

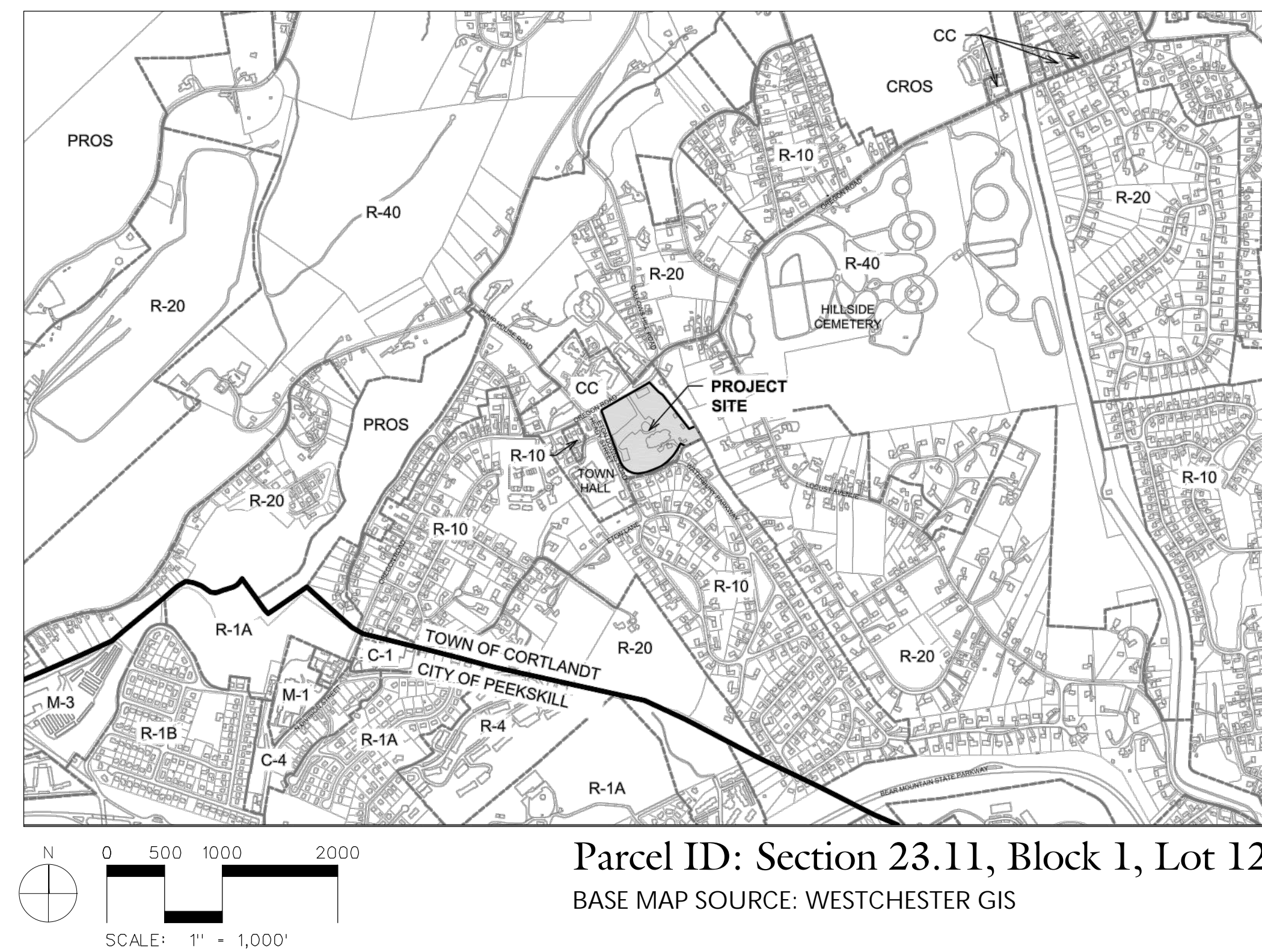
OVERLOOK TERRACE

119 OREGON ROAD
TOWN OF CORTLANDT, NEW YORK

SITE PLAN APPLICATION DRAWINGS

05/19/21
REVISED 06/23/21

SITE LOCATION MAP



REFERENCE INFORMATION:

1. Base survey information obtained from topographic survey prepared by Gallas Surveying Group dated last revised 12/23/20.
2. Elevation based on North American Vertical Datum 88.
3. Existing utilities shown herein taken from field data prepared by Control Point Associates on 04/04/18 and 04/25/18.

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ALTA/NSPS LAND TITLE SURVEY (SHEET 1 OF 2)	1"=30'	12/23/20
ALTA/NSPS LAND TITLE SURVEY (SHEET 2 OF 2)	1"=30'	12/23/20

TOWN NOTES:

- No deviation to the plans as approved is permitted without written authorization by the Town of Cortlandt. Violation of this provision shall be means to issue an immediate "Stop Work Order".
- Prior to the any site work, a clearing and grading stakeout sketch prepared by a licensed professional land surveyor shall be submitted to the Director of Technical Services for approval. The stakeout sketch shall be used to clearly identify the limits of disturbance and to establish all erosion controls.
- An owner or operator of a regulated construction project, with some exceptions, shall have a Qualified Inspector conduct specific site inspections. Certain Qualified Inspectors who work on these sites (i.e., individuals working under direct supervision of, and at the same company as, a licensed Professional Engineer or Registered Landscape Architect of NYS) are required to complete 4 hours of E&SC training under the General Permit.
- At the completion of construction (not prior to final stabilization including pavement restoration) all catch basins, drain inlets, manholes, storm water infrastructure and hydrodynamic separators shall be flushed, vacuumed and cleaned of all debris.
- A comprehensive as-built survey shall be submitted upon completion of the project. The survey shall conform to ALTA standards. All easements, utilities, rims, inverts, surface improvements (including striping) shall be submitted to the satisfaction of the Director of the Department of Technical Services.

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GENERAL NOTES

- 1.WORK UNDER THIS CONTRACT CONSISTS OF: DEMOLITION, CLEARING AND GRUBBING, SOIL EROSION & SEDIMENT CONTROL, EARTH EXCAVATION, ROCK EXCAVATION, GRADING, REMOVAL OF EXCESS MATERIAL, EARTH RETENTION, STORM DRAINAGE AND STORMWATER MANAGEMENT FACILITIES, SANITARY SEWER UTILITIES, DOMESTIC WATER AND FIRE SERVICE CONNECTIONS, SITE LIGHTING, UTILITY TRENCHING AND INSTALLATION, CONCRETE CURB & WALKS, GRANITE CURBING, INSTALLATION OF UNIT PAVERS, CONCRETE APRONS, BITUMINOUS CONCRETE PAVING, POROUS PAVEMENT, MAINTENANCE & PROTECTION OF TRAFFIC, SIGNAGE, PAVEMENT MARKING, RETAINING WALL CONSTRUCTION, FENCING, BUMPER RAILS AND GUIDERAILS, TOPSOILING, SEEDING AND LANDSCAPING.
- 2.THE TITLE AND TOPOGRAPHIC SURVEY AND THE INFORMATION THEREBY OBTAINED ARE NOT GUARANTEED TO BE ACCURATE OR CORRECT BY THE OWNER, THE ARCHITECT, THE ENGINEER OR ANY OF THEIR AGENTS OR CONTRACTORS. ALTHOUGH REASONABLE CARE WAS USED IN THE DETERMINATION OF THIS INFORMATION, NO LIABILITY SHALL BE IMPOSED, NOR SHALL ANY CLAIM BY THE CONTRACTOR OR HIS SUB-CONTRACTORS BE ALLOWED FOR DAMAGES OR FOR EXTRA WORK BY REASON OF ANY INCORRECT INFORMATION OR INACCURACIES CONTAINED OR CONVEYED BY SUCH, OR BY REASON OF ANY CONDITIONS ON THE SITE WHICH ARE NOT DISCLOSED THEREBY.
- 3.THE CONTRACTOR ACKNOWLEDGES THAT THEY ASSUME ALL RISKS CONTINGENT UPON THE NATURE OF THE SUBSURFACE CONDITIONS ACTUALLY ENCOUNTERED IN PERFORMING THE WORK COVERED BY THE CONTRACT. SHOULD THE CONTRACTOR WISH TO PERFORM THEIR OWN SITE INVESTIGATIONS PRIOR TO SUBMITTING THEIR BID, ARRANGEMENTS MUST BE MADE WITH THE OWNER.
- 4.ALL WORK OF THIS CONTRACT SHALL CONFORM TO THESE CONTRACT DRAWINGS AND SPECIFICATIONS AS WELL AS TO THE APPLICABLE REQUIREMENTS OF THE TOWN OF CORTLANDT, BUILDING, PUBLIC WORKS, AND FIRE DEPARTMENTS, AS WELL AS THE COGNIZANT PUBLIC UTILITY COMPANIES.
- 5.ALL PAVEMENT MARKINGS AND ALL TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH THE NYSDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. SEE PROJECT SPECIFICATIONS FOR MORE DETAIL.
- 6.ALL PROJECT RELATED LINES AND GRADES ARE TO BE ESTABLISHED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF NEW YORK. THE OWNER WILL PROVIDE (2) HORIZONTAL AND VERTICAL BENCH MARKS.
- 7.LOCATIONS, ELEVATIONS, INVERTS AND SIZES OF EXISTING UTILITY LINES SHOWN ON THE PLANS ARE TO BE VERIFIED IN THE FIELD BY CAREFUL TEST EXCAVATIONS BY THE CONTRACTOR PRIOR TO STARTING THE WORK. ANY SUBSTANTIVE VARIATIONS FROM THE SURVEY DATA PROVIDED ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER SO THAT APPROPRIATE DESIGN MODIFICATIONS MAY BE MADE. OTHER UTILITIES NOT SHOWN ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL AT HIS OWN EXPENSE REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT IS DAMAGED DURING THE COURSE OF CONSTRUCTION AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE DAMAGE TO THE UTILITY AND POTENTIAL INTERRUPTION OF SERVICE.
- 8.EXISTING DRAINAGE AND UTILITY SYSTEMS ARE TO REMAIN IN SERVICE AT ALL TIMES. THEREFORE, THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING DRAINAGE OR UTILITY SYSTEMS WITHIN OR ADJACENT TO THE WORK SHOWN ON THESE DRAWINGS TO REMAIN. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL IMMEDIATELY BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE AND TO THE SATISFACTION OF THE OWNER OR UTILITY COMPANY INVOLVED.
- 9.IF TEMPORARY UTILITY SERVICES ARE REQUIRED, THE CONTRACTOR SHALL SEE TO IT THAT THEY ARE PROVIDED AT NO ADDITIONAL COST TO THE OWNER, AND SHALL BE RESPONSIBLE FOR MAINTAINING SUCH TEMPORARY FACILITIES FOR THE DURATION OF THE CONTRACT WORK.
- 10.THE CONTRACTOR SHALL VERIFY IN THE FIELD, IN THE PRESENCE OF THE ARCHITECT, ENGINEER, OR OWNER'S REPRESENTATIVE THE LOCATION OF ALL WORK COVERED BY THIS CONTRACT PRIOR TO THE START OF CONSTRUCTION IN ORDER TO ASSURE THAT UNNECESSARY PAVEMENT, TREE OR VEGETATION REMOVAL ARE AVOIDED. WORK SHALL NOT START UNTIL THIS FIELD VERIFICATION HAS BEEN MADE AND APPROVAL TO COMMENCE HAS BEEN OBTAINED FROM THE ARCHITECT, ENGINEER, OR OWNER'S REPRESENTATIVE.
- 11.IF REQUIRED, PRIOR TO INITIATING ROCK BLASTING OPERATIONS A PRE-BLAST SURVEY OF ALL ADJACENT STRUCTURES SHALL BE UNDERTAKEN AND A REPORT PROVIDED TO THE OWNER AND TOWN OF CORTLANDT. THE CONTRACTOR SHALL FURTHER BE REQUIRED TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS IN THE CONDUCT OF THE WORK. THE EXPLOSIVE LOADING LIMITS AND SCALED DISTANCES SET FORTH IN THE NYSDOT STANDARD SPECIFICATIONS SHALL BE ADHERED TO.
- 12.THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES REQUIRED BY THE CONTRACT WORK AND SHALL OBTAIN ALL REQUIRED BONDS, PERMITS, ETC. REQUIRED FOR THE EXECUTION OF THE WORK AND CONFORM THE WORK WITH ALL APPLICABLE CODES, RULES AND REGULATIONS OF THE GOVERNING AGENCIES. THE CONTRACTOR IN ACCORDANCE WITH NEW YORK STATE LAW (CODE RULE 53) SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO COMMENCING ANY EXCAVATION WORK AND SHALL NOTIFY THE "CALL BEFORE YOU DIG" HOTLINE @ 1-800-962-7962 PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES. AGENCIES SHALL BE GIVEN SEVENTY-TWO (72) HOURS ADVANCE NOTIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
- 13.ALL UNPAVED AREAS WITHIN THE WORK AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE STABILIZED IN ACCORDANCE WITH THE NYSDEC APPROVED STORMWATER POLLUTION PREVENTION PLAN. UNLESS OTHERWISE DIRECTED BY THE OWNER, TURFED AREAS, DISTURBED BY REGRADING AND OTHER WORK OF CONTRACTOR, SHALL BE BROUGHT TO THE PROPER SUBGRADE ELEVATION, TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES SHALL BE PLACED AND, LIMING, FERTILIZING AND SEEDING ACCOMPLISHED, AS SPECIFIED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE SEEDED AREAS UNTIL THEY HAVE BECOME WELL ESTABLISHED.
- 14.THE CONTRACTOR SHALL ARRANGE FOR DISPOSAL OF ALL DEMOLITION DEBRIS, CLEARED AND GRUBBED MATERIAL, DEMOLISHED PAVEMENT AND MISCELLANEOUS UNSUITABLE MATERIAL RESULTING FROM THE OPERATIONS OF THIS CONTRACT, AT OFFSITE LOCATIONS, OR AS OTHERWISE DIRECTED BY THE OWNER. NO TREE STUMPS OR OTHER ORGANIC MATTER SHALL BE BURIED ON THE SITE.
- 15.UNLESS SPECIFICALLY SHOWN OR DIRECTED TO BE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AGAINST DAMAGE TO ANY EXISTING TREES 4 INCH CALIPER AND GREATER IN THE AREA OF HIS CONSTRUCTION OPERATIONS. ANY SUCH PLANT MATERIAL NOT SO PROTECTED AND MAINTAINED SHALL BE REPLACED WITH NEW PLANT MATERIAL OF SIMILAR CALIPER OR AS DIRECTED BY THE OWNER AT THE BEGINNING OF THE FIRST GROWING SEASON WHICH FOLLOWS. EXISTING TREES IN AREAS TO BE GRADED SHALL BE RELOCATED AND MAINTAINED, TEMPORARILY, AND TRANSPLANTED UPON COMPLETION OF THE WORK AS DIRECTED BY THE OWNER. DAMAGE TO OTHER PLANTS SHALL BE REPLACED AT THE DISCRETION OF THE OWNER. ANY ADDITIONAL PERMITS THAT MAY BE REQUIRED FROM THE TOWN OF CORTLANDT TO COMPLETE THE WORK SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 16.AT NO TIME SHALL ANY EXCAVATED AREAS BE LEFT UNATTENDED UNLESS APPROPRIATE MARKING AND BARRICADING IS EMPLOYED.
- 17.THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING UTILITY VALVES, MANHOLE FRAMES, COVERS, RIMS, INVERTS AND HYDRANTS TO MEET NEW FINISH GRADE OR AS OTHERWISE REQUIRED TO FUNCTION PROPERLY.
- 18.DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ANY AND ALL CHANGES RELATED TO FIELD CONDITIONS, INCLUDING AREAS OF ROCK EXCAVATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS PREPARED BY A NYS LICENSED LAND SURVEYOR SHOWING AND LOCATING ALL FEATURES OF THE WORK AS INSTALLED.

- 19.TOPSOIL SHALL BE PLACED AND AREAS SHALL BE SEEDED AS SOON AS FINAL GRADES ARE ESTABLISHED ON PERMANENT SLOPES. SLOPES SHALL ALSO BE MULCHED.
- 20.PRIOR TO ANY SITE WORK, A CLEARING AND GRADING STAKEOUT SKETCH PREPARED BY A LICENSED PROFESSIONAL LAND SURVEYOR SHALL BE SUBMITTED TO THE DIRECTOR OF TECHNICAL SERVICES FOR APPROVAL. THE STAKEOUT SKETCH SHALL BE USED TO CLEARLY IDENTIFY THE LIMITS OF DISTURBANCE AND TO ESTABLISH ALL EROSION CONTROLS.
- 21.PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AN OWNER OR OPERATOR SHALL HAVE EACH CONTRACTOR AND SUBCONTRACTOR THAT HAS BEEN IDENTIFIED AS BEING RESPONSIBLE FOR IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IDENTIFY AT LEAST ONE EMPLOYEE FROM THEIR COMPANY (TRAINED CONTRACTOR) THAT HAS RECEIVED 4 HOURS OF ENDORSED E&SC TRAINING. THE TRAINED CONTRACTOR MUST BE ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED AND WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE PRACTICES INCLUDED IN THE SWPPP.
- 22.AN OWNER OR OPERATOR OF A REGULATED CONSTRUCTION PROJECT, WITH SOME EXCEPTIONS, SHALL HAVE A QUALIFIED INSPECTOR CONDUCT SPECIFIC SITE INSPECTIONS. CERTAIN QUALIFIED INSPECTORS WHO WORK ON THESE SITES (I.E., INDIVIDUALS WORKING UNDER DIRECT SUPERVISION OF, AND AT THE SAME COMPANY AS, A LICENSED PROFESSIONAL ENGINEER OR REGISTERED LANDSCAPE ARCHITECT OF NYS) ARE REQUIRED TO COMPLETE 4 HOURS OF E&SC TRAINING UNDER THE GENERAL PERMIT.
- 23.PRIOR TO BACKFILLING ANY INFILTRATION OR STORMWATER RETENTION/DETENTION AREAS, THE TOWN OF CORTLANDT AND ITS INSPECTOR SHALL BE NOTIFIED FOR INSPECTION.
- 24.AT THE COMPLETION OF CONSTRUCTION (NOT PRIOR TO FINAL STABILIZATION INCLUDING PAVEMENT RESTORATION) ALL CATCH BASINS, DRAIN INLETS, MANHOLES, STORMWATER INFRASTRUCTURE, AND HYDRODYNAMIC SEPARATORS SHALL BE FLUSHED, VACUUMED, AND CLEANED OF ALL DEBRIS.
- 25.A NOTICE OF TERMINATION SHALL BE FILED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR STORMWATER DISCHARGES AUTHORIZED UNDER THE SPDES GENERAL PERMIT FOR CONSTRUCTION ACTIVITY. THE OWNER WILL HAVE A MECHANISM IN PLACE THAT REQUIRES THE OPERATION AND MAINTENANCE OF THE PRACTICE(S) IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE PLAN, SUCH AS A DEED COVENANT IN THE OWNER OR OPERATOR'S DEED OF RECORD.
- 26.A COMPREHENSIVE AS-BUILT SURVEY SHALL BE SUBMITTED UPON COMPLETION OF THE PROJECT. THE SURVEY SHALL CONFORM TO ALTA STANDARDS. ALL EASEMENTS, UTILITIES, RIMS, INVERTS, SURFACE IMPROVEMENTS (INCLUDING STRIPING) SHALL BE SUBMITTED TO THE DIRECTOR OF THE DEPARTMENT OF TECHNICAL SERVICES. A DIGITAL COPY IN BOTH .PDF AND .DWG FORMAT IN THE NYS STATE PLANE NAD-83 AND NAVD-88 DATUM SHALL BE SUBMITTED.
- 27.A CERTIFICATION THAT ALL STORMWATER INFRASTRUCTURE INCLUDING A SUMMARY AND COMPARISON OF PROPOSED VERSUS AS-BUILT HYDRAULIC AND HYDROLOGICAL CONDITIONS SHALL BE SUBMITTED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER. THE ENGINEER SHALL CERTIFY THAT AS-BUILT CONDITIONS MEET OR EXCEED THE APPROVED DESIGN MITIGATING STORMWATER IMPACTS.

