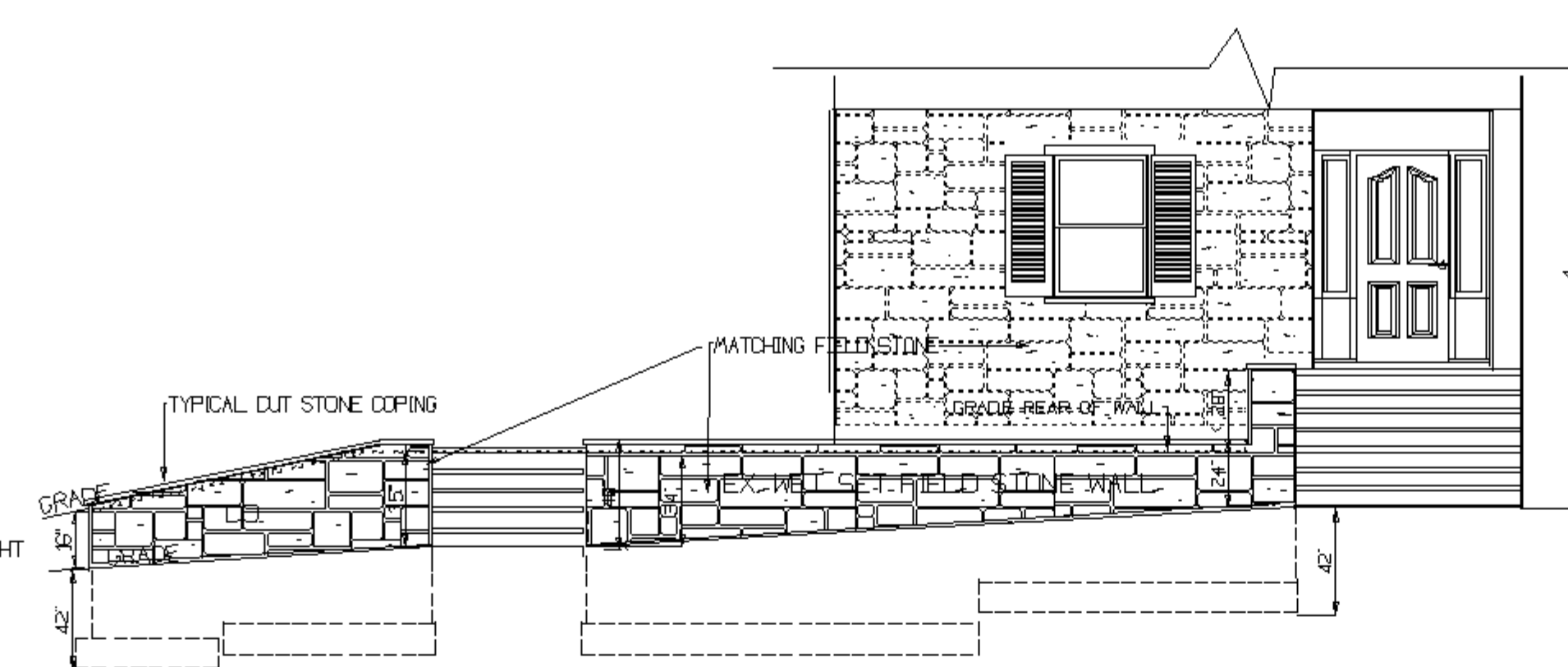
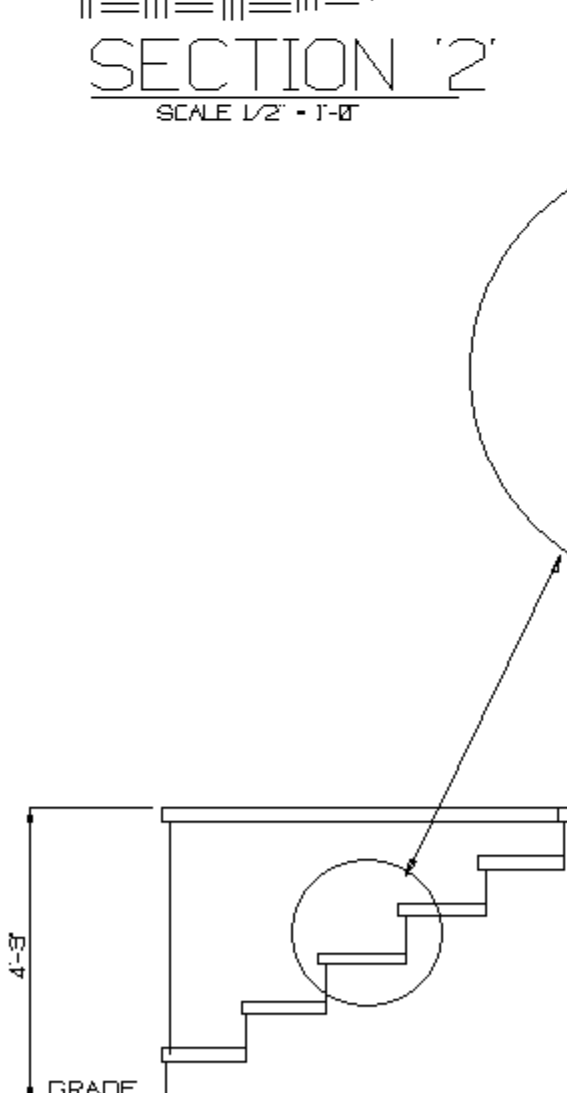
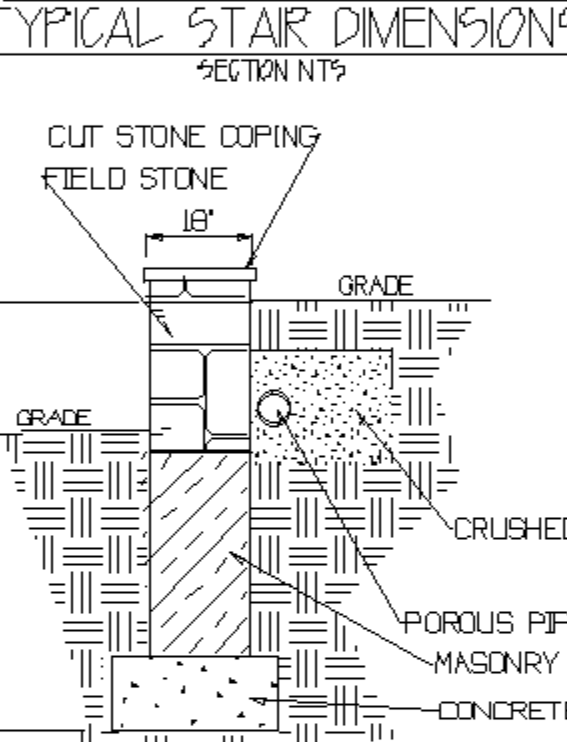
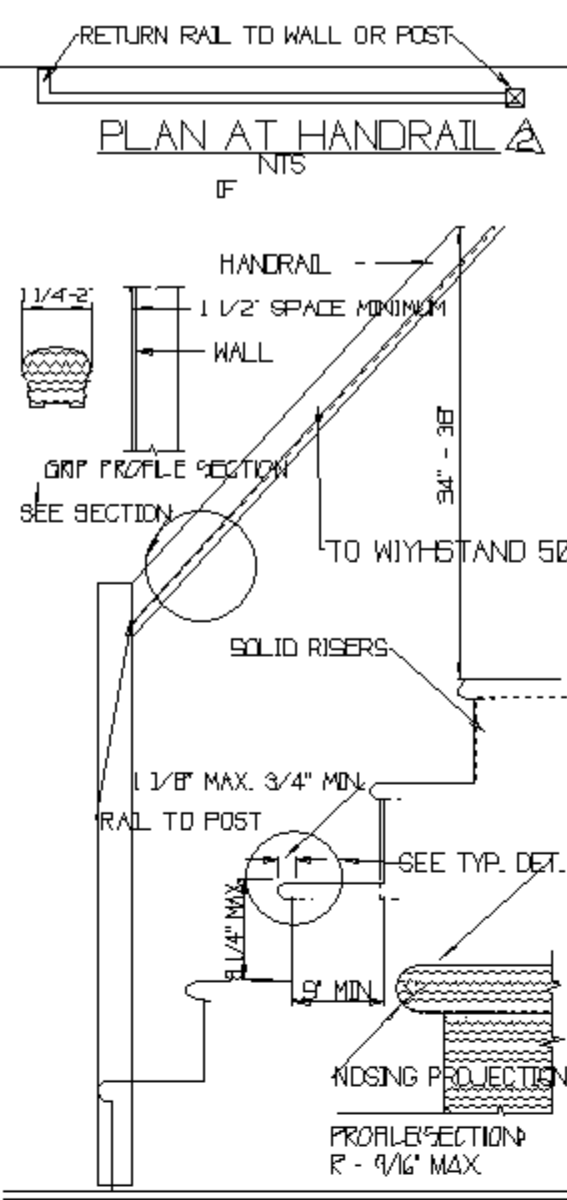
SECTION 'X-X'

SCALE 1" = 10'-0"

| REVISION | DATE | DESCRIBE | BY |
|----------|------|--|----------------------|
| | | CLIENT EDISON RUILOVA LOCATION 4 TRAVIS LANE MONTROSE, NY | |
| | | 4320 - 3 - 6. R-80 ZONE, 98.313 SF | |
| | | DRAWING DATE 2/20/2024 BY JL/gk | |
| | | SITE PLAN | |
| | | JOHN A. LENTINI ARCHITECT 124 ALLAN STREET CORTLANDT MANOR, NY 10567-4614 PHONE (914) 737-2890 | |
| | | EMAIL PENCILBASE@aol.com | |
| | | SEAL # SIGNATURE | DRAWING NUMBER 03323 |



S-1



HANDRAILS FOR STAIRS

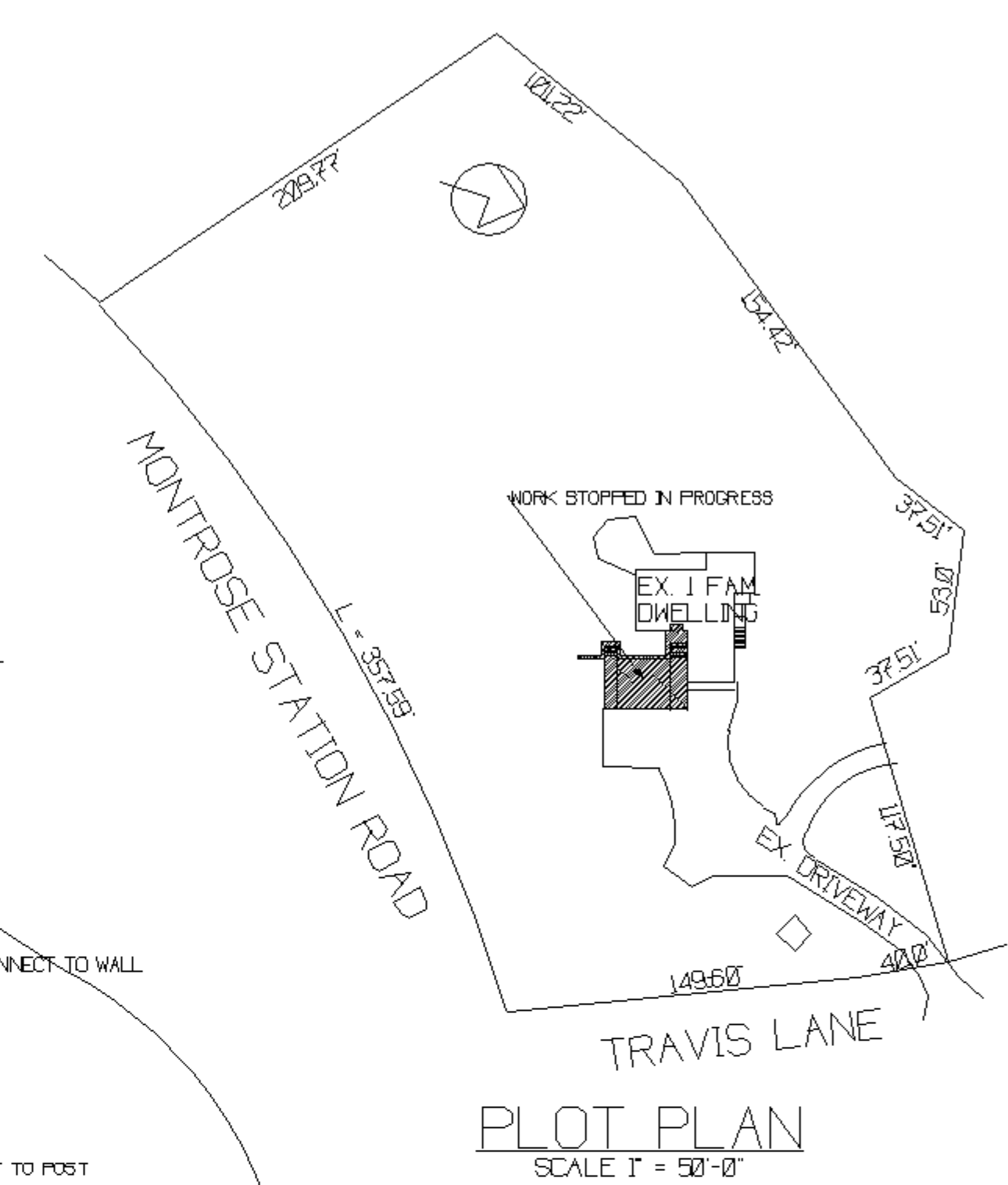
- HANDRAILS SHALL BE PROVIDED FOR ALL STAIRS IN ACCORD WITH THE NYS BUILDING CODE.
- HANDRAILS SHALL BE 34 INCHES TO 38 INCHES ABOVE THE STAIR NOSINGS.
- HANDRAILS TO BE CONTINUOUS.
- HANDRAIL GRASPABILITY TO TYPE I CIRCULAR NOT LESS THAN 1 1/4" AND NOT GREATER THAN 2"
- HANDRAILS TO BE 1 1/2" CLEAR FROM WALL OR OTHER OBSTRUCTION.
- HANDRAILS TO RETURN TO WALL OR TERMINATE AT A POST. OPEN ENDED RAILS PROHIBITED.
- HANDRAILS THAT ALSO SERVE AS GUARD RAILS TO CONFORM TO ALL APPLICABLE GUARD RAIL CODES.