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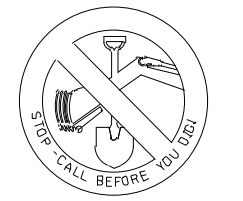
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REVISIONS /ISSUANCES		
NO.	DATE	ISSUE
06/23/21		PLANNING BOARD SUBMISSION

GENERAL NOTES

DRAWN BY: RCC/DMM PROJECT NO. 858 DRAWING NO.	CHECKED BY: GMS DATE: 06/23/21
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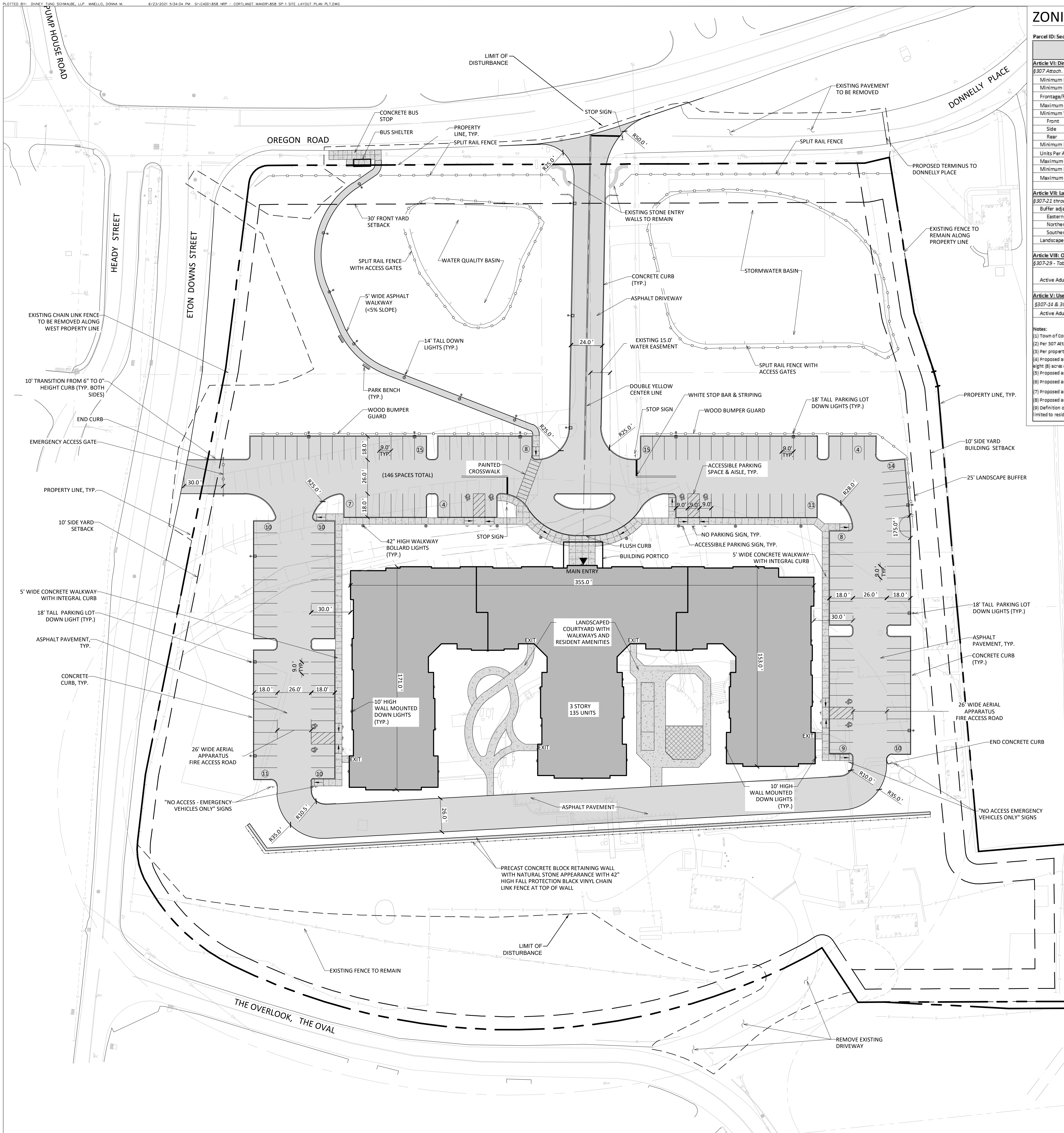
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ZONING COMPLIANCE TABLE

Table with 4 columns: Code Section, Existing Required/Permitted Community Commercial (CC), Proposed Required/Permitted Community Commercial (CC), Proposed Development 119 Oregon Road. Rows include Article VI: Dimensional Regulations, Article VII: Landscaping, Screening, & Buffering Regulations, Article VIII: Off-Street Parking Requirements, and Article V: Use Regulations.

Notes: (1) Town of Cortlandt Town Code Chapter 307 - Zoning, November 9, 1993, as amended. (2) Per 307 Attachment 5, No single use, other than a food store, shall occupy more than 4,000 square feet. Existing Colonial Terrace facility exceeds 12,000 square feet.

NOTES: 1. ALL STRIPING EXCEPT FOR PARKING STALL STRIPING SHALL INCLUDE REFLECTIVE GLASS BEADS. SEE PAVEMENT MARKING SPECIFICATION FOR ADDITIONAL INFORMATION.



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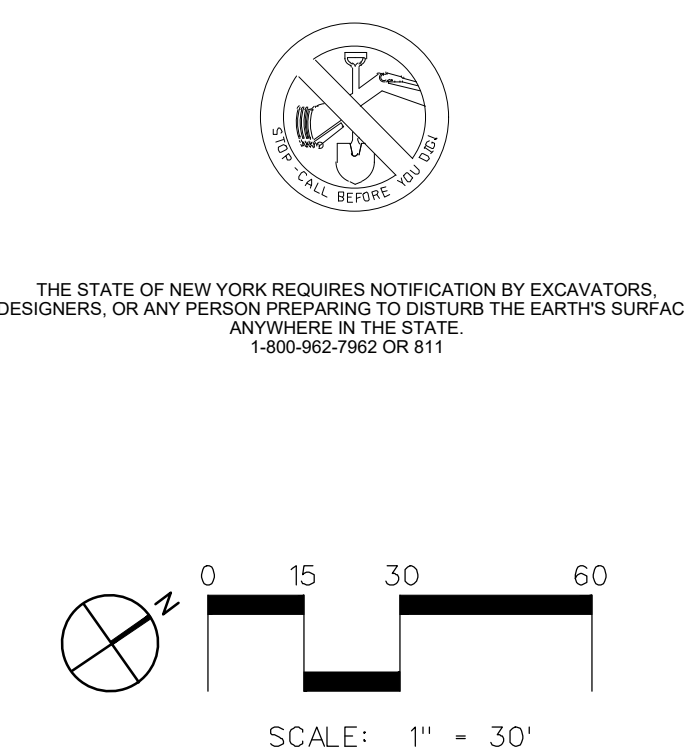
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Table with 3 columns: NO., DATE, ISSUE. Contains revision history for PLANNING BOARD SUBMISSION.

DRAWING TITLE:

SITE LAYOUT PLAN

Professional seal of Divney Tung Schwalbe, LLP, State of New York, No. 204469. Includes drawing title 'SP-1' and project details.

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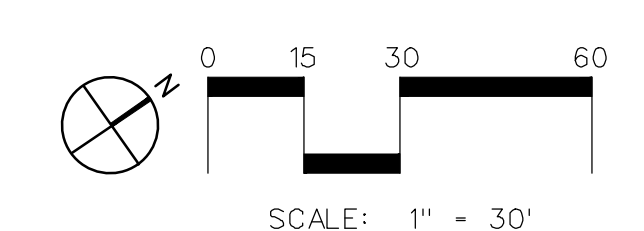
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REVISIONS / ISSUANCES

NO.	DATE	ISSUE
05/19/21		PLANNING BOARD SUBMISSION
06/23/21		PLANNING BOARD SUBMISSION

NO. DATE ISSUE

05/19/21 PLANNING BOARD SUBMISSION

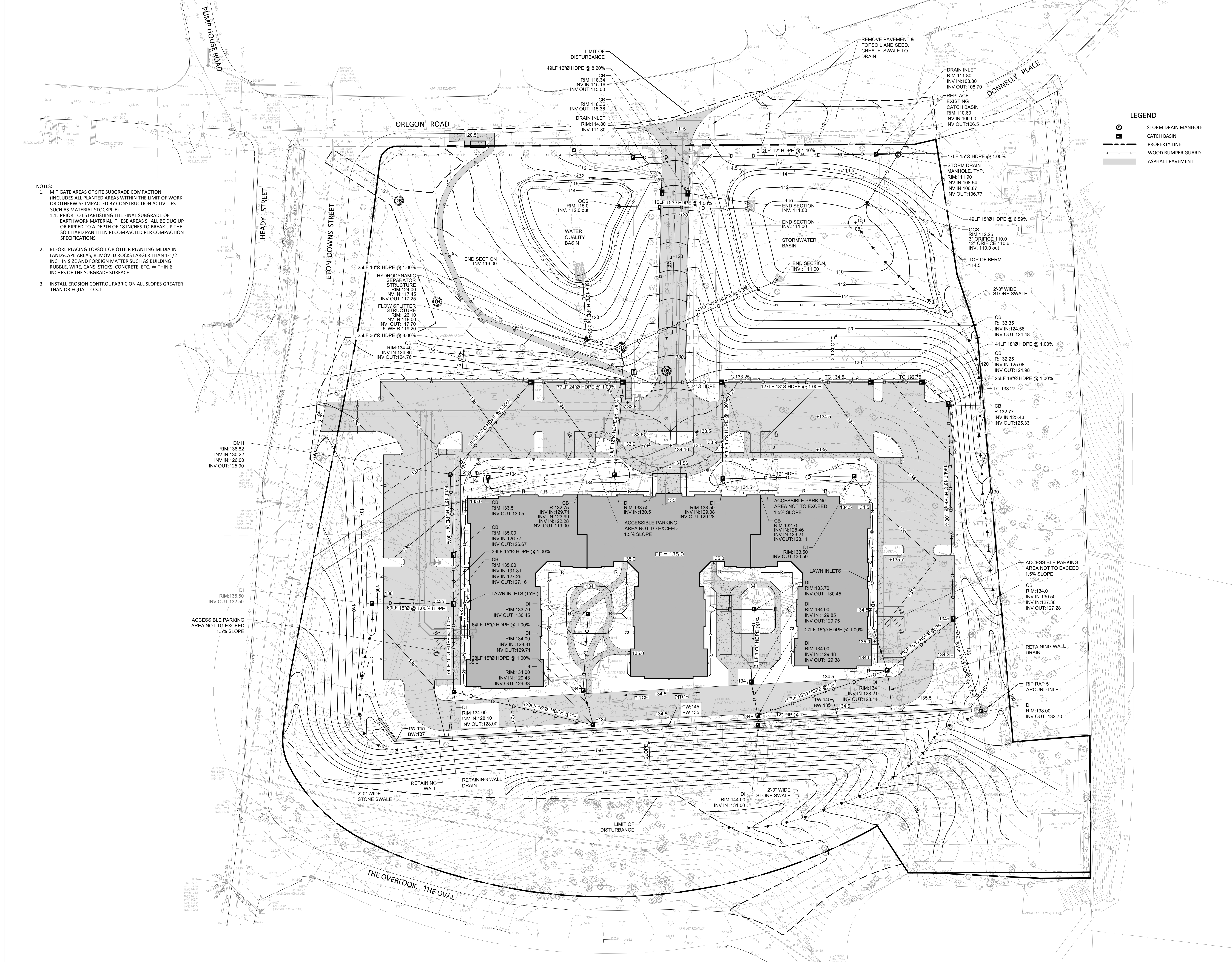
06/23/21 PLANNING BOARD SUBMISSION

SITE GRADING & DRAINAGE PLAN

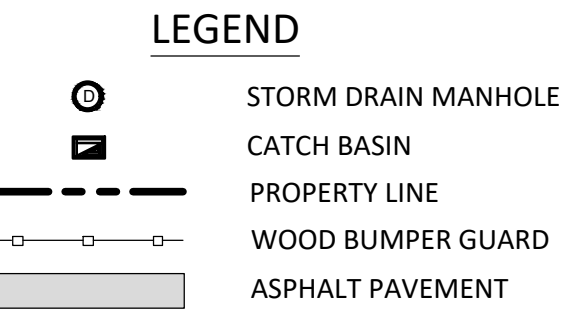
DRAWN BY: RCC/DMM CHECKED BY: GMS
PROJECT NO. 858 DATE: 05/19/21
DRAWING NO.



SP-2



- NOTES:
- MITIGATE AREAS OF SITE SUBGRADE COMPACTION (INCLUDES ALL PLANTED AREAS WITHIN THE LIMIT OF WORK OR OTHERWISE IMPACTED BY CONSTRUCTION ACTIVITIES SUCH AS MATERIAL STOCKPILE).
 - PRIOR TO ESTABLISHING THE FINAL SUBGRADE OF EARTHWORK MATERIAL, THESE AREAS SHALL BE DUG UP OR RIPPED TO A DEPTH OF 18 INCHES TO BREAK UP THE SOIL HARD PAN THEN RECOMPACTED PER COMPACTION SPECIFICATIONS
 - BEFORE PLACING TOPSOIL OR OTHER PLANTING MEDIA IN LANDSCAPE AREAS, REMOVED ROCKS LARGER THAN 1-1/2 INCH IN SIZE AND FOREIGN MATTER SUCH AS BUILDING RUBBLE, WIRE, CANS, STICKS, CONCRETE, ETC. WITHIN 6 INCHES OF THE SUBGRADE SURFACE.
 - INSTALL EROSION CONTROL FABRIC ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1



DMH
RIM:136.82
INV IN:130.22
INV OUT:126.90

ACCESSIBLE PARKING
AREA NOT TO EXCEED
1.5% SLOPE

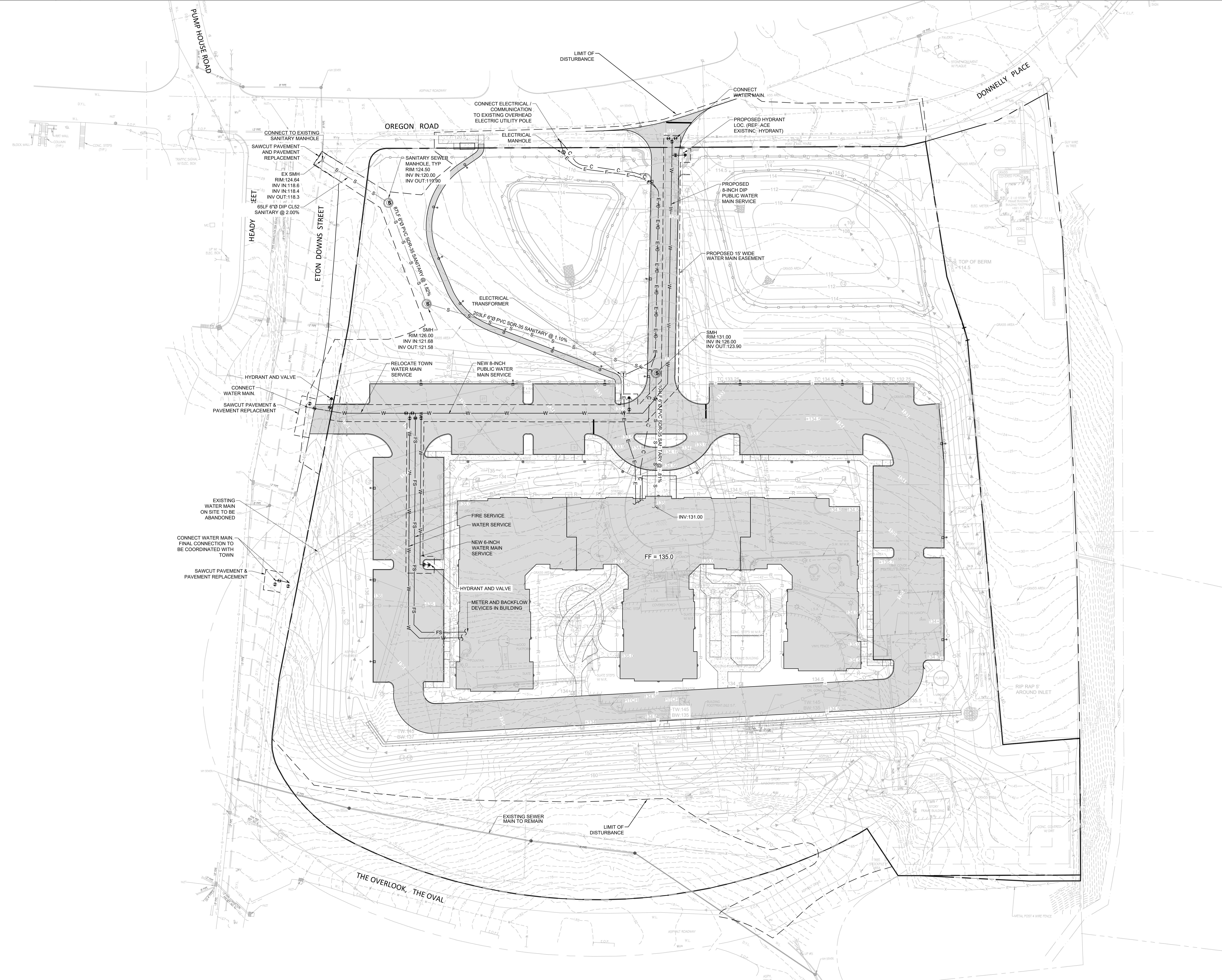
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AREA NOT TO EXCEED
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AREA NOT TO EXCEED
1.5% SLOPE

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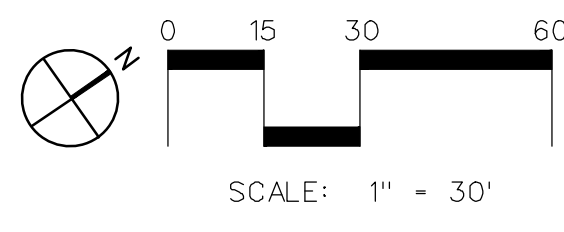
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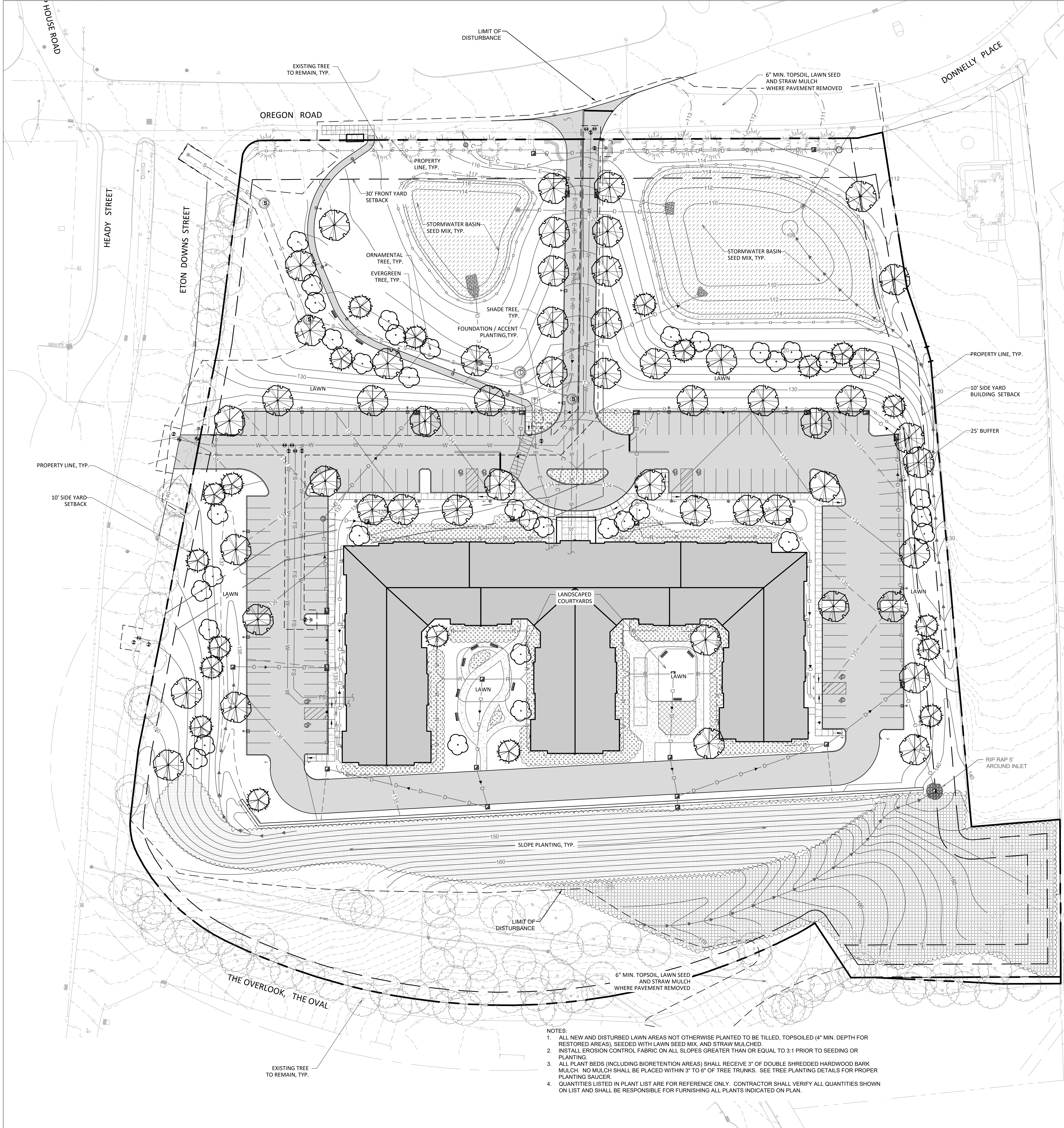
NO.	DATE	ISSUE
05/19/21		PLANNING BOARD SUBMISSION
06/23/21		PLANNING BOARD SUBMISSION

DRAWING TITLE:
SITE UTILITY PLAN

PROJECT NO.	858	DATE	05/19/21
DRAWING NO.			



SP-3



CONCEPT PLANT SCHEDULE

	SHADE TREES (2 1/2" CAL) ACER RUBRUM / RED MAPLE ACER SACCHARUM / SUGAR MAPLE GLEDETIA TRIACANTHOS 'NERMIS' SHADEMASTER / SHADEMASTER HONEY LOCUST LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA' TM / ROUND-LOBED SWEET GUM QUERCUS SPP. TILIA AMERICANA / AMERICAN LINDEN	53
	EVERGREEN TREES (7'-8' HGT.) ILEX OPACA / AMERICAN HOLLY JUNIPERUS VIRGINIANA / EASTERN RED CEDAR PICEA GLAUCA / WHITE SPRUCE PICEA PLUNGENS / COLORADO SPRUCE TILIA X 'GREEN GIANT' / GREEN GIANT ARBORVITAE	20
	ORNAMENTAL TREES (7'-8' HGT.) AMELANCHIER X GRANDIFLORA / APPLE SERVICEBERRY BETULA NIGRA 'SMITH' TM / DURA HEAT RIVER BIRCH CARPINUS CAROLINIANA / AMERICAN HORNBEEAM CERCIS CANADENSIS 'APPALACHIAN RED' / APPALACHIAN RED EASTERN REDBUD CORNUS X 'RITIGAN' TM / CONSTELLATION FLOWERING DOGWOOD CRATAEGUS CRUS-GALLI 'NERMIS' / THORNLESS COCKSPUR HAWTHORN	35
	FOUNDATION / ACCENT PLANTING (18" 24" 36") CLETHRA ALNIFOLIA SPP. / SUMMERSWEET CLETHRA ILEX CRENATA SPP. / JAPANESE HOLLY ILEX GLABRA SPP. / INKBERRY HOLLY ITEA VIRGINICA SPP. / SWEETPIRE JUNIPERUS SPP. / JUNIPER SPP. POTENTILLA FRUTICOSA SPP. / BUSH CINQUEFOIL VIBURNUM DENTATUM SPP. / ARROWWOOD VIBURNUM	
	STORMWATER BASIN SEED MIX NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES (NEW ENGLAND WETLAND PLANTS, INC.)	
	SLOPE PLANTING ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA' / BRILLIANT RED CHOKEBERRY CORNUS AMOMUM / SILKY DOGWOOD COTONEASTER APICULATUS / CRANBERRY COTONEASTER ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY ILEX GLABRA 'SHAMROCK' / SHAMROCK INKBERRY HOLLY MYRTICA PENNSYLVANICA / NORTHERN BAYBERRY RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC VIBURNUM DENTATUM 'ARROWWOOD' / ARROWWOOD VIBURNUM	
	RESTORATION SEED MIX RIGHT OF WAY NATIVE WOODS MIX WITH ANNUAL RYEGRASS (ERNM-132-1) AS PRODUCED BY ERNST CONSERVATION SEEDS	

- NOTES:
1. ALL NEW AND DISTURBED LAWN AREAS NOT OTHERWISE PLANTED TO BE TILLED, TOPSOILED (4" MIN. DEPTH FOR RESTORED AREAS), SEEDED WITH LAWN SEED MIX, AND STRAW MULCHED.
 2. INSTALL EROSION CONTROL FABRIC ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1 PRIOR TO SEEDING OR PLANTING.
 3. ALL PLANT BEDS (INCLUDING BIORETENTION AREAS) SHALL RECEIVE 3" OF DOUBLE SHREDDED HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED WITHIN 3" TO 6" OF TREE TRUNKS. SEE TREE PLANTING DETAILS FOR PROPER PLANTING SAUCER.
 4. QUANTITIES LISTED IN PLANT LIST ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON LIST AND SHALL BE RESPONSIBLE FOR FURNISHING ALL PLANTS INDICATED ON PLAN.

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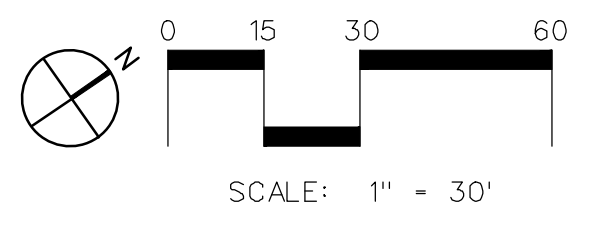
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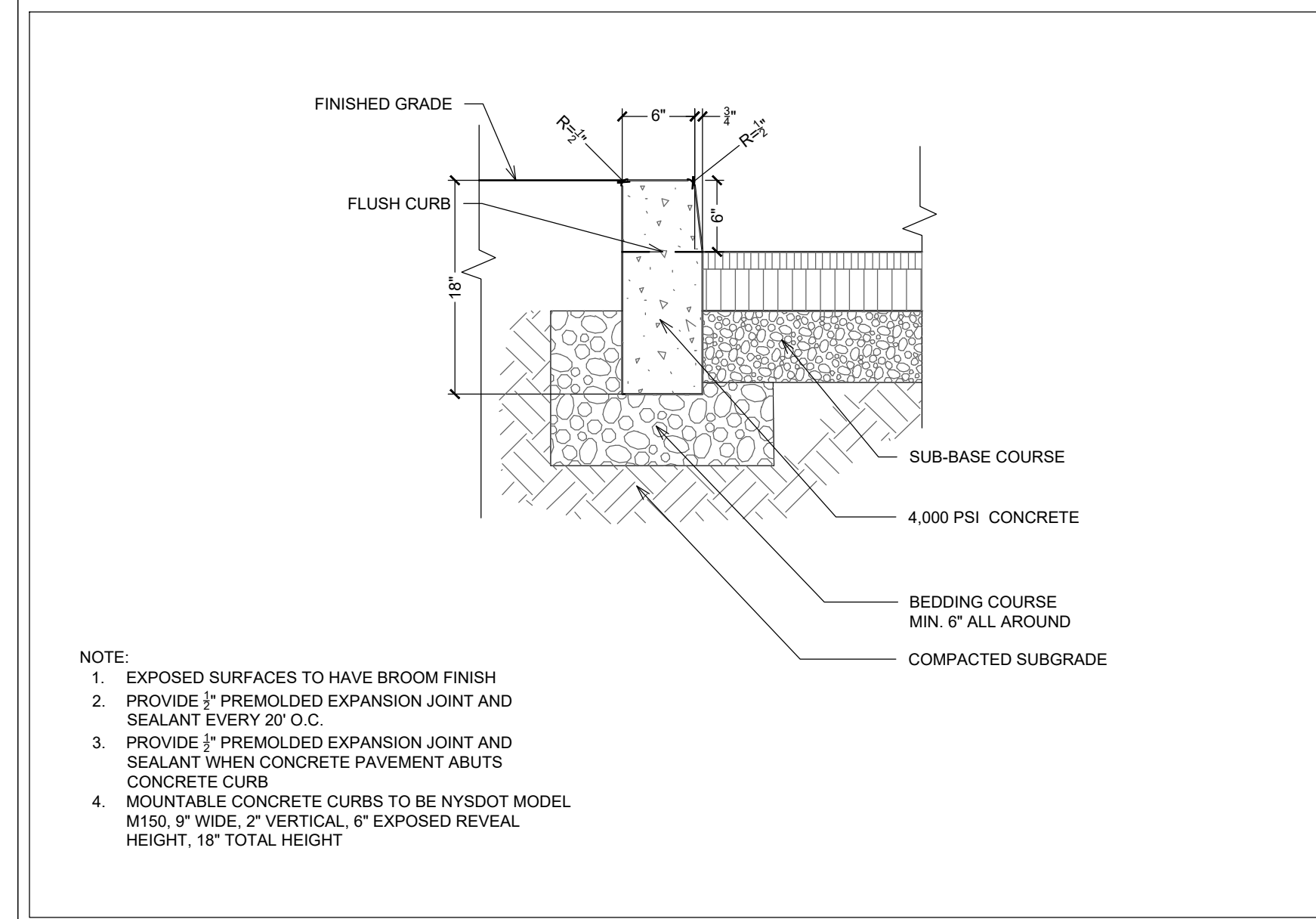
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05/19/21	PLANNING BOARD SUBMISSION	
06/23/21	PLANNING BOARD SUBMISSION	

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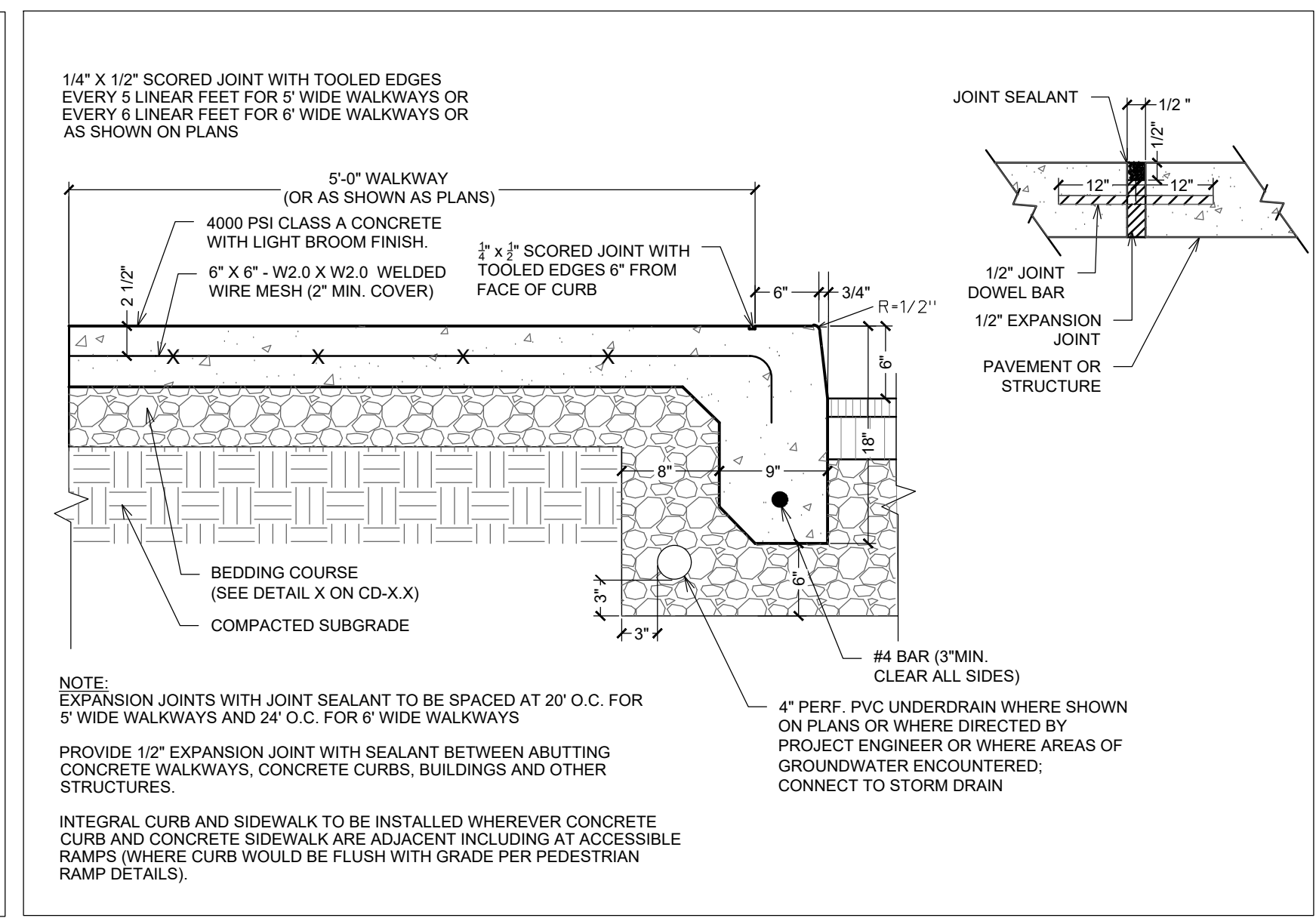
CONCEPTUAL LANDSCAPE PLAN

STATE OF NEW YORK
DIVISION OF PLANNING
PLANNING BOARD
2024605
PROFESSIONAL ENGINEER

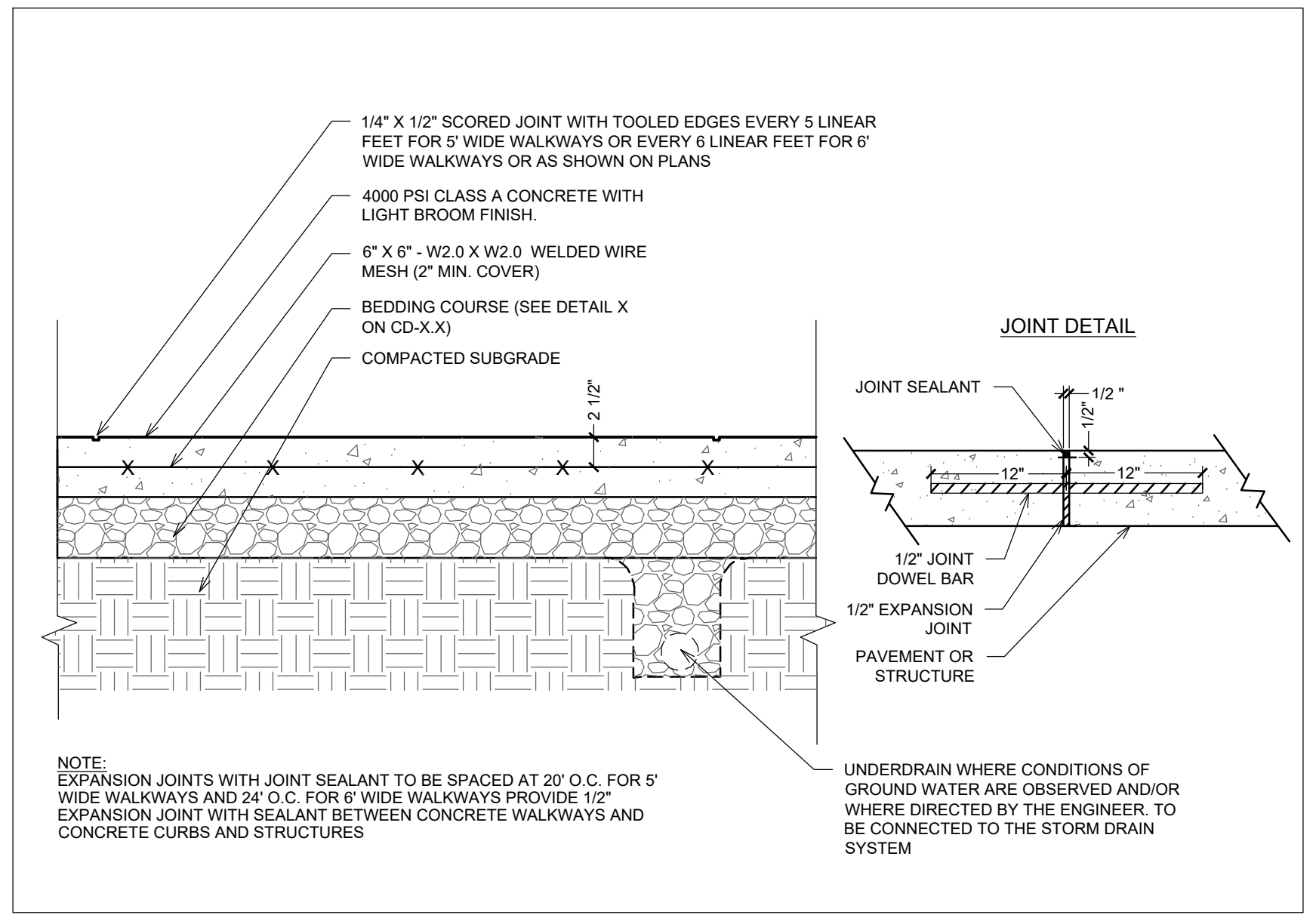
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PROJECT NO.: B58 DATE: 05/19/21
DRAWING NO.: SP-4



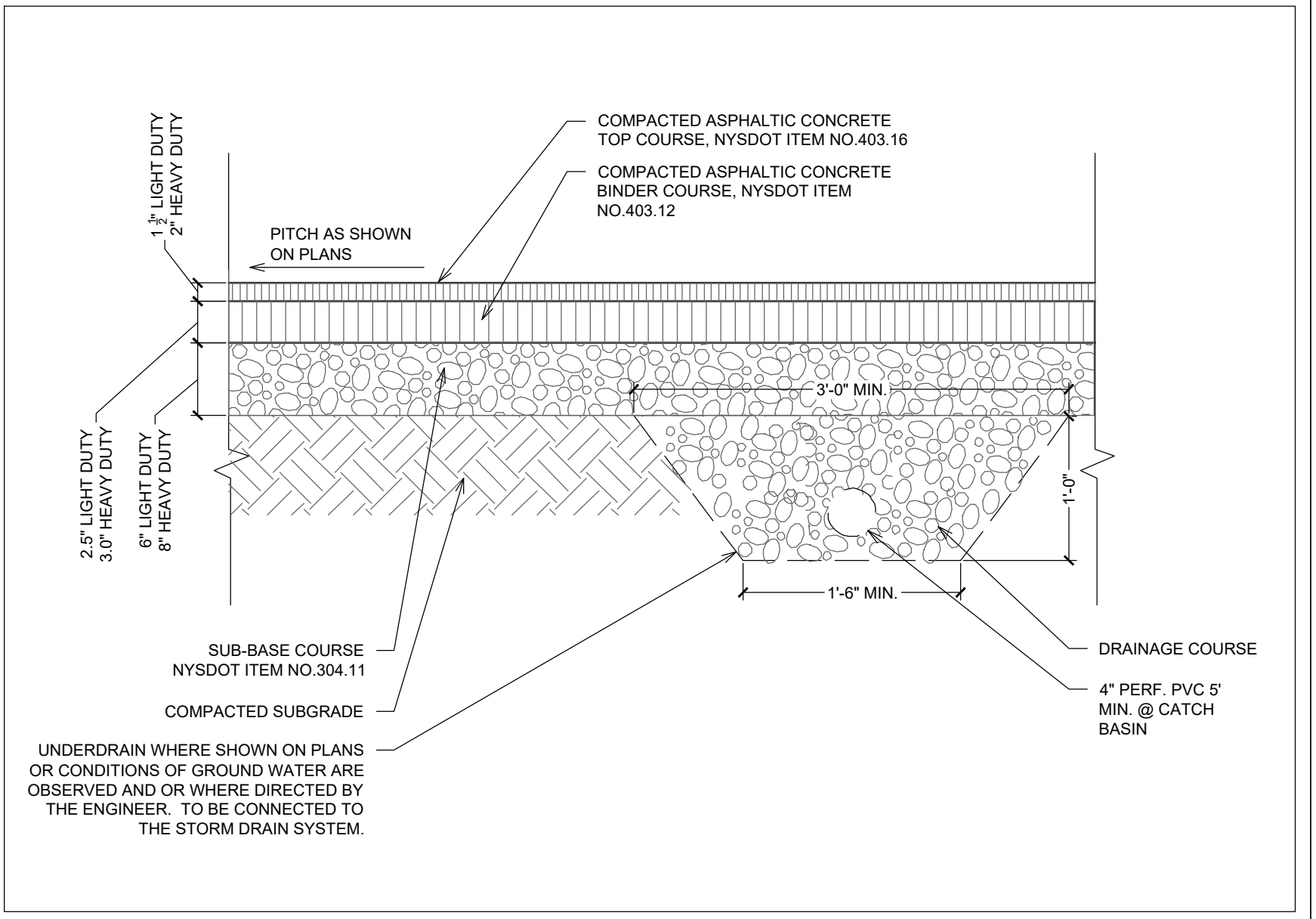
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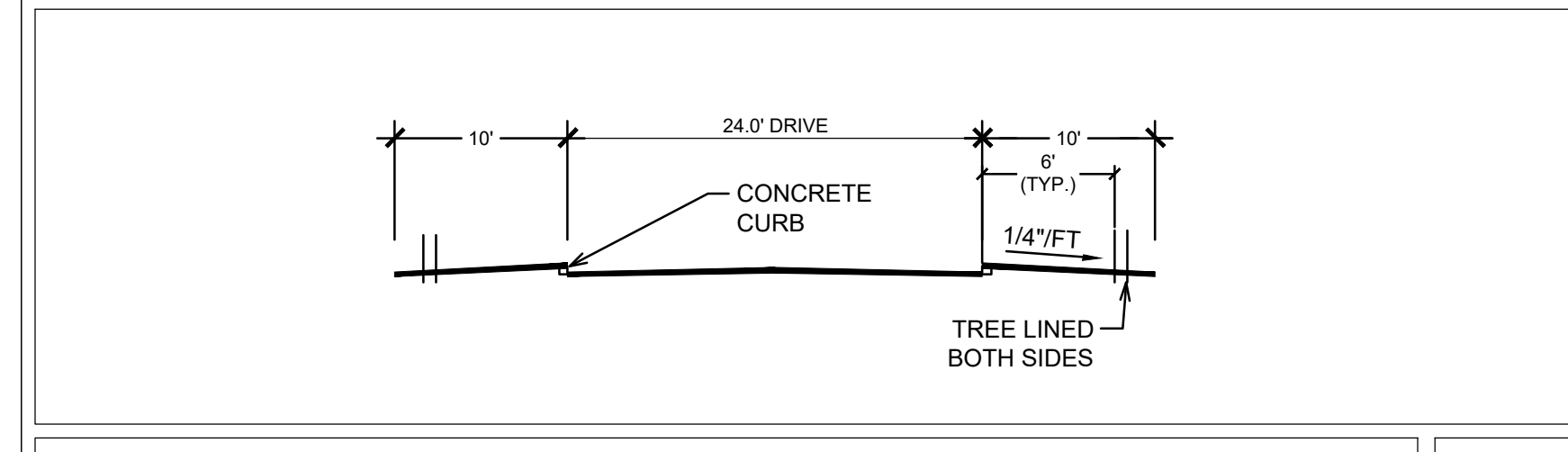
CONCRETE WALKWAY - TYPE 1 WITH INTEGRAL CURB SCALE: N.T.S. 2