GUARDS

Guards required. Porches, balconies or raised floor surfaces located more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 36 inches (914 mm) in height. Open sides of stairs with a total rise of more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 34 inches (864 mm) in height measured vertically from the nosing of the treads.

Guard opening limitations. Required guards on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures that do not allow passage of a sphere 4 inches (102 mm) or more in diameter.

| EXPOSURE CRITERIA | | | | | | | | | | | | CODE REVIEW NYS 2020 RESIDENTIAL CODE EFFECTIVE 5/12/2020 | | | | | | | | | | | |
|-------------------|--------------------|-------------|-----------------|----------------|---------------|--------------------------------|------------|-------------------|-------------|------------------|----------------|---|------------|---------------|--|--|--|--|--|--|--|--|--|
| GROUND SNOW | WIND EFFECT | WIND DESIGN | WIND RESISTANCE | WIND DIRECTION | WIND CATEGORY | POTENTIAL FOR DAMAGE FROM WIND | WIND SPEED | WIND PRESSURE | WIND UPLIFT | WIND TEMPERATURE | WIND DIRECTION | FLOOR LOADS | AIR FREEZE | MINIMUM TEMP. | | | | | | | | | |
| 30 | SPECIAL AND REGION | NO | YES | NO | C | SEVERE | 42 | MODERATE TO HEAVY | 7 | YES | NO | 1500 OR LESS | 5/6 | | | | | | | | | | |



NOTE: PLOT PLAN INFO TAKEN IN PART FROM WESTCHESTER COUNTY GIS DATA BASE AND FROM SURVEY PROVIDED BY THE OWNER. SURVEY BY J. HENRY CARPENTER, JULY 31, 1987.

GENERAL NOTES

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NOTE: CONTRACTOR IS REQUIRED TO SCHEDULE ALL REQUIRED INSPECTIONS.

SOIL BEARING NOTE

NOTE: THE SOIL AT THE BOTTOM OF FOOTING IS ASSUMED TO BE DRY SAND WITH THE BEARING CAPACITY OF TWO (2) TONS PER SQUARE FOOT.

INSPECTION NOTE

NOTES DO NOT PLACE CONCRETE FOR FOOTINGS PRIOR TO THE INSPECTION OF SUB-SOIL FORMS AND REINFORCING BY THE JURISDICTION CODE ENFORCEMENT OFFICER AND THE DESIGNER.

COMPLIANCE NOTE

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PLAN COMPLIANCE NOTE

THIS PLAN AND CONDITIONS ILLUSTRATED CONFORM ALL APPLICABLE CODES (INCLUDING THE YORK NEW STATE ENERGY CODE).

LEGALIZATION NOTES

LEGALIZATION OF EXISTING CONDITIONS INVOLVING PLUMBING OR ELECTRICAL WORK ARE REQUIRED TO BE CERTIFIED BY LICENSED PLUMBER/ELECTRICIAN IF REQUIRED BY THE JURISDICTIONAL AUTHORITY. ALL CONDITIONS SHOWN ARE PRESENTLY PLUMB LEVEL AND STRUCTURALLY SOUND.

THERE IS NO WORK REQUIRED UNLESS SPECIFICALLY INDICATED ON THIS PLAN.

SMOKE AND CO DETECTOR REQUIREMENTS

SMOKE AND CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED AND MAINTAINED IN ACCORD WITH NYS CODES AND PER PLAN. CARBON MONOXIDE DETECTORS ARE REQUIRED ON EACH LEVEL WHERE THERE IS A SOURCE OF CO EMISSION.

A CO DETECTOR IS REQUIRED WITHIN 15 FEET OF EVERY BEDROOM. A SMOKE DETECTOR IS REQUIRED IN EVERY BEDROOM AND WITHIN 10 FEET OUTSIDE OF EVERY BEDROOM AND ON EVERY LEVEL OF HOME.

LICENSED TRADE CONTRACTOR REQUIREMENT

ANY REQUIRED PLUMBING AND/OR ELECTRICAL INVOLVING REQUIRED CERTIFICATIONS TO BE WORK PERFORMED BY LICENSED AND INSURED TRADE CONTR.

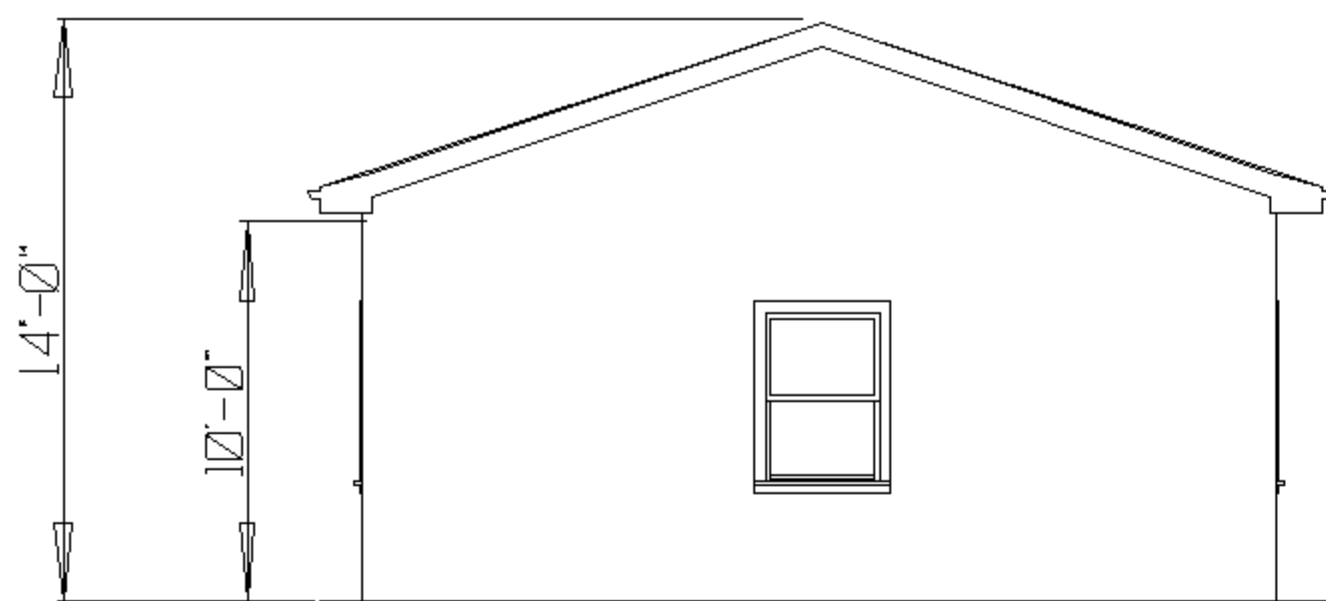
SITE AND ADDITION NOTE

SITE WORK LAYOUT MAY REQUIRE A STAKE-OUT BY A LICENSED SURVEYOR. THE CONTRACTOR TO CONSULT AN EXISTING SURVEY, SITE STAKE-OUT OR OTHER MEASURES TO ASSURE THAT WORK DOES NOT ENROACH ANY ADJOINING PROPERTY OR REQUIRED SET BACKS.

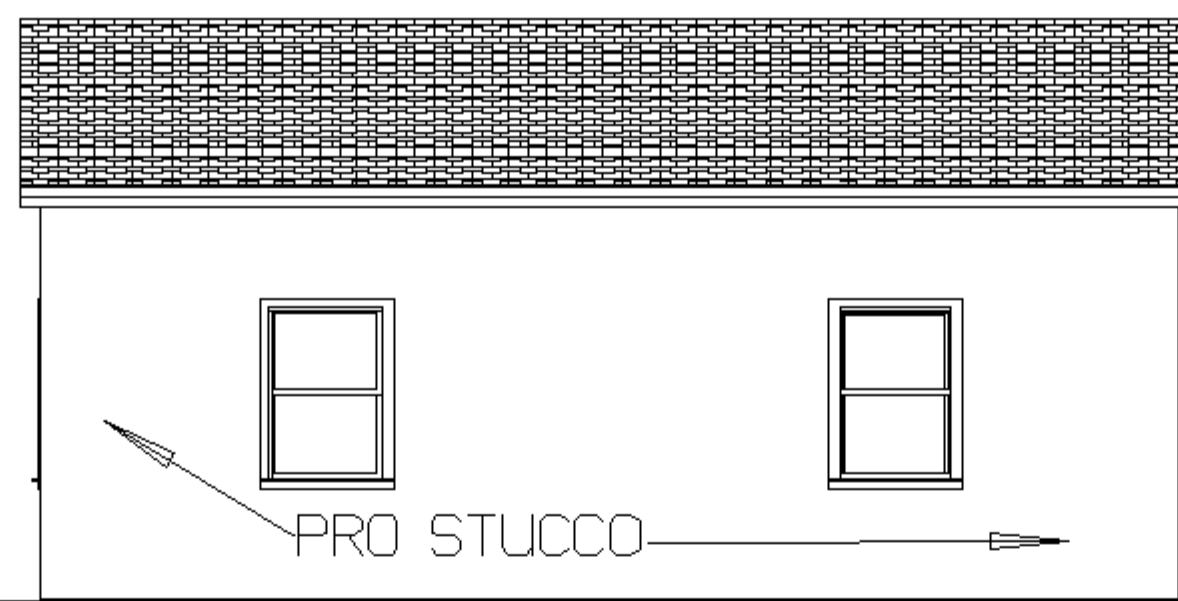
- CUT STONE PAVER / TREAD NOTES**
- PAVER / TREAD STARTIC COEFFICIENT MINIMUM 0.05
 - STORE STONES LEVEL ON PALLETS COVERED.
 - INSTALLATION ONLY BETWEEN 50 F-90 F.
 - PREVENT TRAFFIC ON FINISHED FLOOR FOR 72 HOURS.
 - DINNER TO APPROVE COLOR.
 - PROVIDE MEDIUM BED LATEX PORTLAND CEMENT MORTAR WITH LIQUID LATEX ADDITIVE.
 - PROVIDE SCUFF AND SLIP RESISTANT SILICONE SEALER.

A23-691

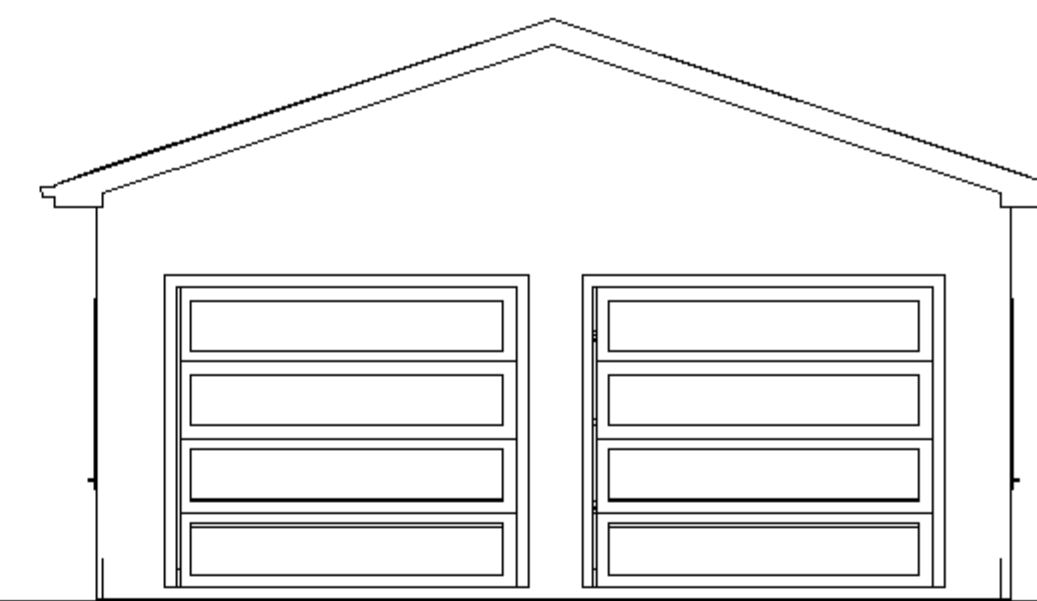
| REVISION | DATE | DESCRIBE | BY |
|--|------|----------|----|
| CLIENT EDISON RUILOVA C/O JOSE L. CONSTRUCTION INC. LOCATION 4 TRAVIS LANE MONTROSE, NY | | | |
| 4320 - 3 - 6, R-80 ZONE, 98,313 SF | | | |
| DRAWING DATE 7/10/2023 BY JL | | | |
| PLAN OF WORK IN PROGRESS | | | |
| JOHN A. LENTINI ARCHITECT 124 ALLAN STREET CORTLANDT MANOR, NY 10567-1614 PHONE (914) 737-2890 | | | |
| EMAIL PENCILBASE@AOL.COM | | | |
| DRAWING NUMBER 03323 | | | |
| | | | |
| A-1 | | | |
| SHEET 2 OF 4 | | | |