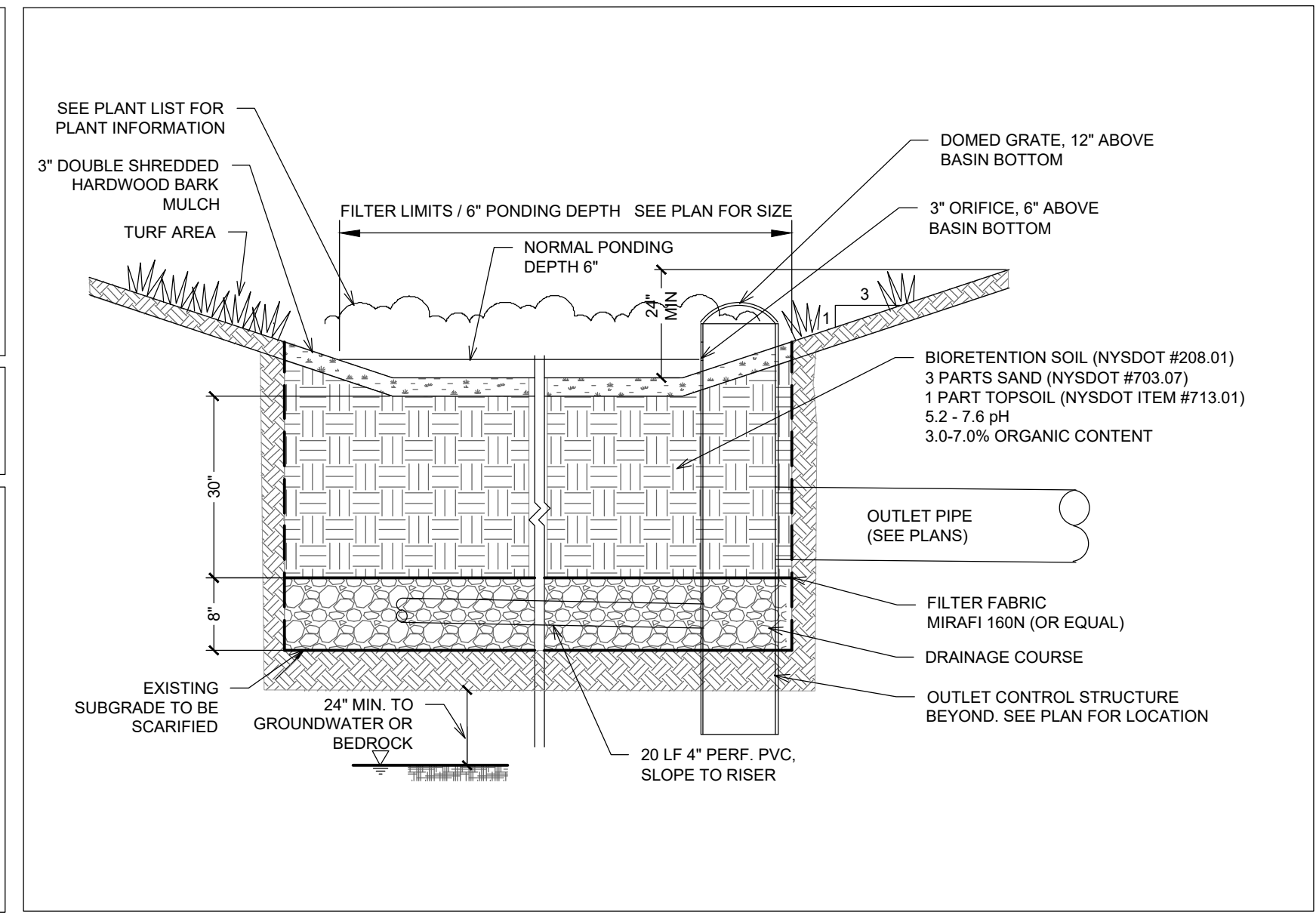
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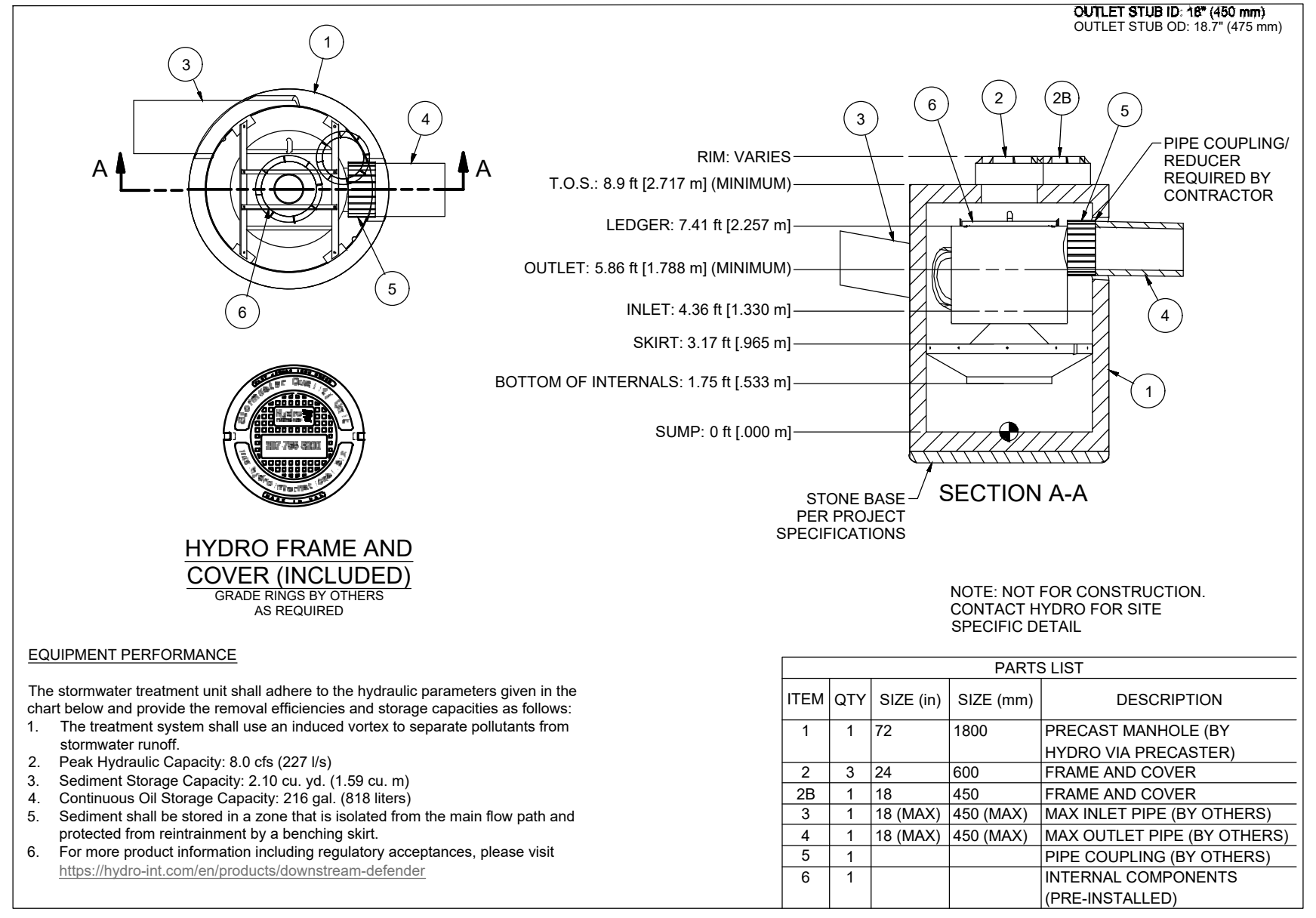
ASPHALT PAVEMENT - HEAVY AND LIGHT DUTY SCALE: N.T.S. 4



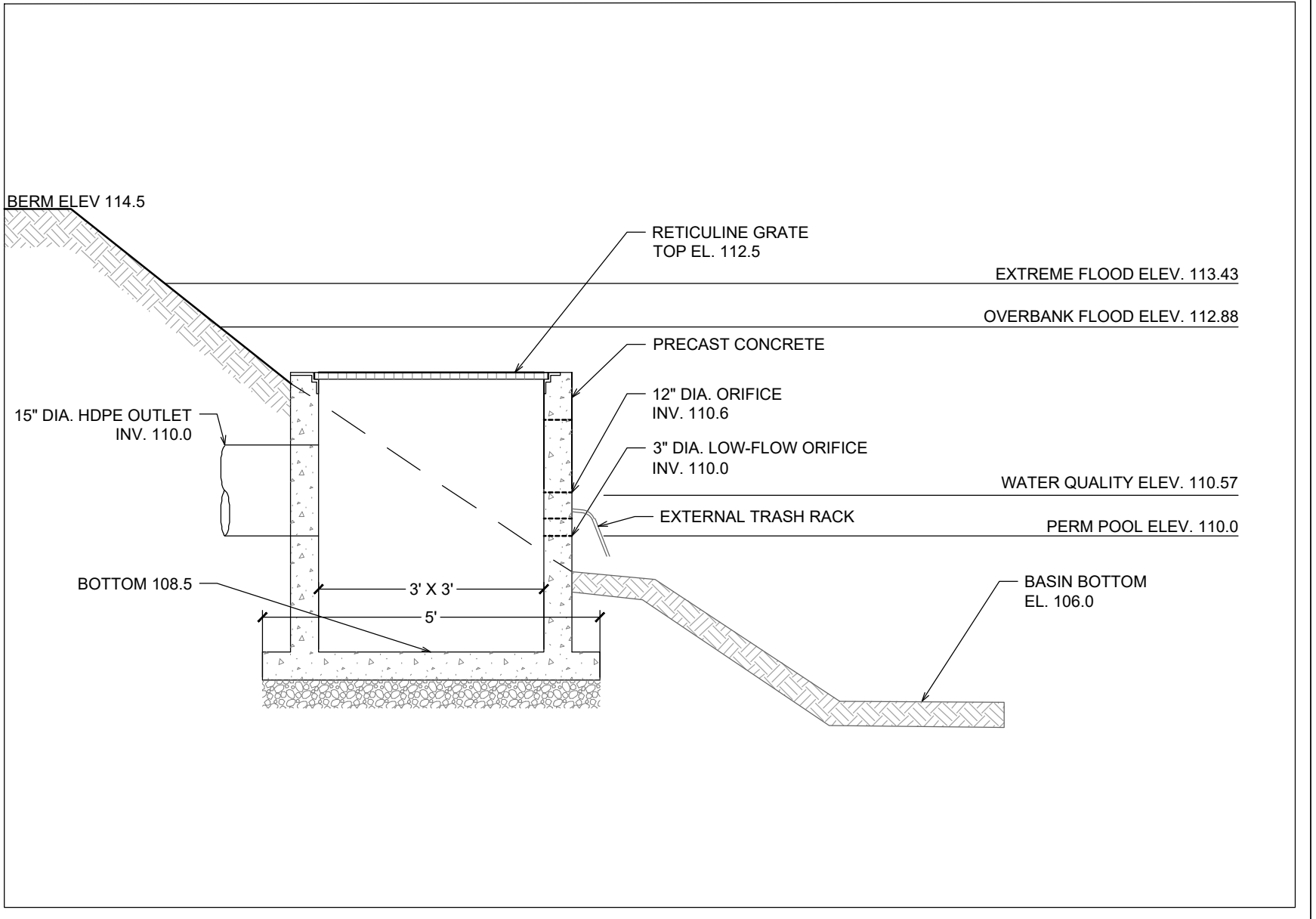
ACCESS DRIVE CROSS SECTION SCALE: N.T.S. 5



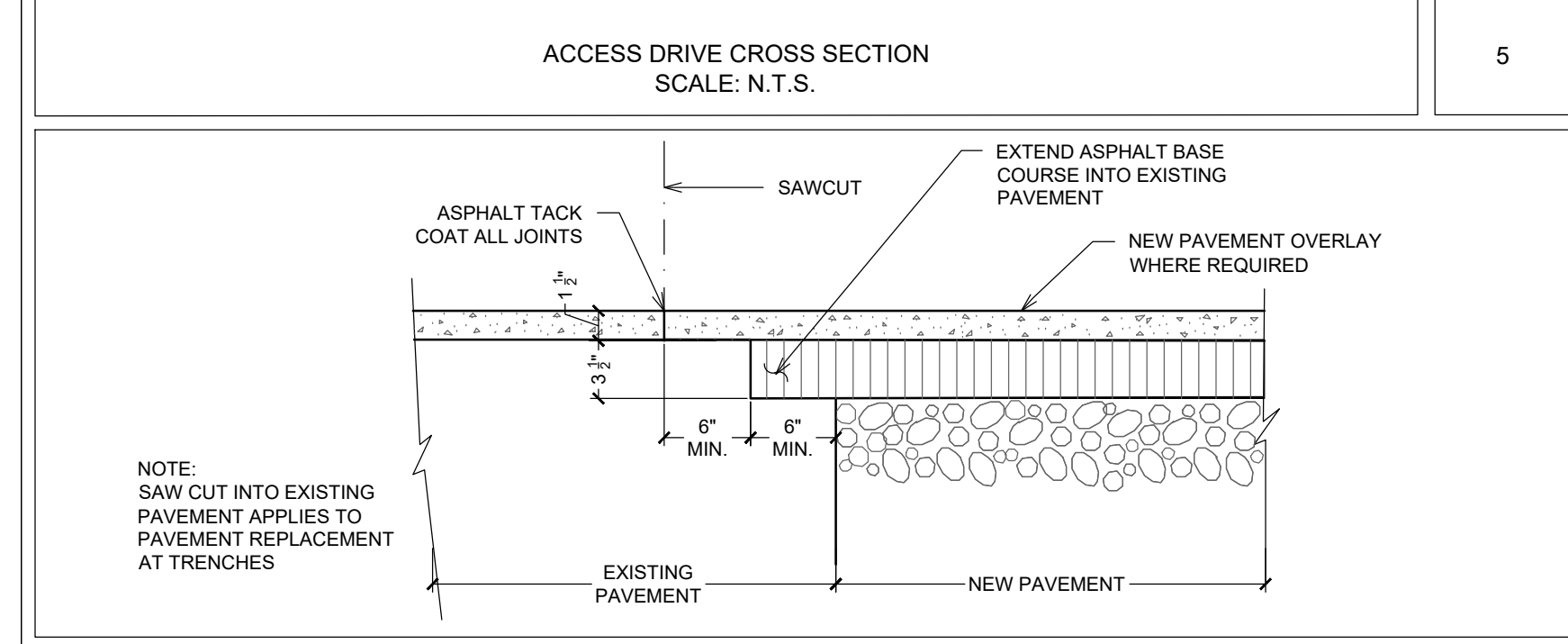
BIORETENTION BASIN SCALE: N.T.S. 7



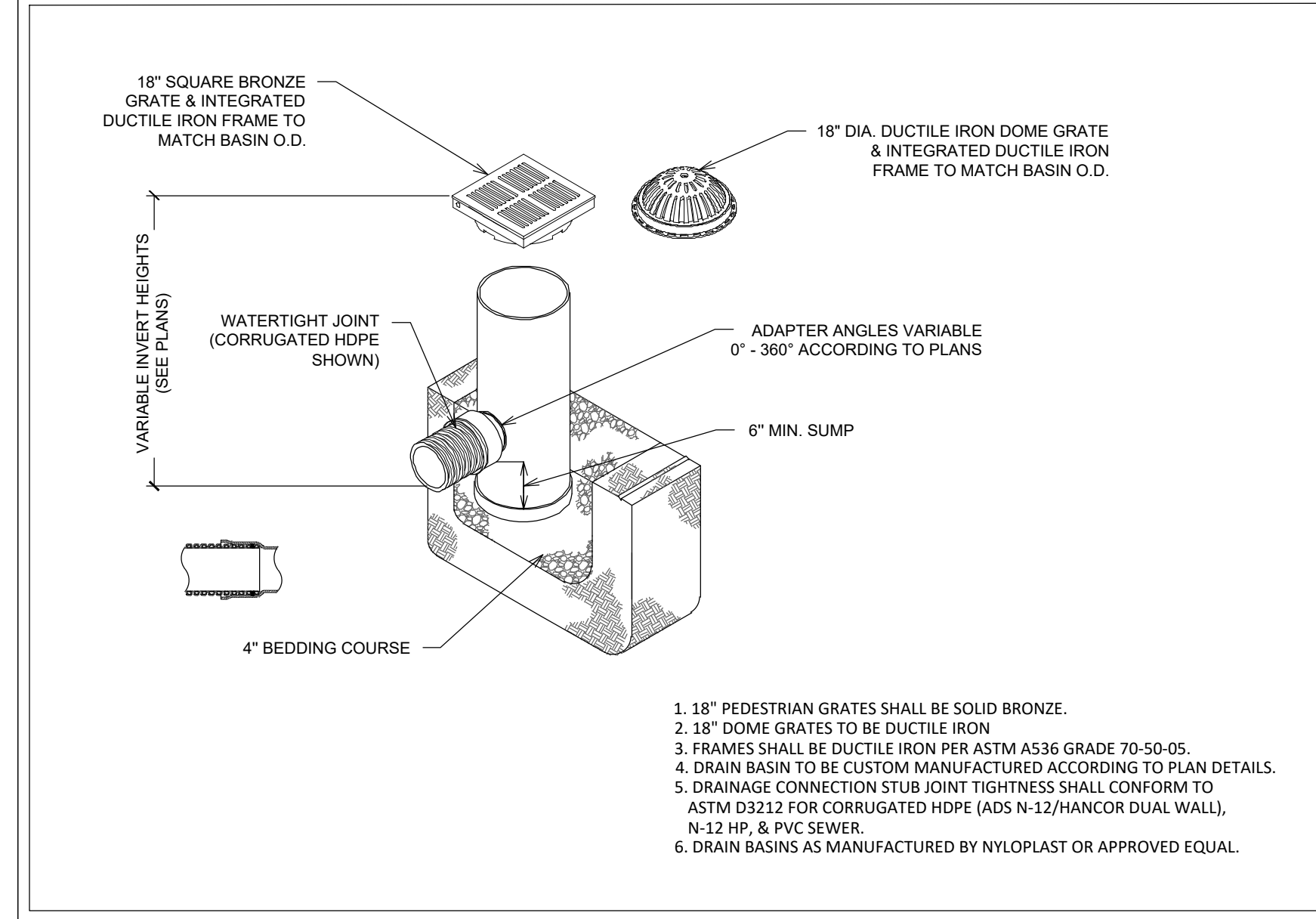
HYDRO FRAME AND COVER (INCLUDED) SCALE: N.T.S. 8



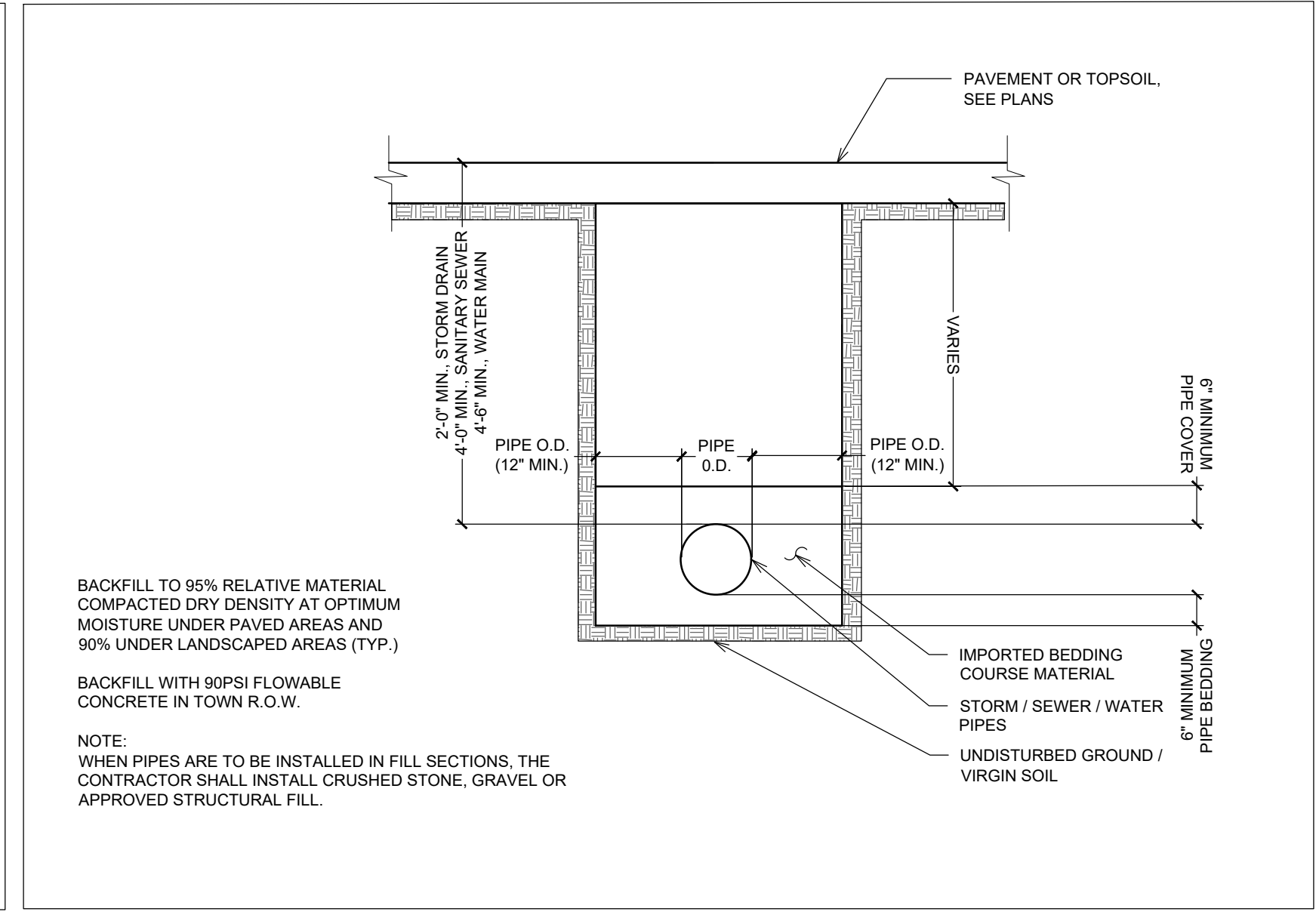
DETENTION BASIN OUTLET CONTROL STRUCTURE SCALE: N.T.S. 9



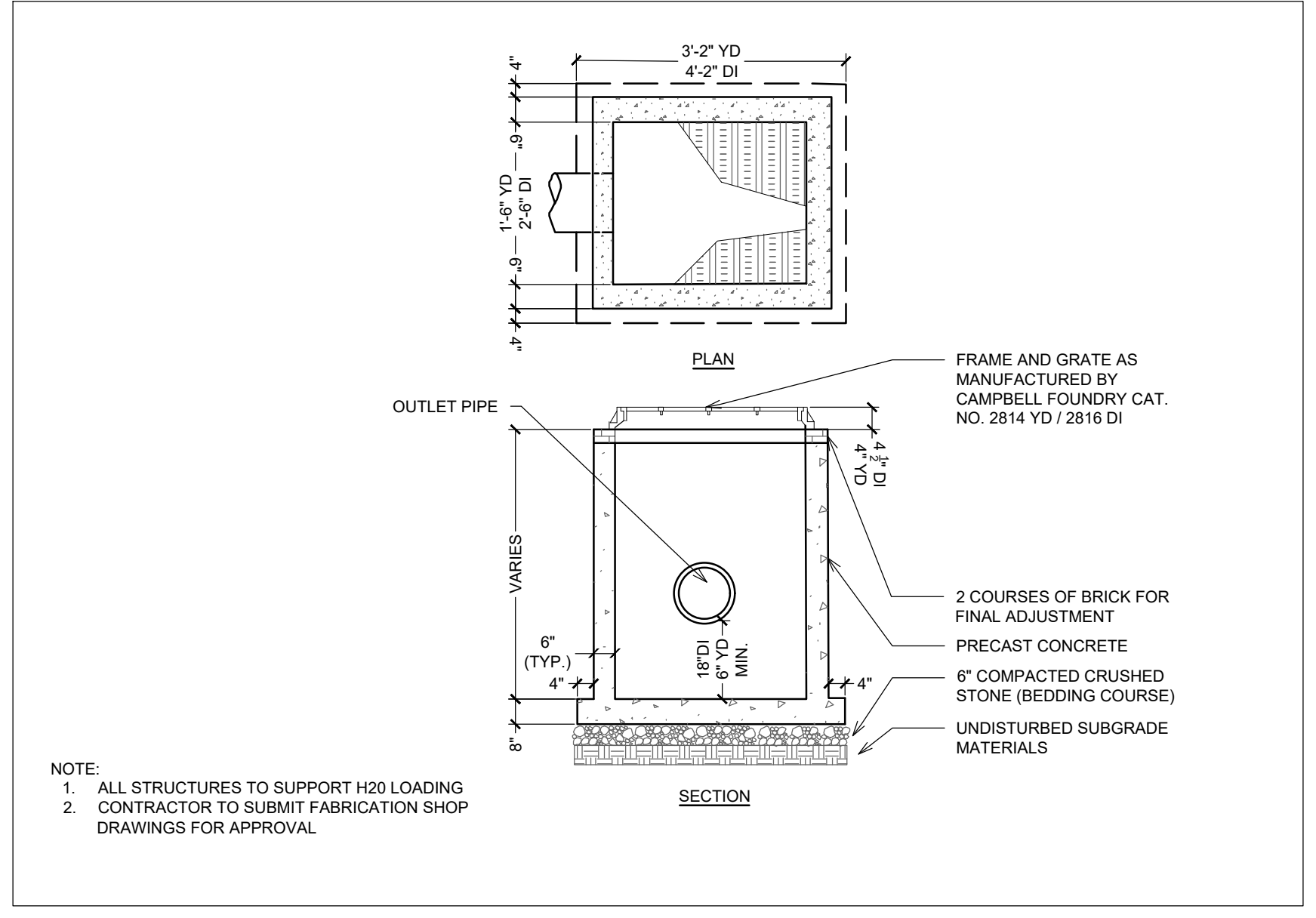
SAW-CUT PAVEMENT KEY-IN SCALE: N.T.S. 6



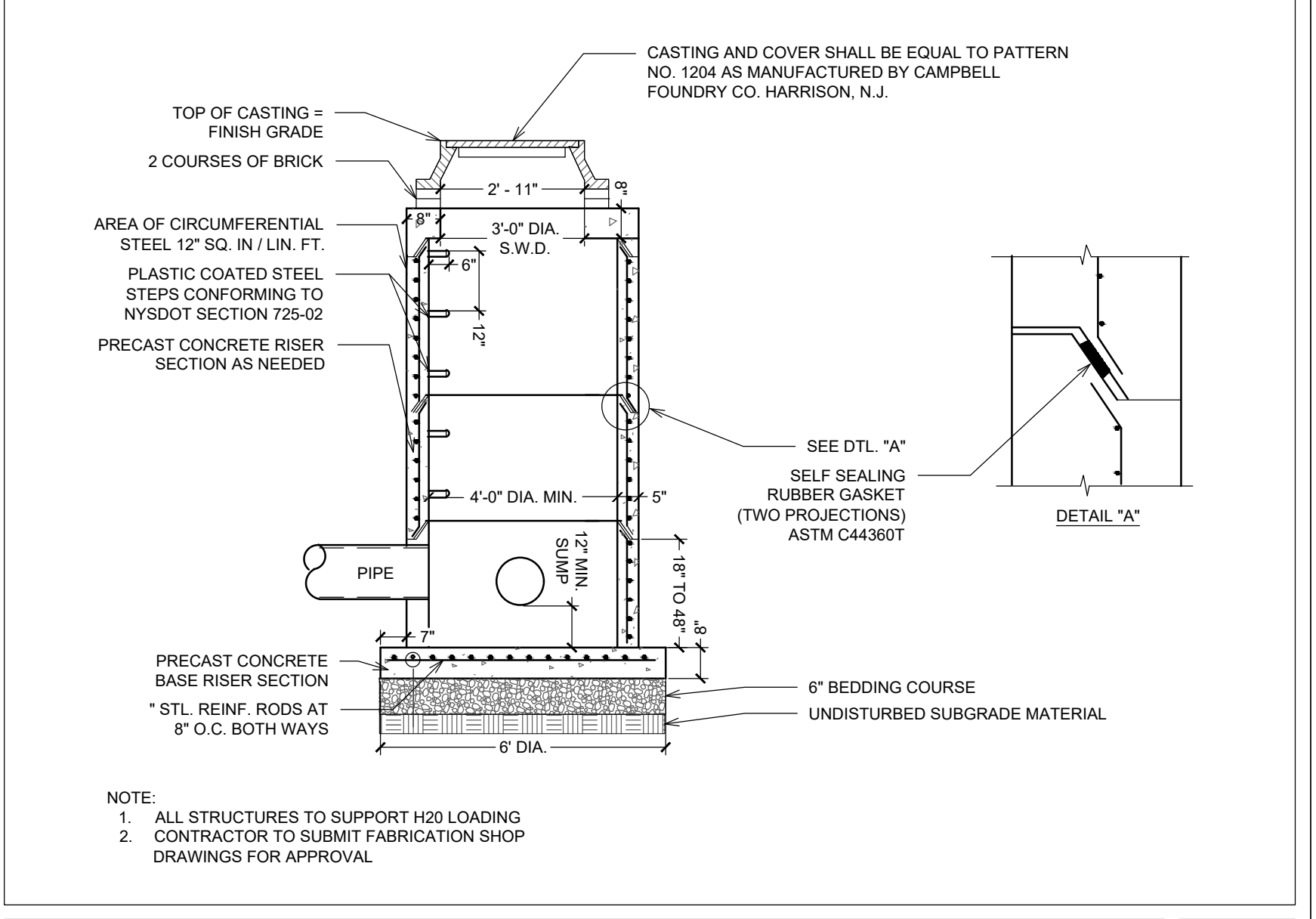
DRAIN INLET / OUTLET CONTROL SCALE: N.T.S. 10



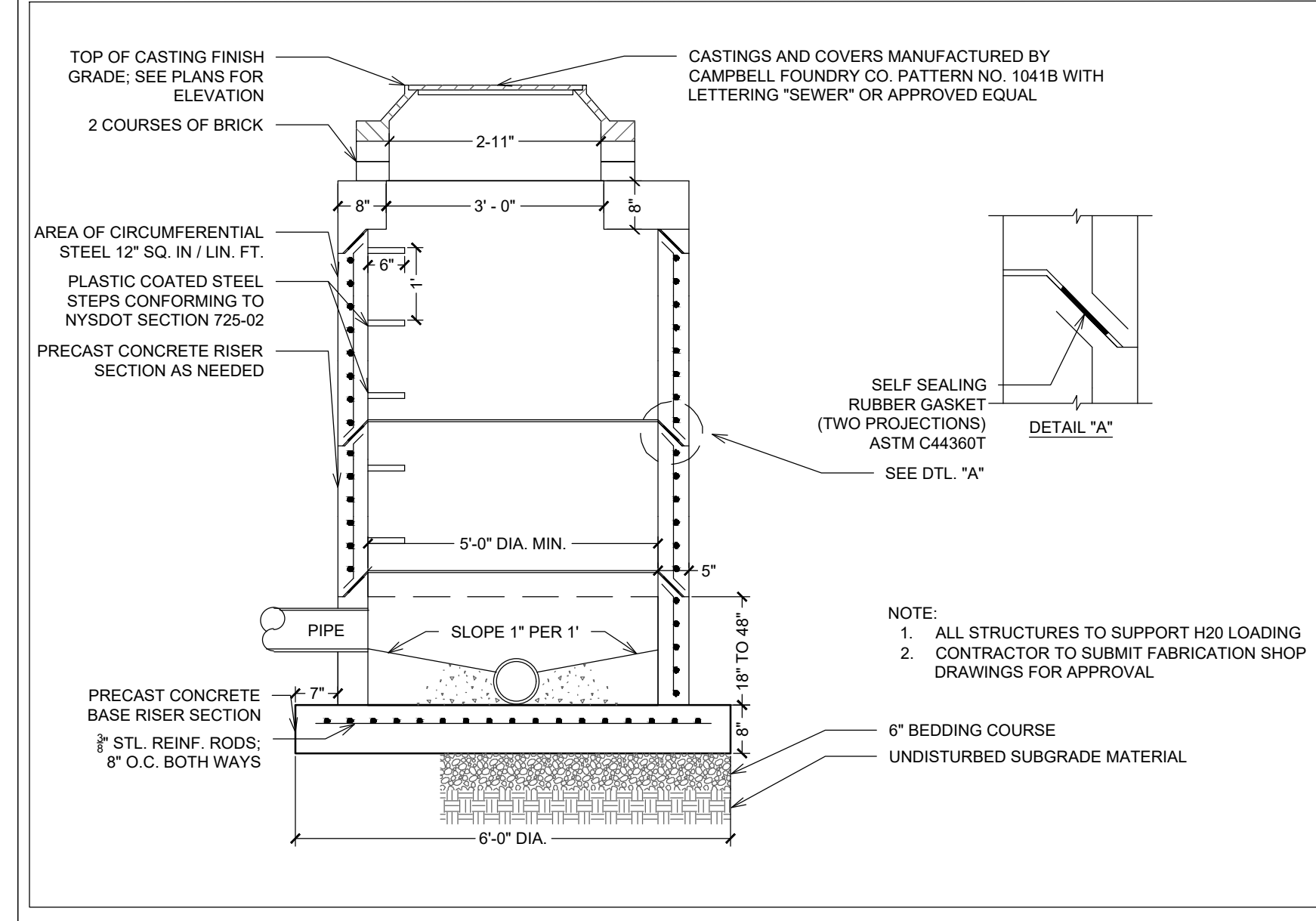
TRENCH DETAIL (STORM/SEWER/WATER) SCALE: N.T.S. 11



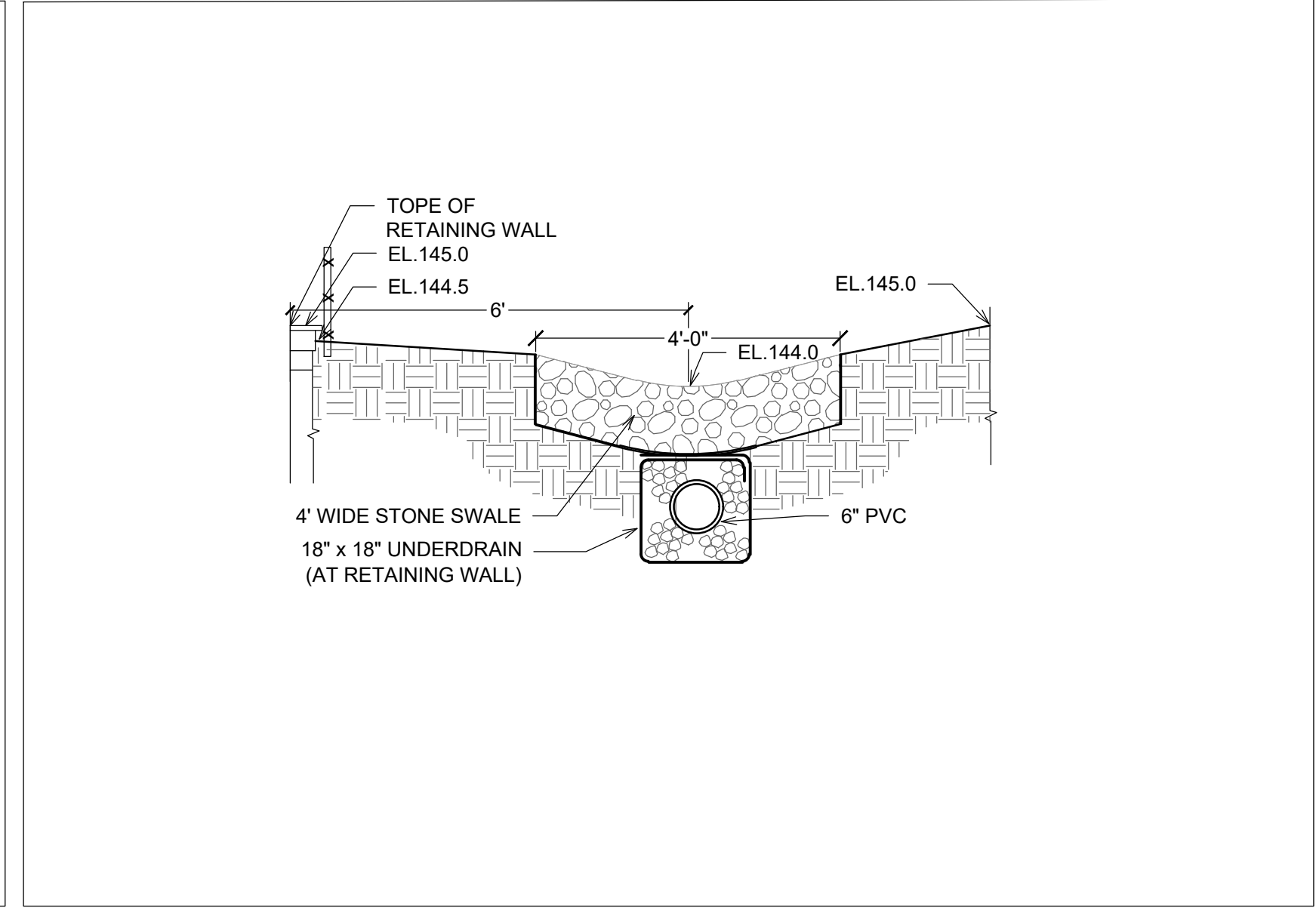
DRAIN INLET (DI) / YARD DRAIN (YD) SCALE: N.T.S. 12



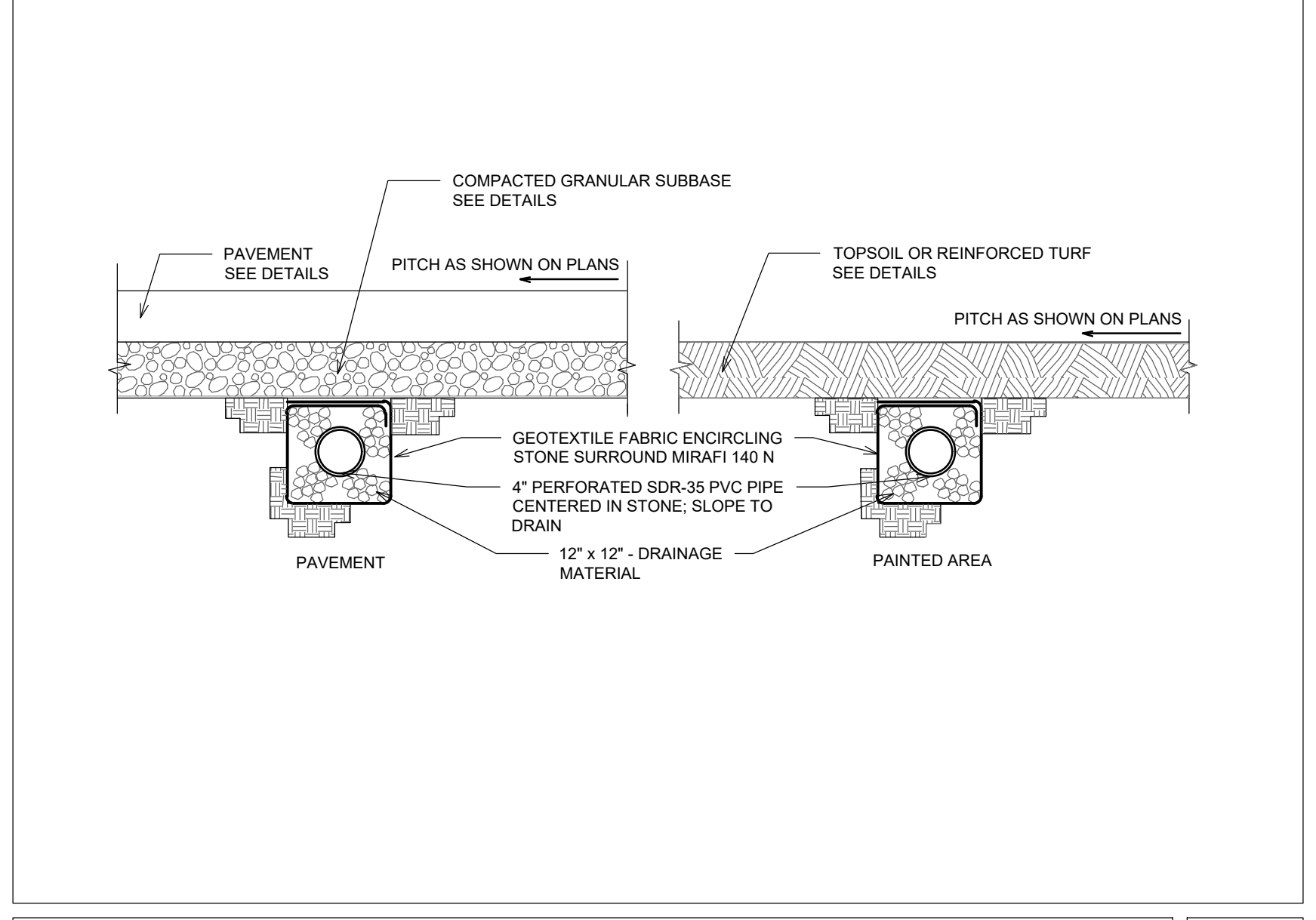
STORMWATER PRECAST MANHOLE SCALE: N.T.S. 13