REAR ELEVATION
SCALE 1/4" = 1'-0"



SIDE ELEVATIONS
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

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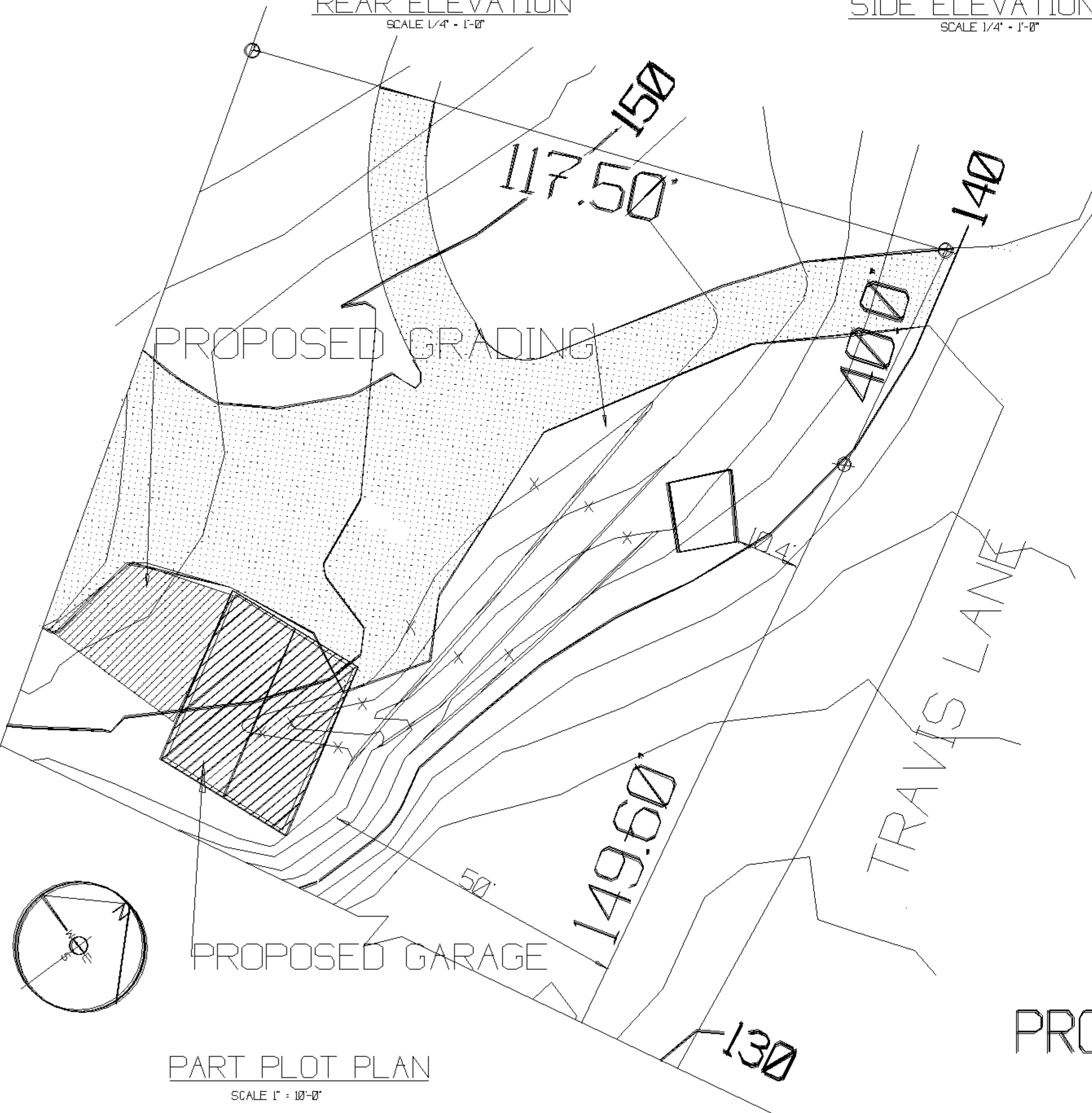
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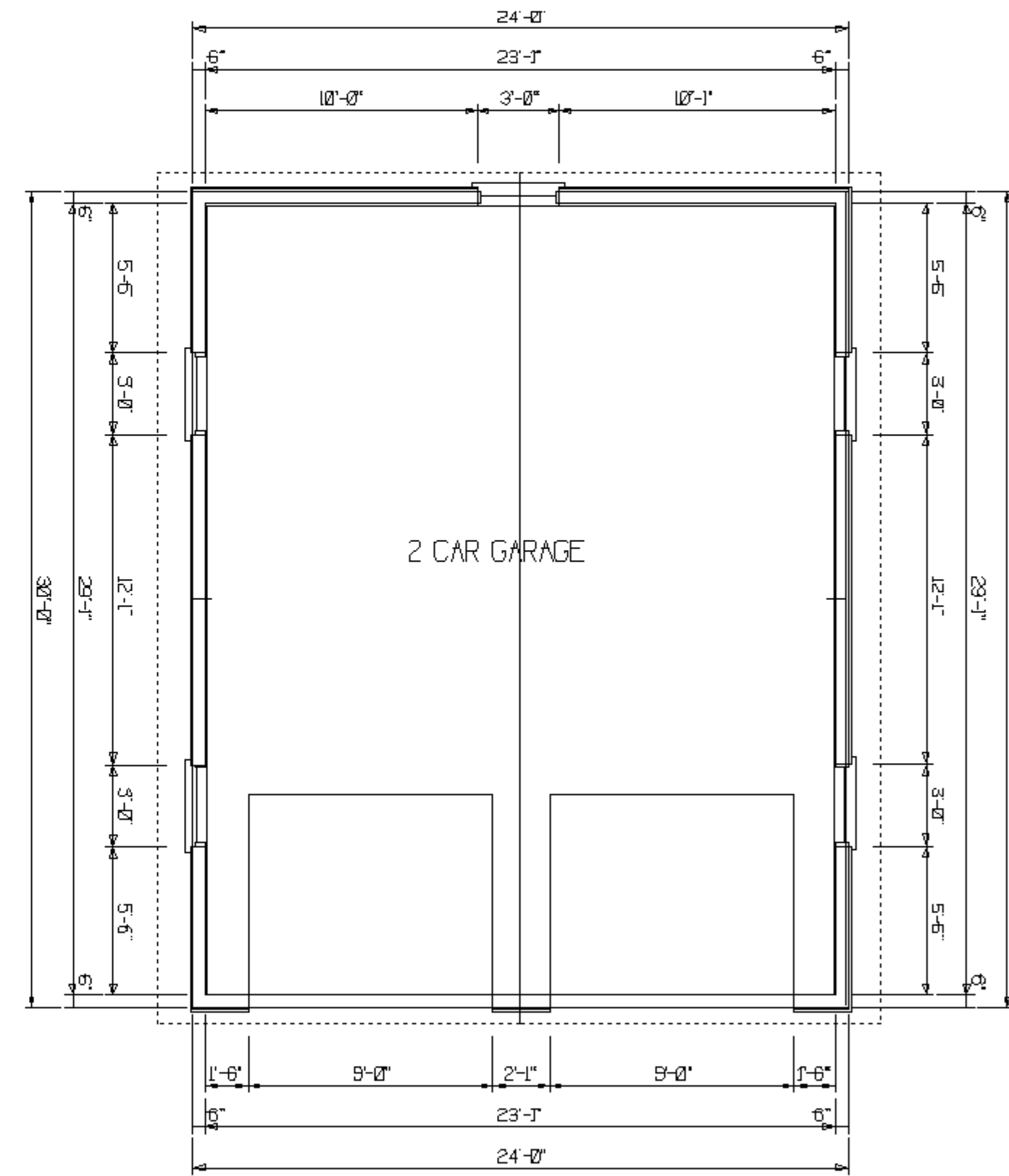
LICENSED TRADE CONTRACTOR REQUIREMENT
ANY REQUIRED PLUMBING AND/OR ELECTRICAL INVOLVING REQUIRED CERTIFICATIONS TO BE WORK PERFORMED BY LICENSED AND INSURED TRADE CONTR.