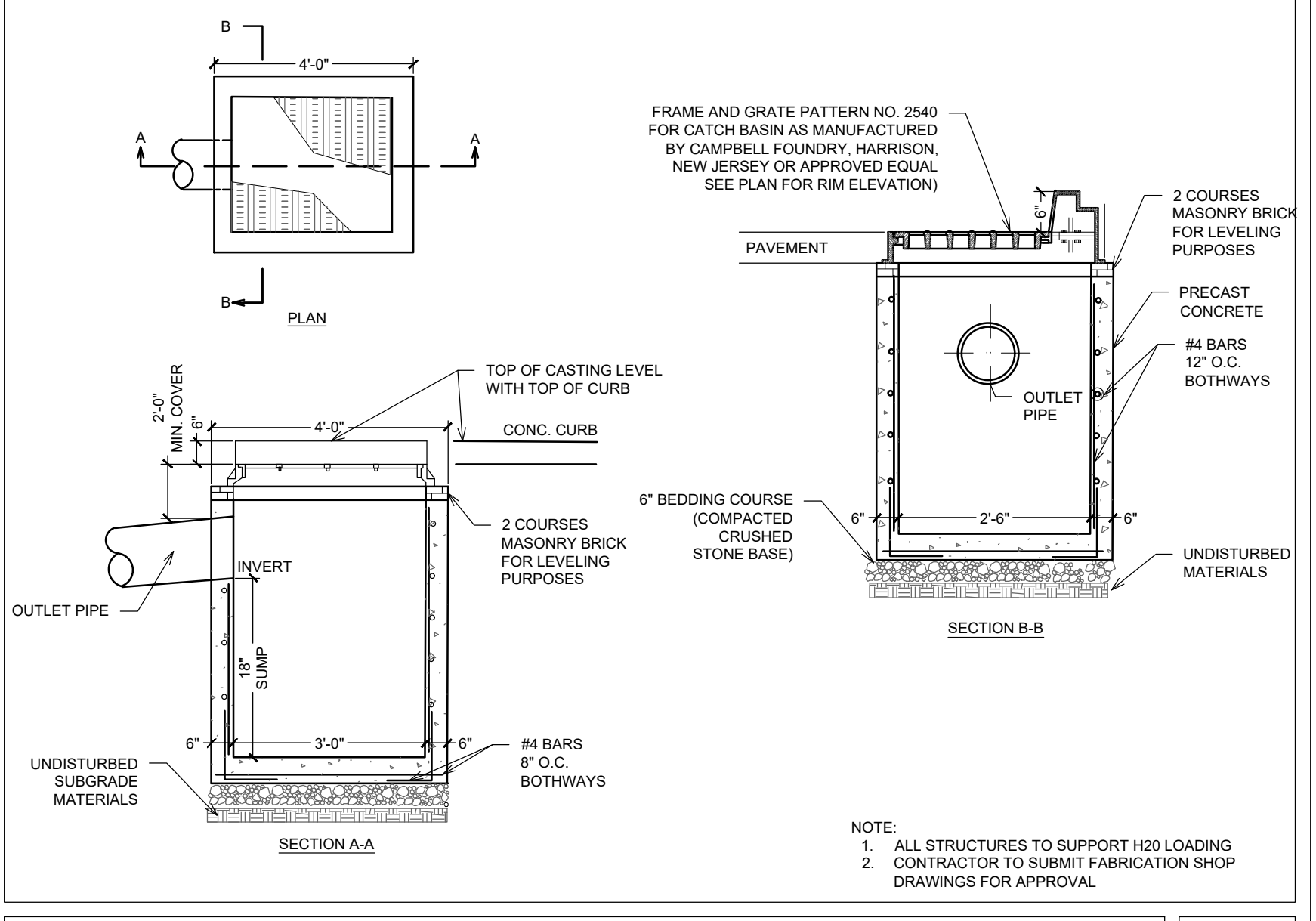
SANITARY SEWER MANHOLE SCALE: N.T.S. 14



STONE SWALE SCALE: N.T.S. 15



UNDERDRAIN SCALE: N.T.S. 16



CATCH BASIN (CURB TYPE) SCALE: N.T.S. 17

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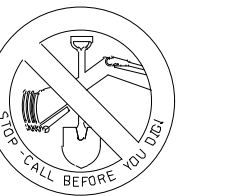
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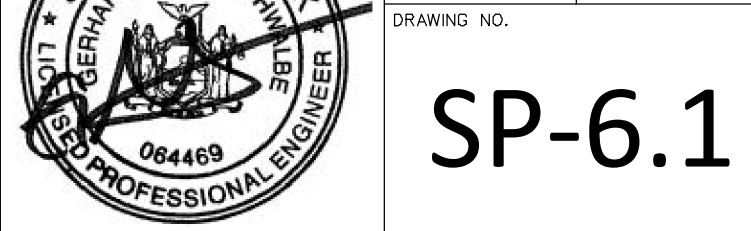
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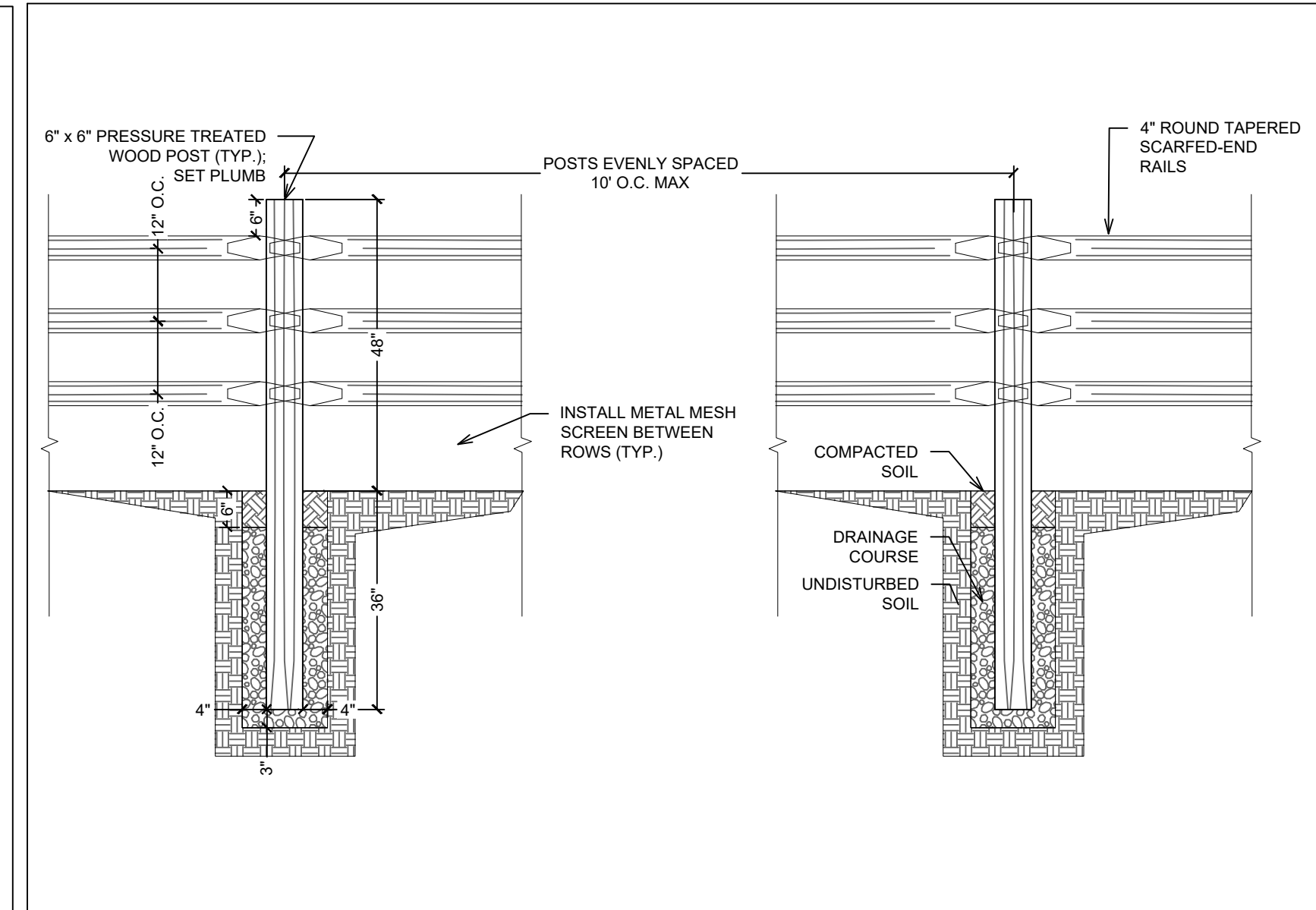
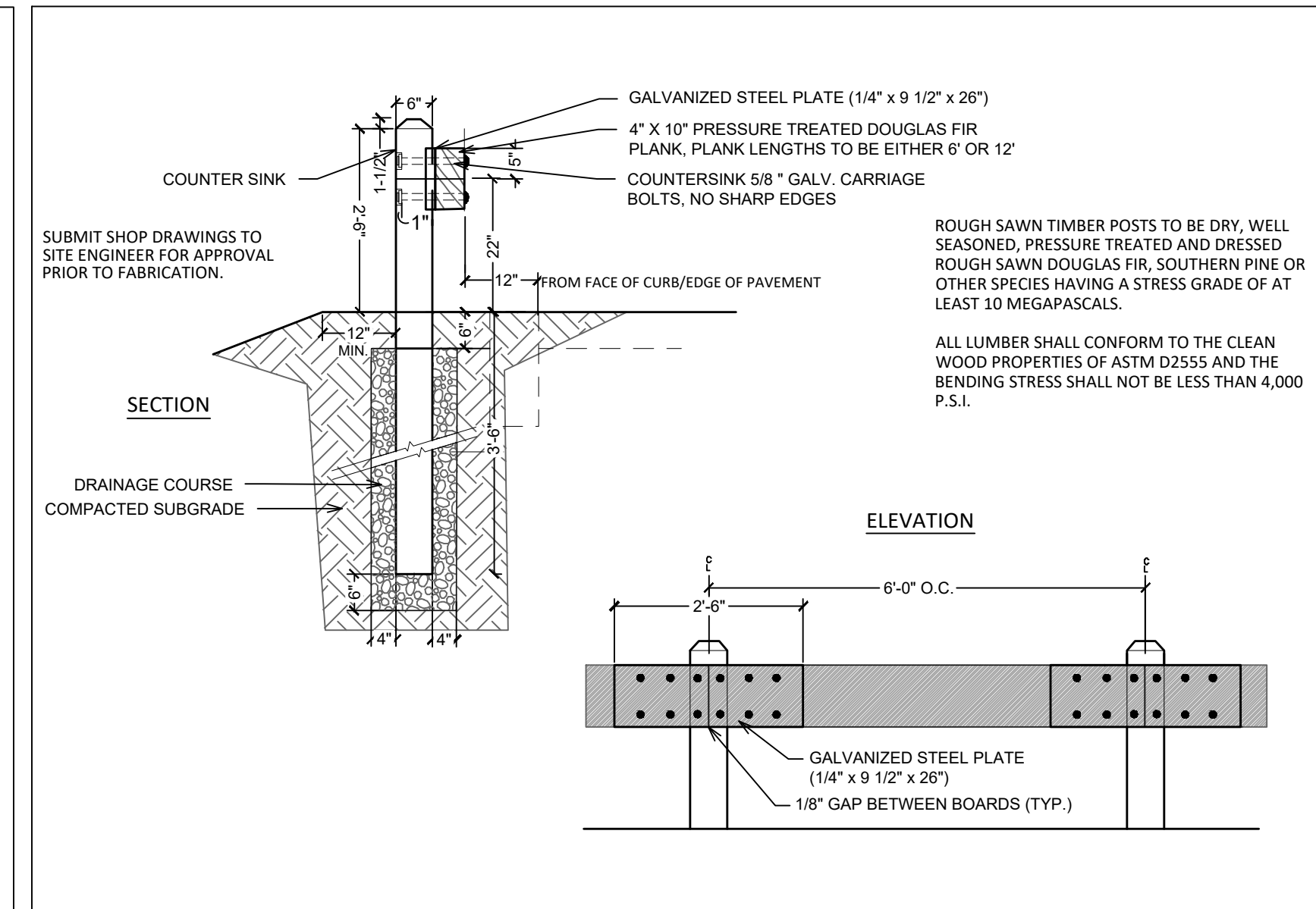
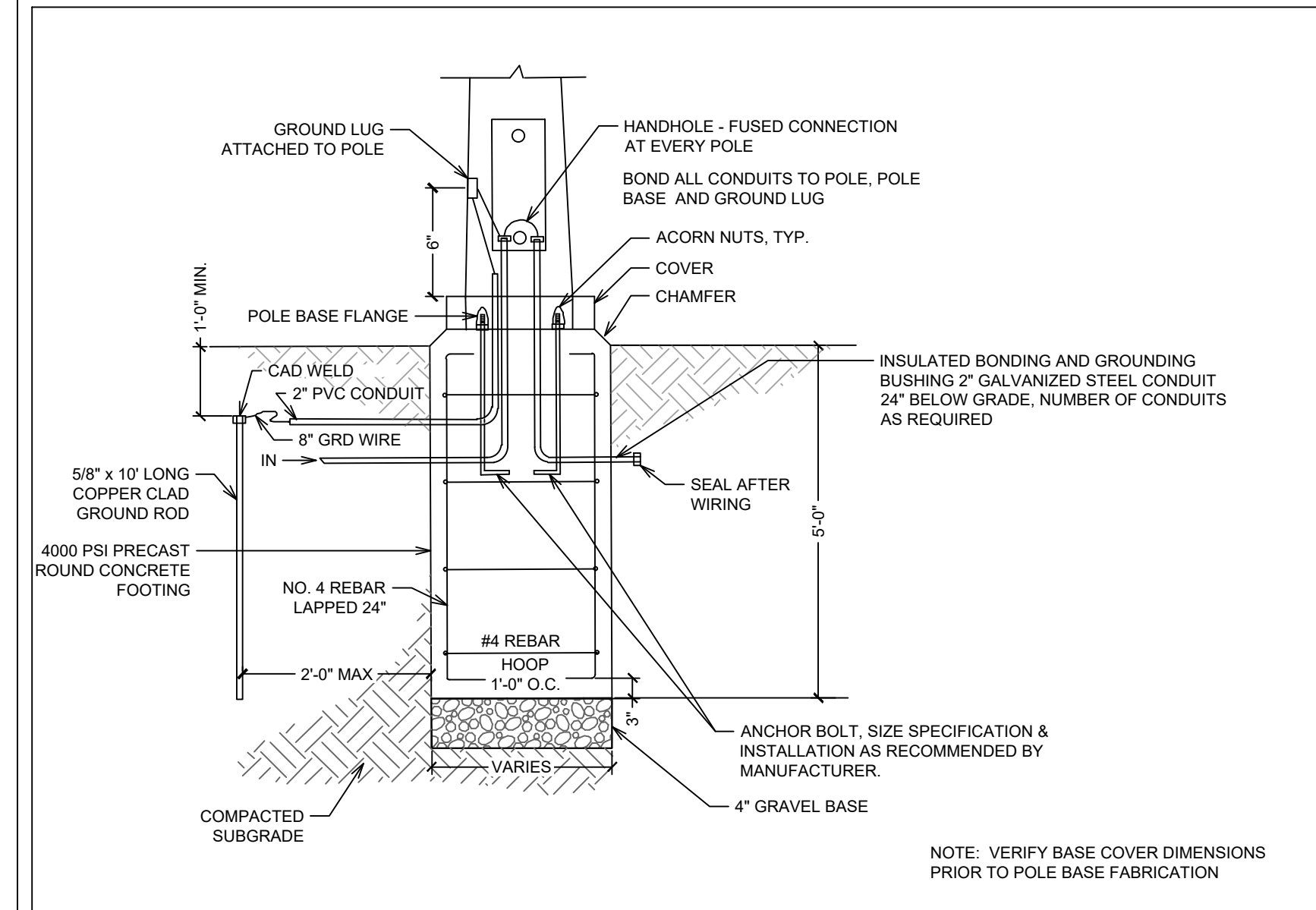
DRAWING TITLE:

SITE AND UTILITY DETAILS

Drawn by: RCC/DMM Checked by: GMS
Project No.: 858 Date: 05/19/21
Drawing No.:



SP-6.1



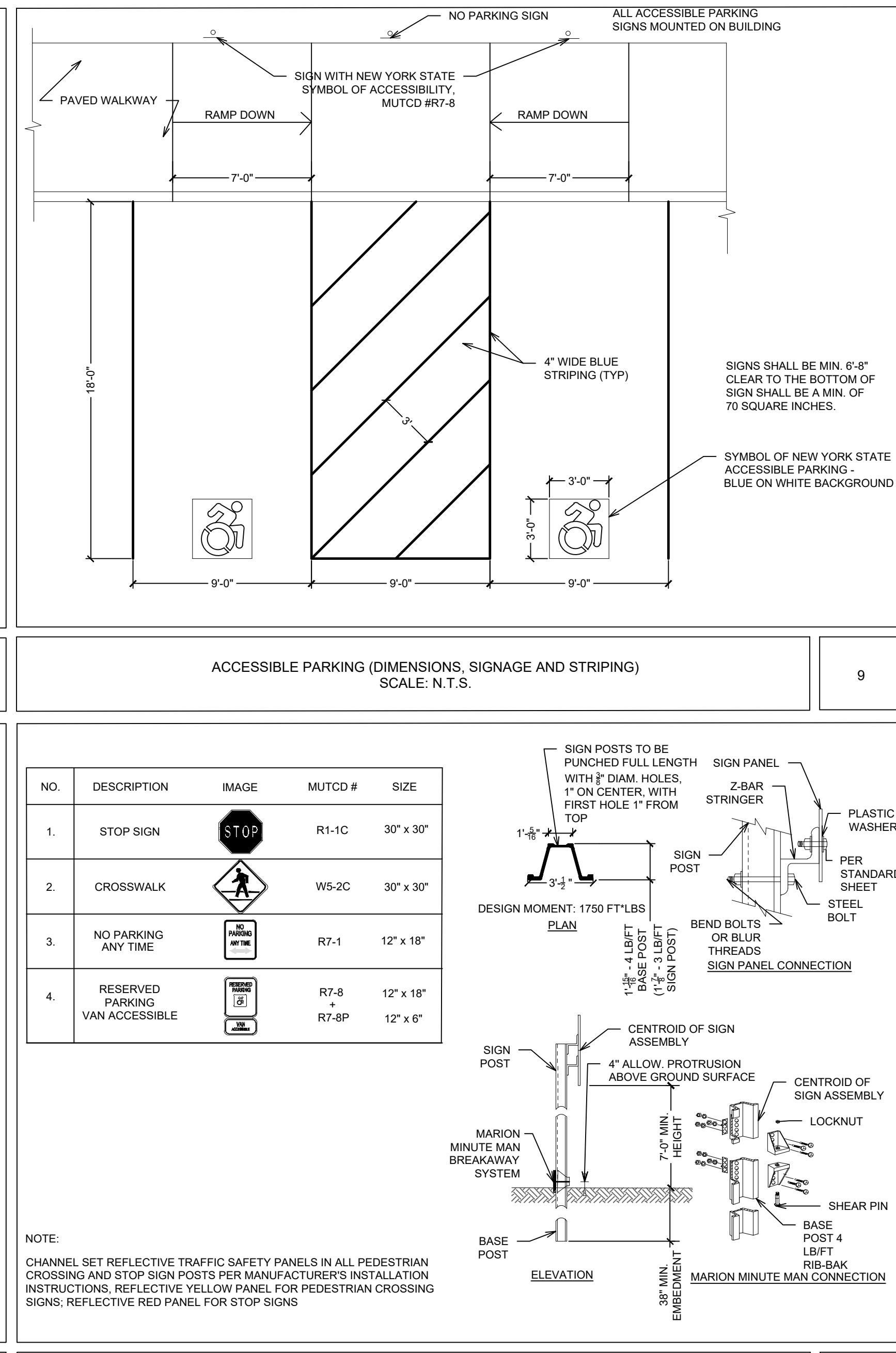
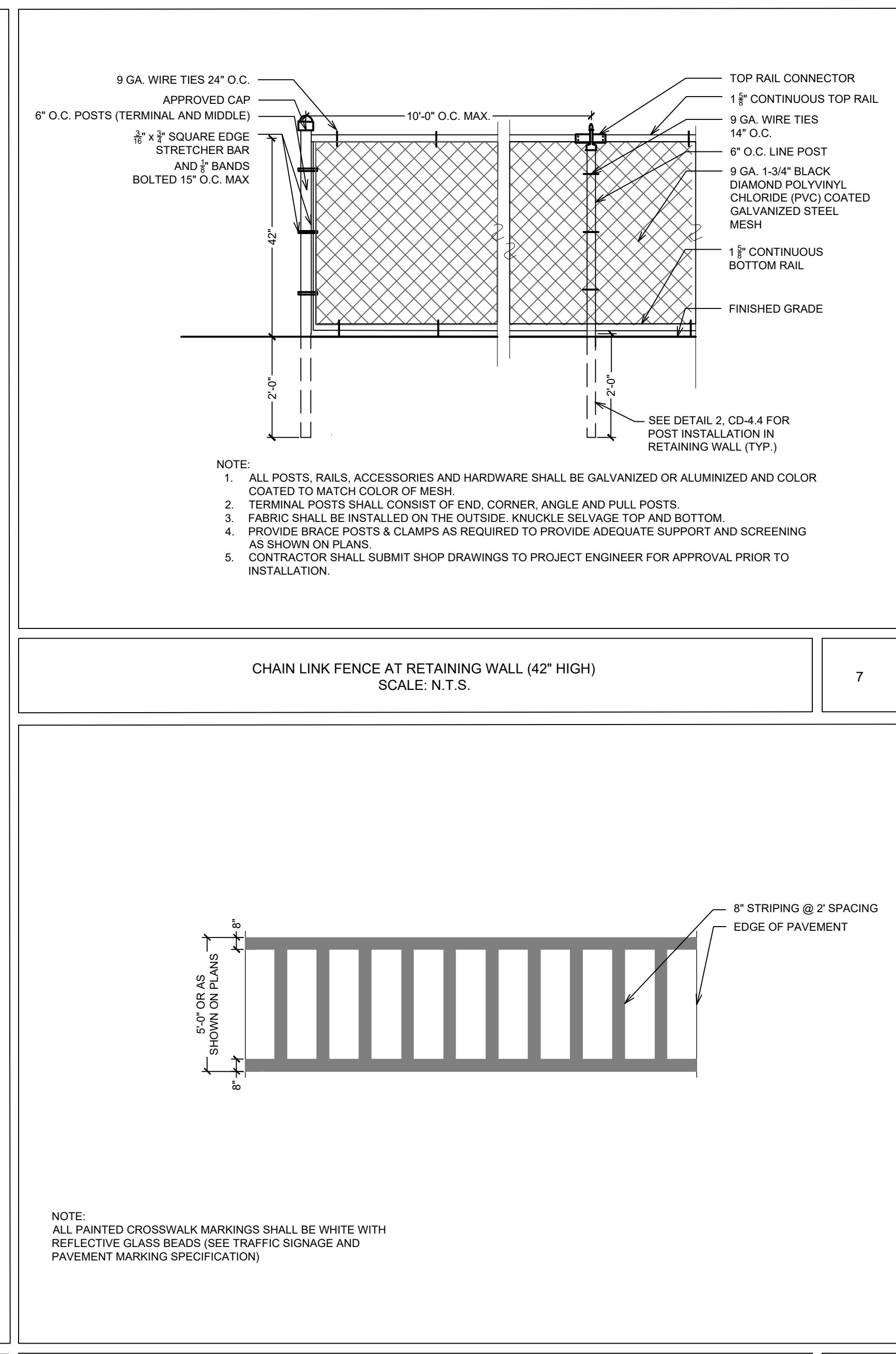
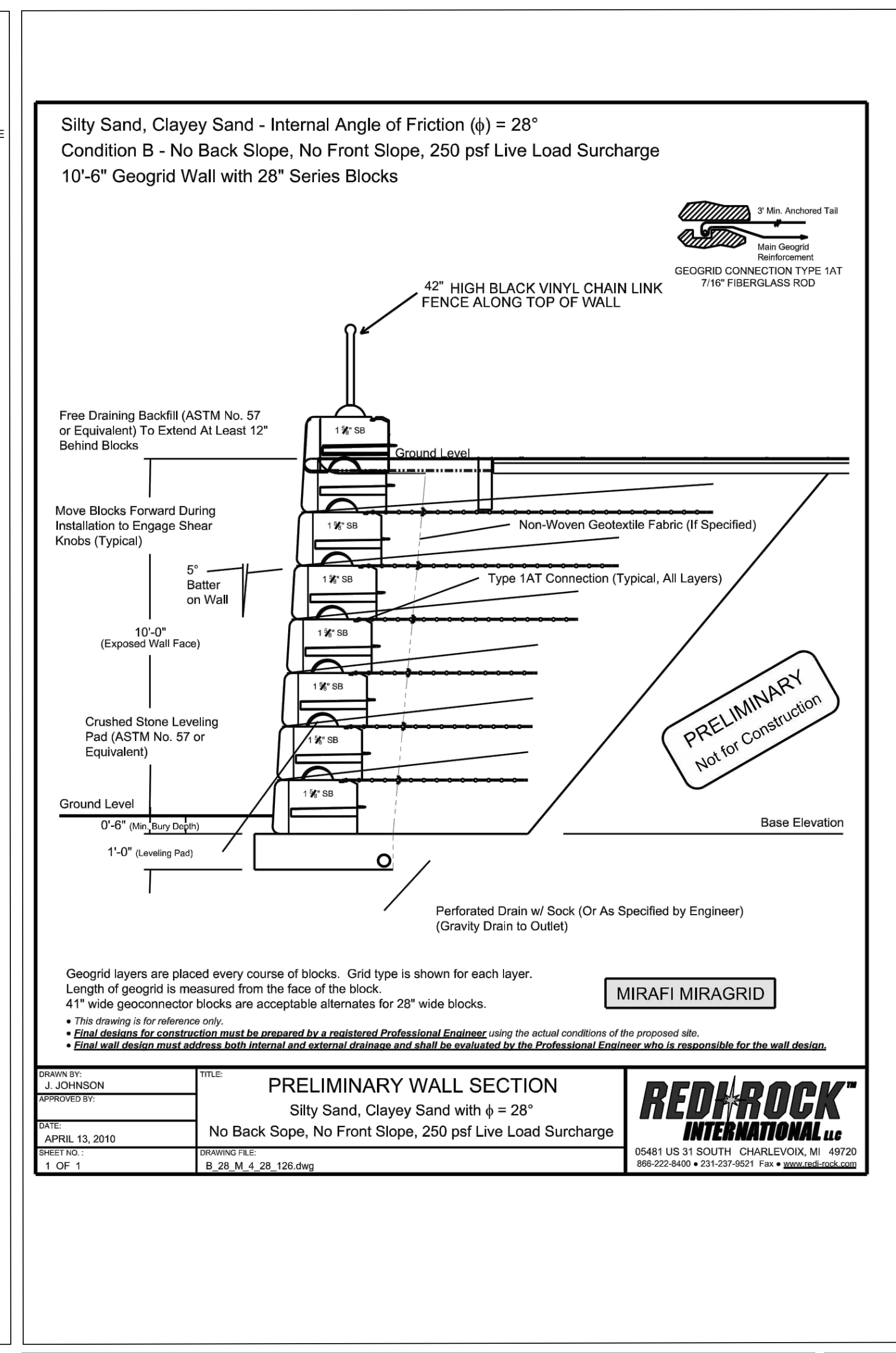
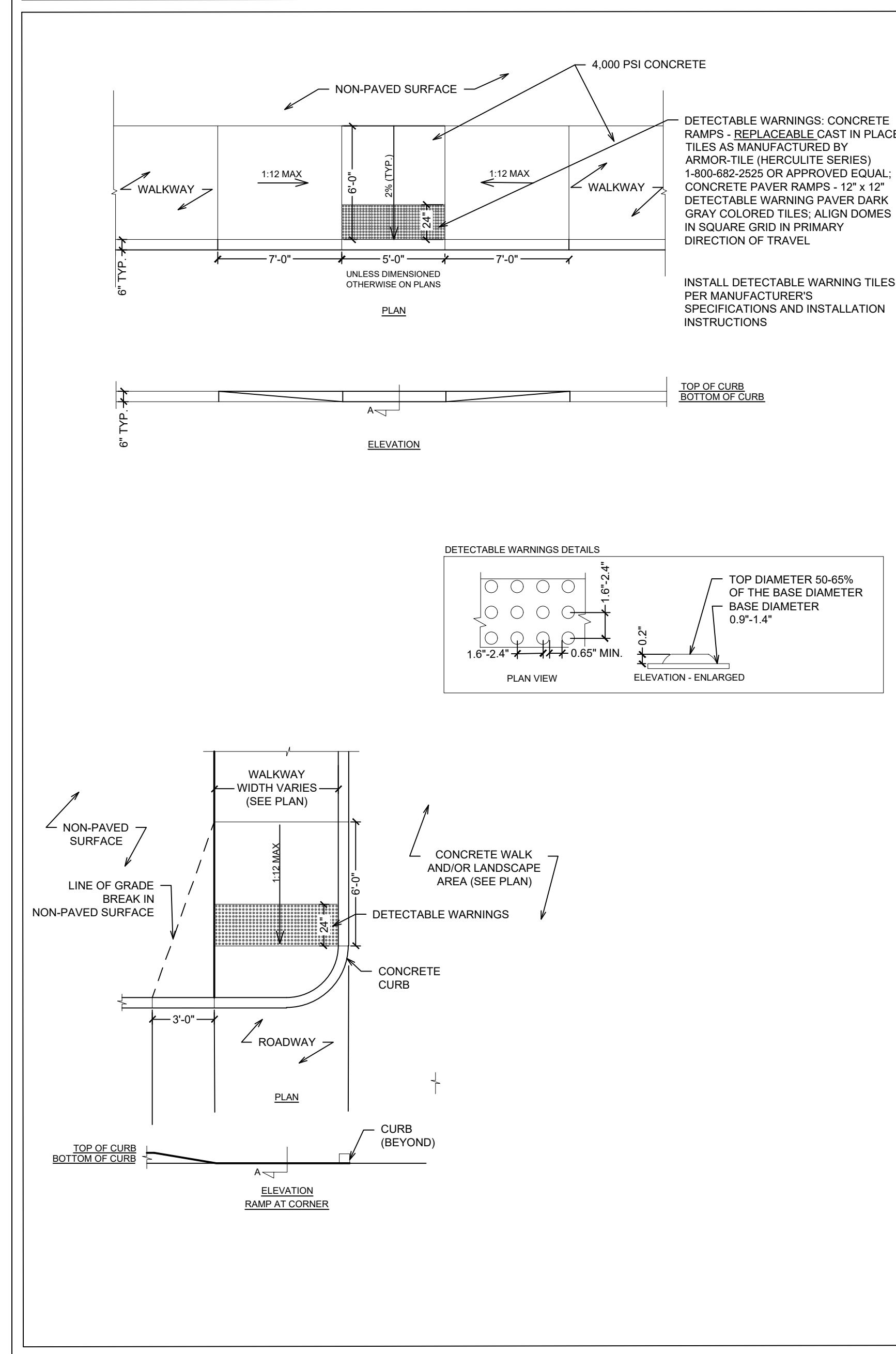
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 - ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WORK AS REQUIRED BY OSHA REGULATIONS.
 - THE CONTRACTOR SHALL REVIEW ALL OF THE SITE CONDITIONS PRIOR TO THE SUBMISSION OF BID. ANY CLARIFICATIONS REQUIRED BY THE CONTRACTOR SHALL BE SUBMITTED FOR RESPONSE, PRIOR TO FINALIZATION OF BID SUBMISSIONS.
 - THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE FULL SCOPE OF THE WORK AND SHALL SUBMIT BIDS THAT REFLECT THE REQUIRED SCOPE OF WORK TO COMPLETE THE WORK.
 - ALL NEW LIGHT POLE BASES SHALL BE PRECAST CONCRETE TYPE, SUITABLE FOR THE PROPOSED LIGHT POLE AND FIXTURE ASSEMBLY. PAVEMENT REPAIR, AND REMOVAL OF SOIL SPOILS AS A PART OF THE WORK.
 - ALL NEW LIGHT POLES AND LIGHT FIXTURES SHALL BE GROUNDED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE. GROUND CONDUCTORS WILL ALL THE BACK INTO THE PANELBOARD GROUND BAR WHERE THE CIRCUIT IS DERIVED.
 - ALL NEW LIGHT FIXTURES SHALL BE EQUIPPED WITH FUSE CUT OUTS. ACCESSIBLE IN THE HAND HOLE OF EACH LIGHT POLE. FIXTURES SHALL BE INDIVIDUALLY FUSED. CARTRIDGE FUSES SHALL BE PROVIDED FOR EACH INDIVIDUAL FIXTURE. CARTRIDGE FUSES SHALL BE SIZED FOR 125% OF FULL LOAD CURRENT OF EACH FIXTURE.
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SITE LIGHTING NOTES
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06/23/21	PLANNING BOARD SUBMISSION	

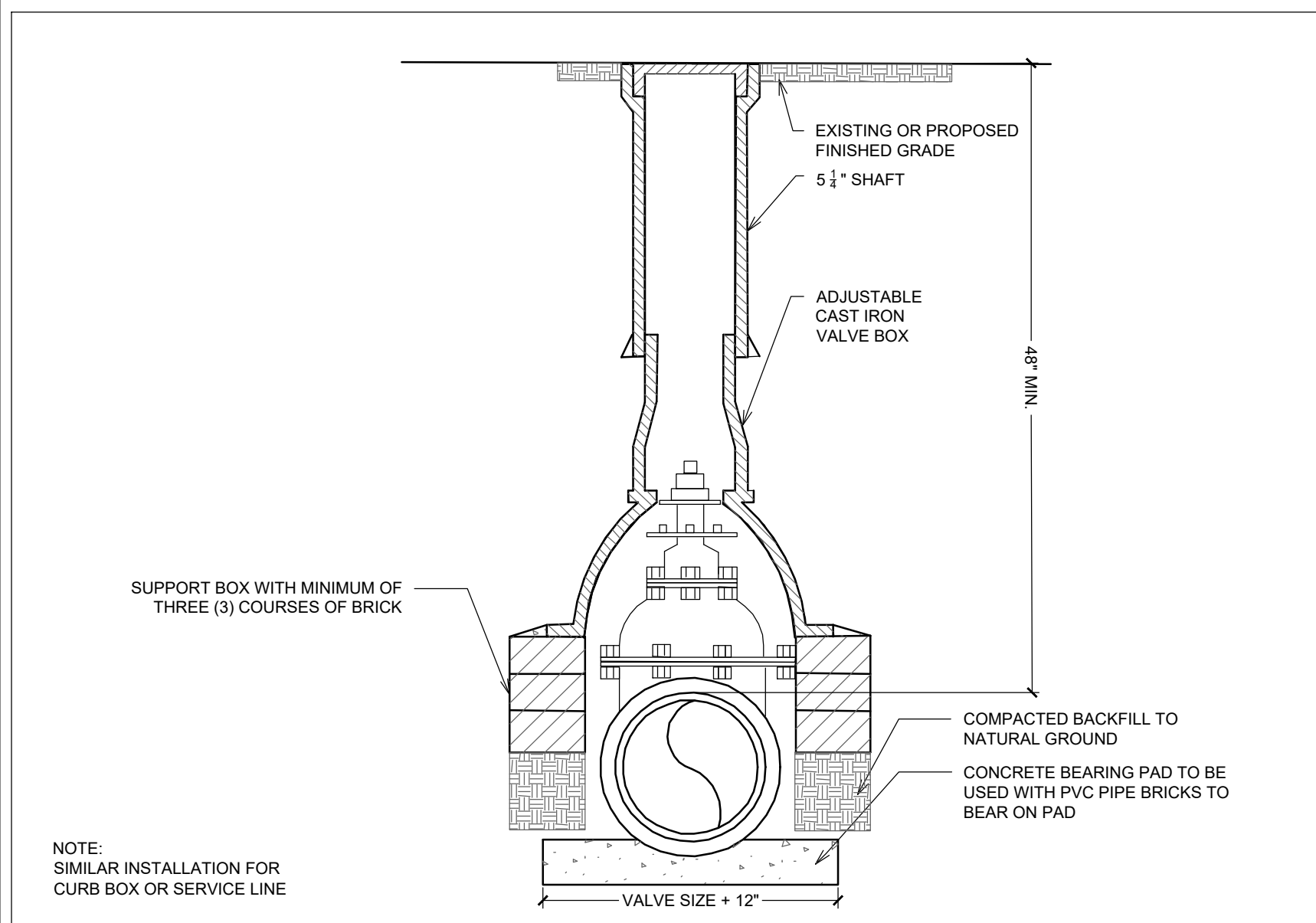
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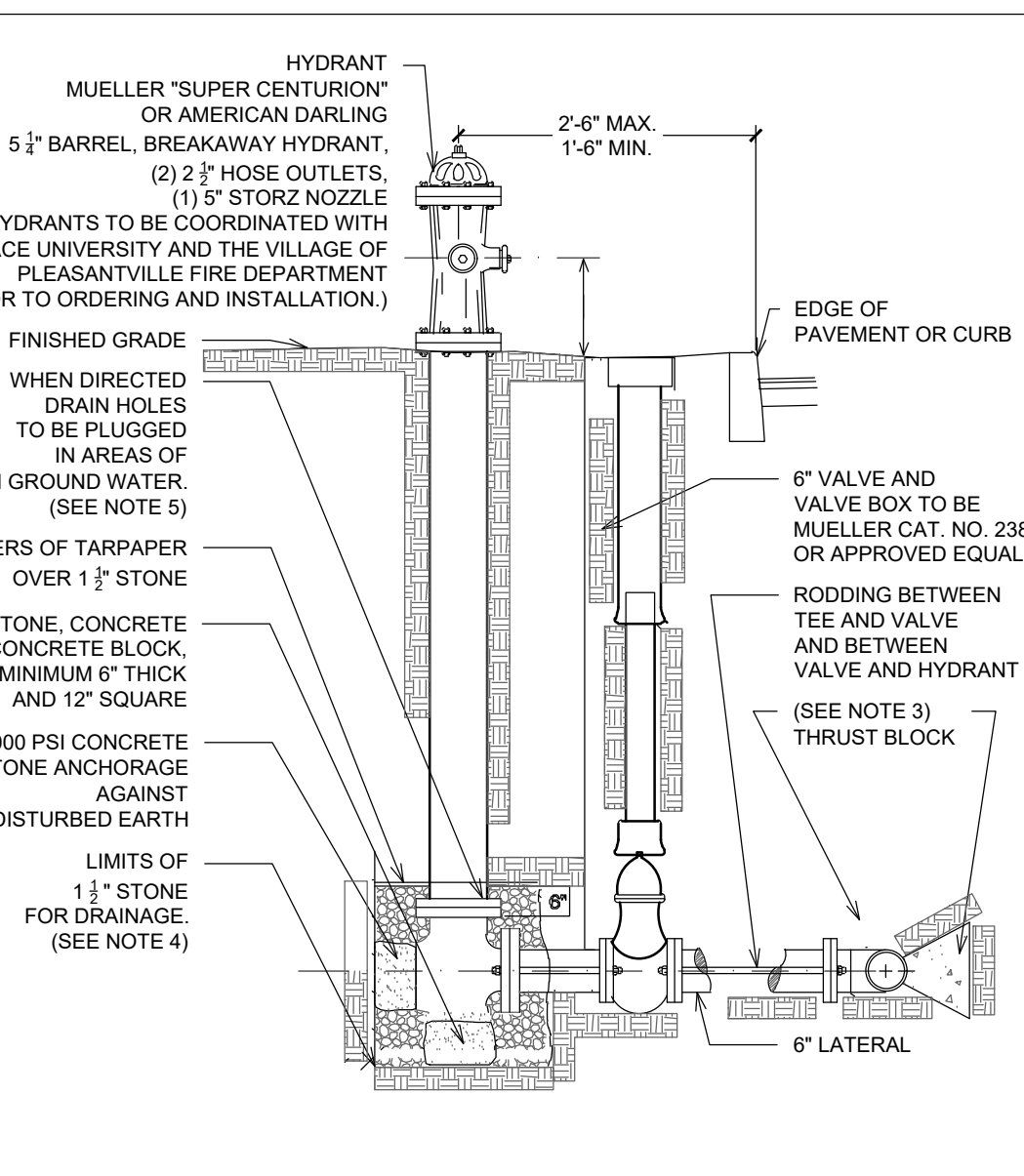
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DATE: 05/19/21
CHECKED BY: GMS

STATE OF NEW YORK
DIVISION OF PLANNING
PROFESSIONAL SEAL

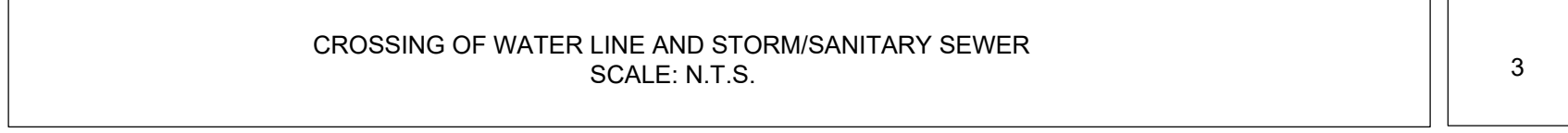
SP-6.2



NOTE: 1. PUMPER OUTLET SHALL FACE STREET. HOSE OUTLETS SHALL BE PARALLEL TO STREET. 2. FLUMBNESS OF HYDRANT TO BE CHECKED IN TWO DIRECTIONS, 90° APART. 3. RODDING SHALL CONSIST OF TWO 2" THREADED RODS CAREFULLY COATED WITH BITUMASTIC PAINT. RODDING MAY BE OMITTED BETWEEN THE MAIN AND LATERAL VALVE ONLY WHERE A TAPPING VALVE OR HYDRANT VALVE ANCHORING TEE IS USED. 4. 1" STONE SHALL BE PLACED AROUND THE HYDRANT FROM THE BOTTOM OF THE TRENCH BUT AT LEAST 6" BELOW THE BASE OF THE HYDRANT TO 4" ABOVE THE WASTI OPENING AND TO A DISTANCE OF 12" AROUND THE ELBOW. 5. HYDRANTS WITH PLUGGED DRAINS SHALL HAVE A 3" BLACK CIRCLE PAINTED DIRECTLY UNDER THE PUMPER OUTLET. 6. HYDRANT DRAINS TO BE PLUGGED WHERE THE WATER TABLE IS WITHIN 7' OF FINISHED GRADE. WHEN THE DRAINS ARE PLUGGED, THE BARRELS MUST BE PUMPED DRY AFTER USE DURING FREEZING WEATHER. WHERE HYDRANT DRAINS ARE NOT PLUGGED, A GRAVEL POCKET OR DRY WELL SHALL BE PROVIDED UNLESS THE NATURAL SOILS WILL PROVIDE ADEQUATE DRAINAGE. HYDRANT DRAINS SHALL NOT BE CONNECTED TO OR LOCATED WITHIN 10' OF SANITARY SEWERS OR STORM DRAINS.