SITE AND ADDITION NOTE
SITE WORK LAYOUT MAY REQUIRE A STAKE-OUT BY A LICENSED SURVEYOR. THE CONTRACTOR TO CONSULT AN EXISTING SURVEY, SITE STAKE OUT OR OTHER MEASURES TO ASSURE THAT WORK DOES NOT ENCRoACH ANY ADJOINING PROPERTY OR REQUIRED SET BACKS.

PROPOSAL IS SUBJECT TO ZONING BOARD REVIEW



PART PLOT PLAN
SCALE 1" = 10'-0"



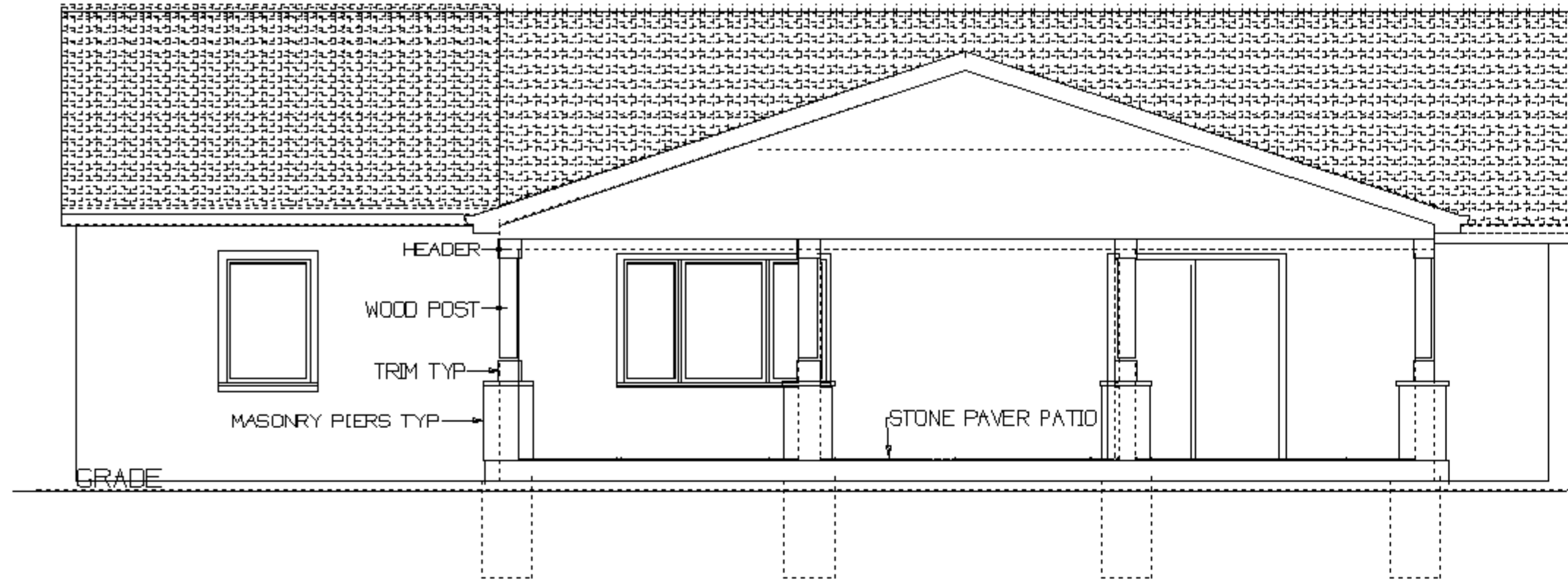
FLOOR PLAN
SCALE 1/4" = 1'-0"

PROPOSED 2 CAR GARAGE

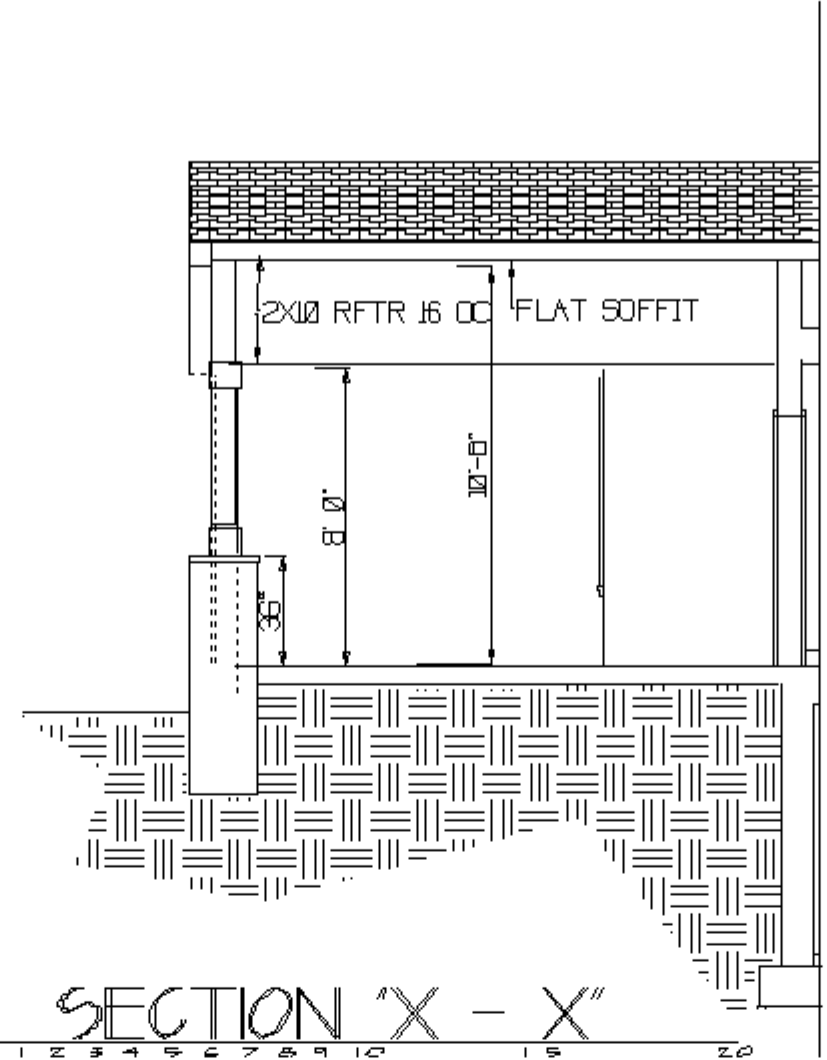
| REVISION | DATE | DESCRIBE | BY |
|--|------|---|----------------------|
| | | CLIENT EDISON RUILOVA | |
| | | LOCATION 4 TRAVIS LANE MONTROSE, NY | |
| | | 4320 - 3 - 6, R-80 ZONE, 98,313 SF | |
| | | DRAWING DATE 2/20/2024 BY JL | |
| GARAGE PLAN | | | |
| JOHN A. LENTINI ARCHITECT 124 ALLAN STREET CORTLANDT MANOR, NY 10867-4614 PHONE (914) 737-2890 | | | |
| EMAIL PENCILBASE@AOL.COM | | | |
| SEAL + SIGNATURE | | | DRAWING NUMBER 03323 |
| | | | A-2 |
| | | | SHEET 3 OF 4 |

EXISTING ROOF OVER OPEN PATIO AT REAR OF HOUSE

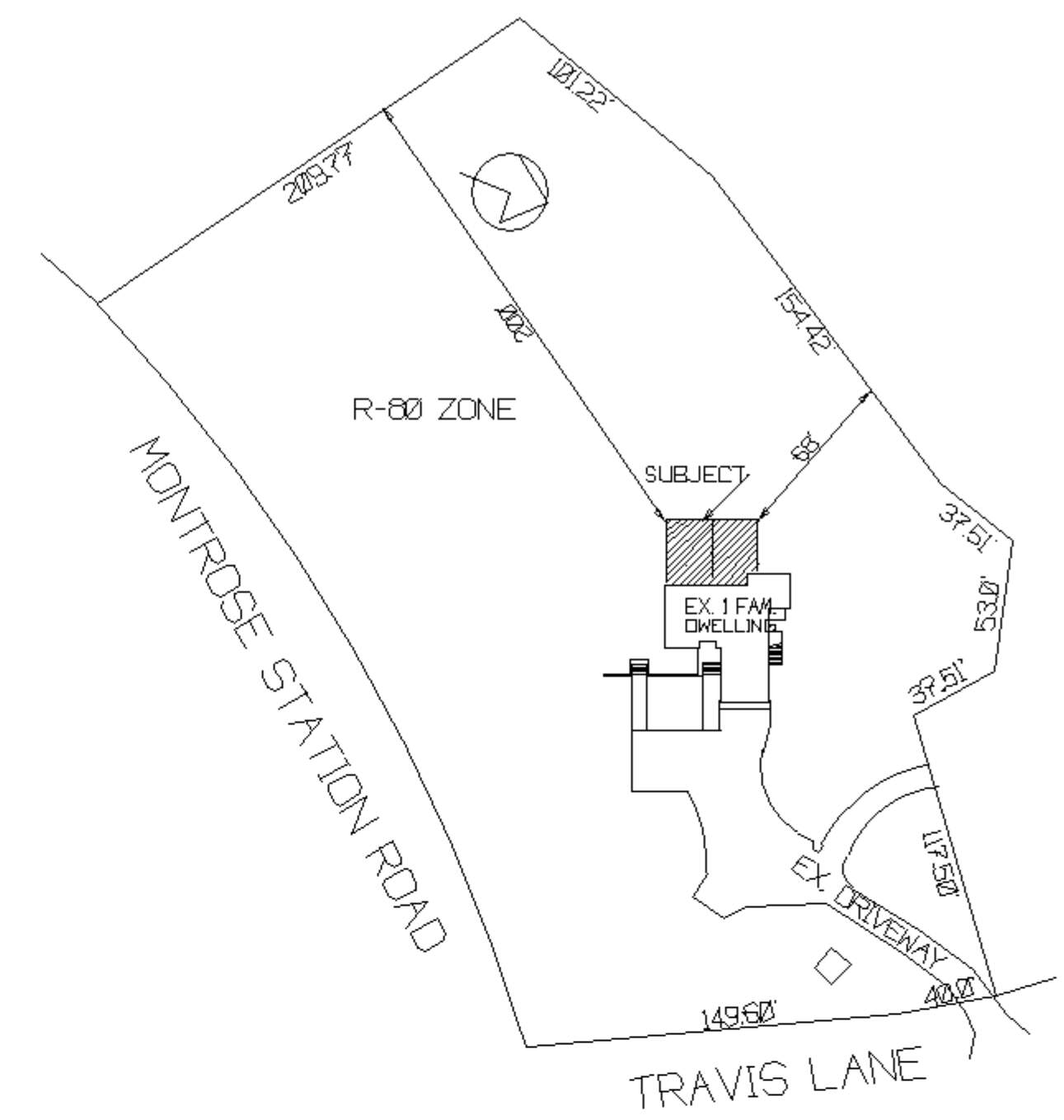
| EXPOSURE CRITERIA | WIND DESIGN | POTENTIAL FOR DAMAGE FROM WINDBORNE DEBRIS | WIND DESIGN CATEGORY | POTENTIAL FOR DAMAGE FROM WINDBORNE DEBRIS | WIND DESIGN CATEGORY | WIND DESIGN CATEGORY | WIND DESIGN CATEGORY | WIND DESIGN CATEGORY | WIND DESIGN CATEGORY | WIND DESIGN CATEGORY | WIND DESIGN CATEGORY | WIND DESIGN CATEGORY | WIND DESIGN CATEGORY | WIND DESIGN CATEGORY | WIND DESIGN CATEGORY |
|-------------------|---------------------|--|----------------------|--|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|
| 30 | SPECIAL WIND REGION | NO | YES | NO | C | REVERSE | 4" | NO | 7 | YES | NO | NO | NO | NO | NO |



REAR ELEVATION
SCALE 1/4" = 1'-0"



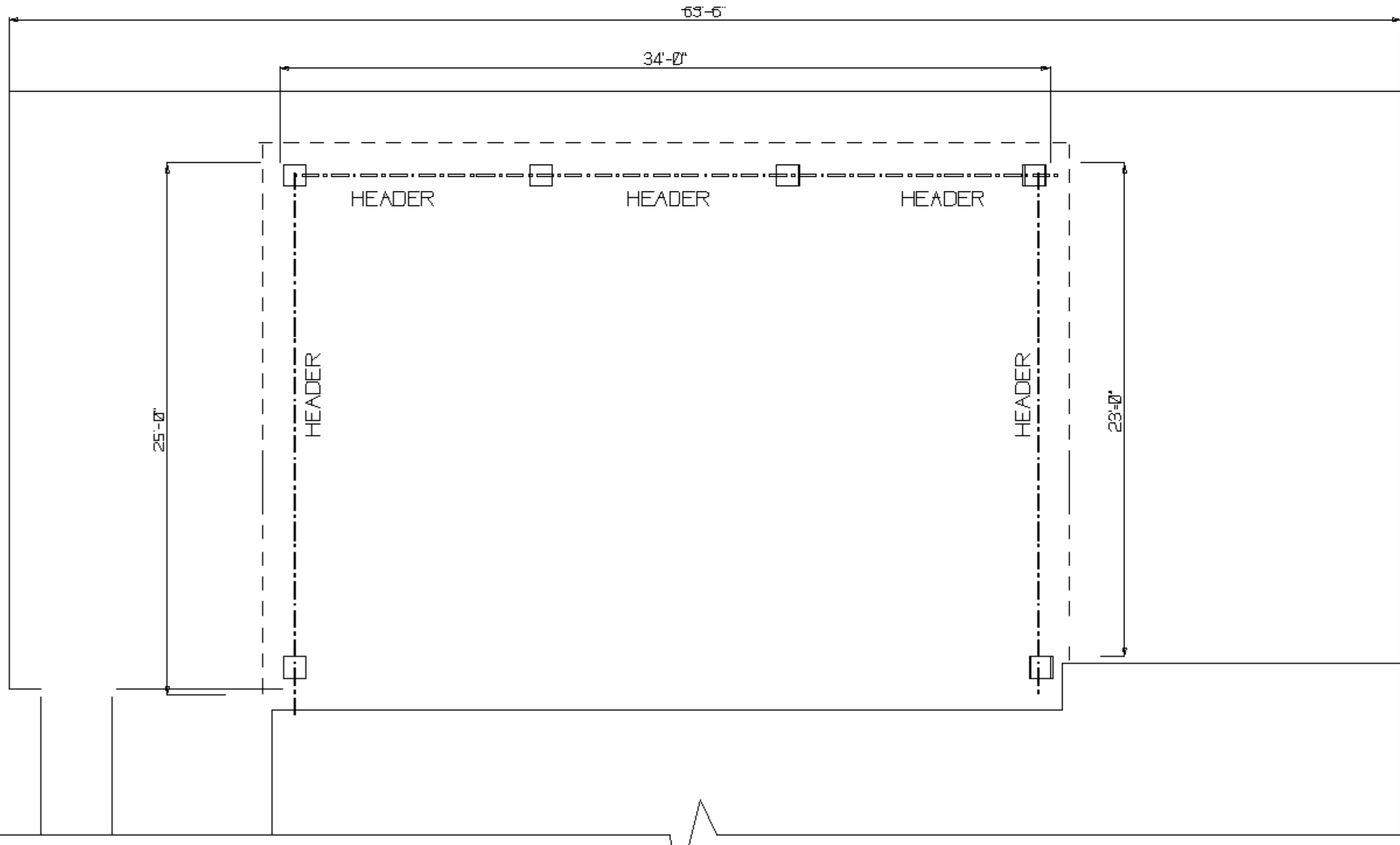
SECTION 'X - X'
SCALE 1/4" = 1'-0"



PLOT PLAN
SCALE 1" = 50'-0"

LEGALIZATION NOTES
LEGALIZATION OF EXISTING CONDITIONS INVOLVING PLUMBING OR ELECTRICAL WORK ARE REQUIRED TO BE CERTIFIED BY LICENSED PLUMBER/ELECTRICIAN IF REQUIRED BY THE JURISDICTIONAL AUTHORITY. ALL CONDITIONS SHOWN ARE PRESENTLY PLUMB AND STRUCTURALLY SOUND.
THERE IS NO WORK REQUIRED UNLESS SPECIFICALLY INDICATED ON THIS PLAN.

SMOKE AND CO DETECTOR REQUIREMENTS
SMOKE AND CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED AND MAINTAINED IN ACCORD WITH NYS CODES AND PER PLAN. CARBON MONOXIDE DETECTORS ARE REQUIRED ON EACH LEVEL WHERE THERE IS A SOURCE OF CO EMISSION.
A CO DETECTOR IS REQUIRED WITHIN 15 FEET OF EVERY BEDROOM. A SMOKE DETECTOR IS REQUIRED IN EVERY BEDROOM AND WITHIN 10 FEET OUTSIDE OF EVERY BEDROOM AND ON EVERY LEVEL OF HOME.
LICENSED TRADE CONTRACTOR REQUIREMENT
ANY REQUIRED PLUMBING AND/OR ELECTRICAL (INVOLVING REQUIRED CERTIFICATIONS) TO BE WORK PERFORMED BY LICENSED AND INSURED TRADE CONTR.
SITE AND ADDITION NOTE
SITE WORK LAYOUT MAY REQUIRE A STAKE-OUT BY A LICENSED SURVEYOR. THE CONTRACTOR TO CONSULT AN EXISTING SURVEY. SITE STAKE-OUT OR OTHER MEASURES TO ASSURE THAT WORK DOES NOT ENCRoACH ANY ADJOINING PROPERTY OR REQUIRED SET BACKS.



FLOOR PLAN
SCALE 1/4" = 1'-0"

| | | | |
|--|------|-------------|----------------------|
| REVISION | DATE | DESCRIPTION | BY |
| CLIENT EDISON RUILOVA | | | |
| LOCATION 4 TRAVIS LANE MONTROSE, NY | | | |
| 43.20 - 3 - 6, R-80 ZONE, 98.313 SF | | | |
| DRAWING DATE 2/18/2024 BY JL/KHK | | | |
| PLAN OF WORK ROOF AT REAR | | | |
| JOHN A. LENTINI ARCHITECT 124 ALLAN STREET CORTLANDT MANOR, NY 10567-1614 PHONE (914) 737-2890 | | | |
| EMAIL PENCILBASE@AOL.COM | | | |
| SEAL & SIGNATURE | | | DRAWING NUMBER 03323 |
| | | | A-3 |
| | | | SHEET 4 OF 4 |