HYDRANT 'SUPER CENTURION' OR AMERICAN DARLING 5 1/2" BARREL BREAKAWAY HYDRANT, (2) 2" HOSE OUTLETS, (1) 5" STORZ NOZZLE (HYDRANTS TO BE COORDINATED WITH PAGE UNIVERSITY AND THE VILLAGE OF PLEASANTVILLE FIRE DEPARTMENT PRIOR TO ORDERING AND INSTALLATION.) FINISHED GRADE OVER 1" STONE WHEN DIRECTED DRAIN HOLES TO BE PLUGGED IN AREAS OF HIGH GROUND WATER (SEE NOTE 5) 2 LAYERS OF TARPAPER STONE, CONCRETE OR CONCRETE BLOCK, MINIMUM 6" THICK AND 12" SQUARE 4000 PSI CONCRETE OR STONE ANCHORAGE AGAINST UNDISTURBED EARTH LIMITS OF FINISHED GRADE 1" - 3" STONE FOR DRAINAGE (SEE NOTE 5) 6" VALVE AND VALVE BOX TO BE MUELLER CAT. NO. 2380 OR APPROVED EQUAL RODDING BETWEEN TEE AND VALVE AND BETWEEN VALVE AND HYDRANT (SEE NOTE 3) THRUST BLOCK 6" LATERAL



TYPICAL VALVE INSTALLATION BOX SCALE: N.T.S. 1

HYDRANT SETTING SCALE: N.T.S. 2

CROSSING OF WATER LINE AND SANITARY/SEWER SCALE: N.T.S. 3

TRENCH DETAILS SCALE: N.T.S. 4

Diagram of thrust block at tee with plan and section views. Includes table of block dimensions for various pipe sizes and bends.

BRANCH SIZE (IN.)	BLOCK DIMENSIONS				CONC. (CF)	CONC. (CY)
	A (FT.)	B (FT.)	C (FT.)	C (FT.)		
6	3.7	2.0	2.0	14.8	0.5	
8	5.0	2.5	2.0	25.0	0.9	
10	6.3	3.0	2.0	37.8	1.4	
12	6.7	4.0	2.0	61.6	2.3	
16	10.3	4.5	2.0	92.7	3.4	

NOTE: 1. ALL THRUST BLOCKS SIZED IN ACCORDANCE WITH AWWA DUCTILE IRON PIPE AND FITTINGS. AWWA MANUAL M44 SECOND EDITION - DUCTILE IRON PIPE RESEARCH THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE. CALCULATIONS APPLY A 1.5 SAFETY FACTOR. 2. CALCULATIONS BASED UPON MINIMUM PRESSURE CLASS OF PIPE WITH STANDARD CEMENT-MORTAR LINING. 3. CALCULATIONS BASED UPON A SOIL BEARING PRESSURE OF 1,800 LBS. PER SQUARE FOOT. 4. CALCULATIONS BASED UPON A 130 PSI TEST PRESSURE. MAXIMUM. 5. DIMENSIONS ESTABLISHED BASED UPON TRUNCATED TRIANGULAR SHAPED THRUST BLOCK GEOMETRY. 6. ALL CONCRETE SHALL BE A MINIMUM 3,000 PSI OR GREATER. 7. ALL THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED SOILS. 8. NO CONCRETE SHALL BE POURED AGAINST PIPE JOINTS. 9. THRUST BLOCK FOR 90 DEGREE BENDS SHALL ONLY BE PERMITTED ON FJ TO FJ CONNECTIONS.

Diagram of thrust block at horizontal bend with plan and section views. Includes table of block dimensions for various pipe sizes and bends.

PIPE DIA. (IN.)	BLOCK DIMENSIONS				CONC. (CF)	CONC. (CY)
	A (FT.)	B (FT.)	C (FT.)	C (FT.)		
6	3.7	2.0	2.0	14.8	0.5	
8	5.0	2.5	2.0	25.0	0.9	
10	6.3	3.0	2.0	37.8	1.4	
12	6.7	4.0	2.0	61.6	2.3	
16	10.3	4.5	2.0	92.7	3.4	

NOTE: 1. ALL THRUST BLOCKS SIZED IN ACCORDANCE WITH AWWA DUCTILE IRON PIPE AND FITTINGS. AWWA MANUAL M44 SECOND EDITION - DUCTILE IRON PIPE RESEARCH THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE. CALCULATIONS APPLY A 1.5 SAFETY FACTOR. 2. CALCULATIONS BASED UPON MINIMUM PRESSURE CLASS OF PIPE WITH STANDARD CEMENT-MORTAR LINING. 3. CALCULATIONS BASED UPON A SOIL BEARING PRESSURE OF 1,800 LBS. PER SQUARE FOOT. 4. CALCULATIONS BASED UPON A 130 PSI TEST PRESSURE. MAXIMUM. 5. DIMENSIONS ESTABLISHED BASED UPON TRUNCATED TRIANGULAR SHAPED THRUST BLOCK GEOMETRY. 6. ALL CONCRETE SHALL BE A MINIMUM 3,000 PSI OR GREATER. 7. ALL THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED SOILS. 8. NO CONCRETE SHALL BE POURED AGAINST PIPE JOINTS. 9. THRUST BLOCK FOR 90 DEGREE BENDS SHALL ONLY BE PERMITTED ON FJ TO FJ CONNECTIONS.

Diagram of gravity block at vertical blend with plan and section views. Includes table of block dimensions for various pipe sizes and bends.

PIPE DIA. (IN.)	BLOCK DIMENSIONS				CONC. (CF)	CONC. (CY)
	A (FT.)	B (FT.)	C (FT.)	C (FT.)		
6	3.7	2.0	2.0	14.8	0.5	
8	5.0	2.5	2.0	25.0	0.9	
10	6.3	3.0	2.0	37.8	1.4	
12	6.7	4.0	2.0	61.6	2.3	
16	10.3	4.5	2.0	92.7	3.4	

NOTE: 1. ALL EMBEDDED RODS SHOULD HAVE STANDARD AGI RODS. 2. IN SOME CASES, IT WILL BE NECESSARY TO INCREASE THE MINIMUM DIMENSIONS SHOWN TO MAINTAIN THE MINIMUM CONCRETE VOLUMES.

Diagram showing typical clean fill sieve analysis requirements for utility and piping backfill.

SIEVE OPENING	TOTAL PERCENT PASSING BY WEIGHT
4"	100
3/4"	70-100
NO. 4	40-100
NO. 10	20-100
NO. 40	5-40
NO. 100	0-30
NO. 200	0-12

NOTE: RECYCLED MATERIAL IS NOT PERMITTED

THRUST BLOCK AT TEE SCALE: N.T.S. 5

THRUST BLOCK AT HORIZONTAL BEND SCALE: N.T.S. 6

GRAVITY BLOCK AT VERTICAL BLEND SCALE: N.T.S. 7

TRENCH FILL MATERIAL SPECIFICATIONS SCALE: N.T.S. 8

WATER MAIN NOTES: 1. WATER MAIN SHALL HAVE MINIMUM OF 4'-0" COVER. 2. DEFLECTION OF JOINTS ON WATER MAINS SHALL NOT EXCEED 50% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER, OR AS ORDERED BY THE ENGINEER. 3. ALL HORIZONTAL AND VERTICAL BENDS REQUIRE THRUST BLOCKS. SEE SCHEDULE THIS SHEET FOR MINIMUM REQUIREMENTS. 4. ALL PIPING, VALVES, HYDRANTS, AND FITTINGS TO BE APPROVED BY THE WATER COMPANY. 5. ALL WATER MAINS TO BE DISINFECTED IN ACCORDANCE WITH A.W.W.A. SPECIFICATION C651-86, EXCEPT FOR SECTION 5.1 LATEST REVISION. ACCEPTABLE RESULTS OF BACTERIOLOGICAL ANALYSIS OF SAMPLES OF WATER COLLECTED FROM THE NEW DISTRIBUTION MAIN AFTER DISINFECTION SHALL BE SUBMITTED TO THE VILLAGE OF PLEASANTVILLE, TOWN OF MT. PLEASANT, AND THE WESTCHESTER COUNTY HEALTH DEPARTMENT PRIOR TO USE. 6. PRESSURE AND LEAKAGE TESTS WILL BE DONE IN ACCORDANCE WITH THE LATEST A.W.W.A. STANDARDS. 7. THE PROPOSED WATER MAIN WILL BE INSTALLED A MINIMUM OF 10'-0" HORIZONTALLY AND 18" VERTICALLY FROM ALL STORM AND SANITARY SEWERS, EXCEPT WHERE SHOWN ON PROFILE. 3" THICK CONCRETE ENCASUREMENT SHALL BE USED WHERE THE MINIMUM SEPARATION DISTANCE IS NOT MET.

WATER MAIN NOTES SCALE: N.T.S. 9

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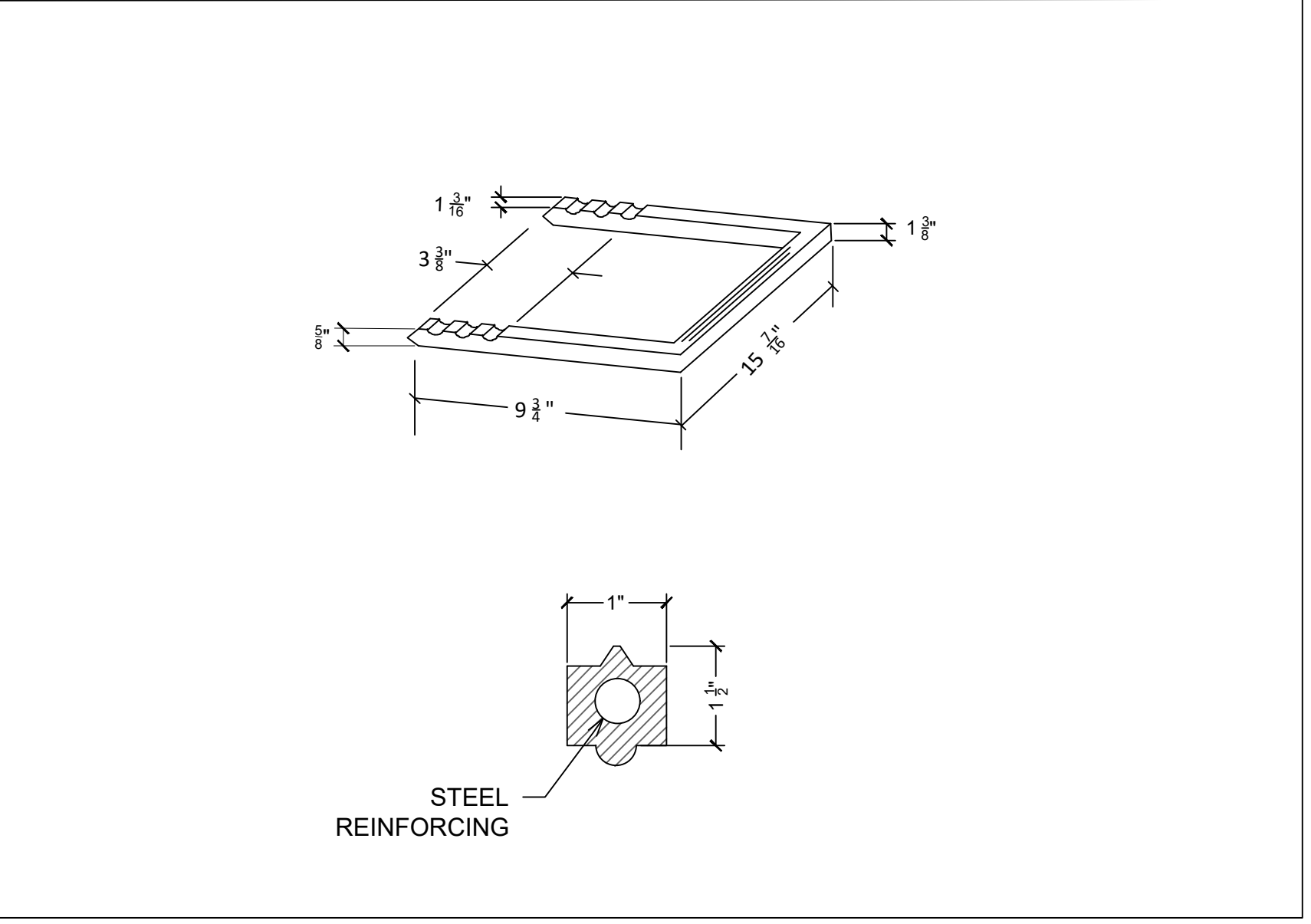
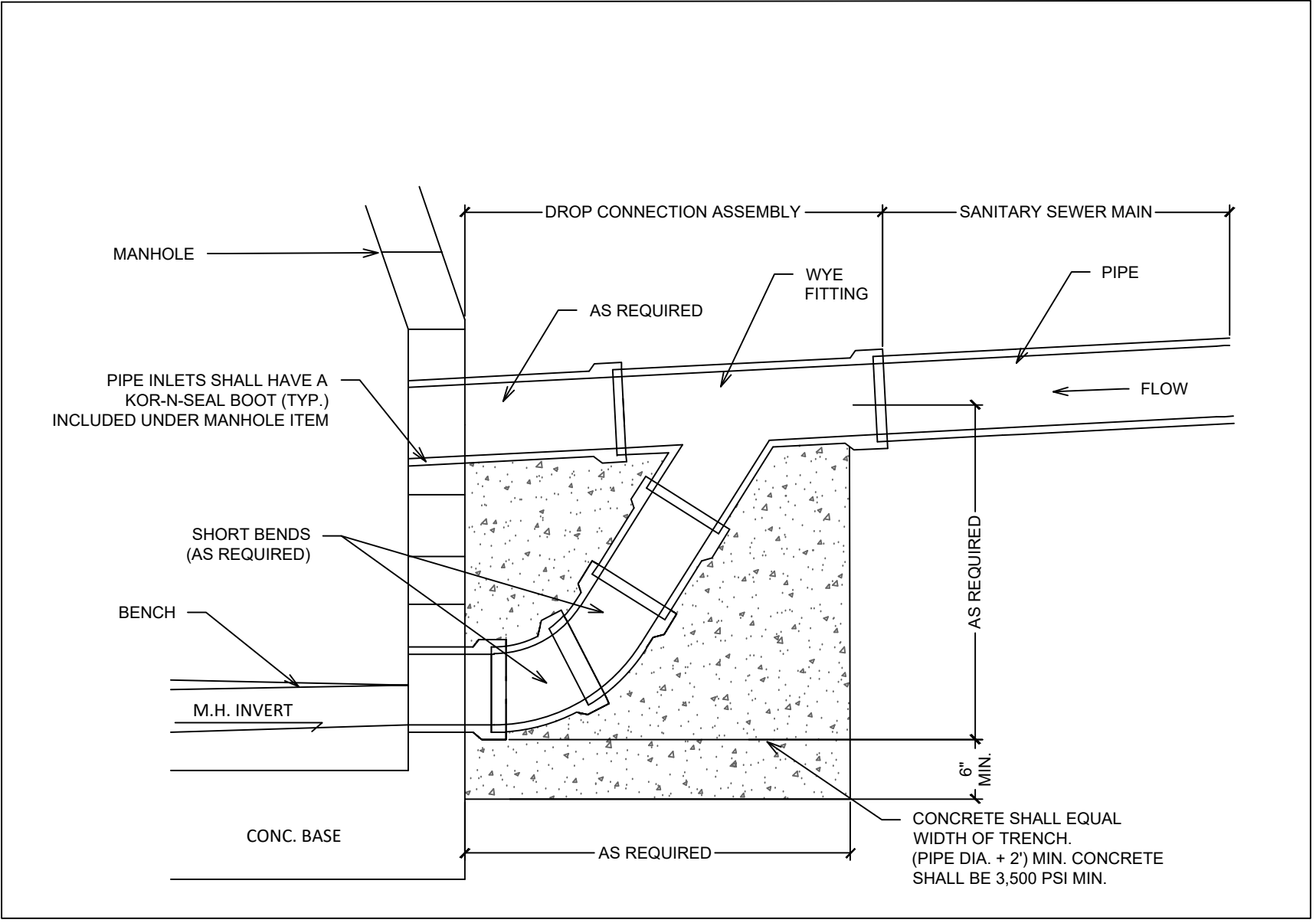
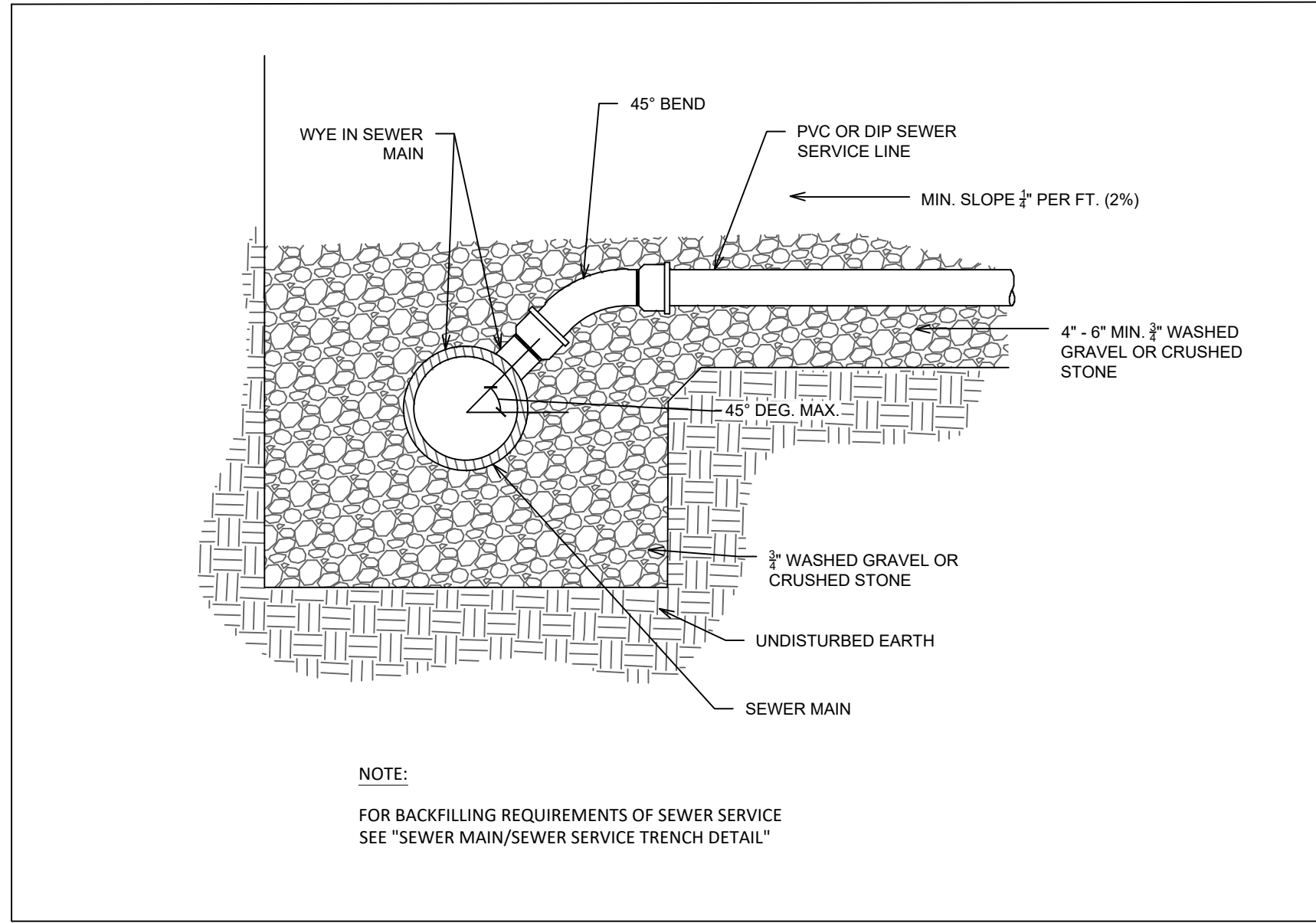
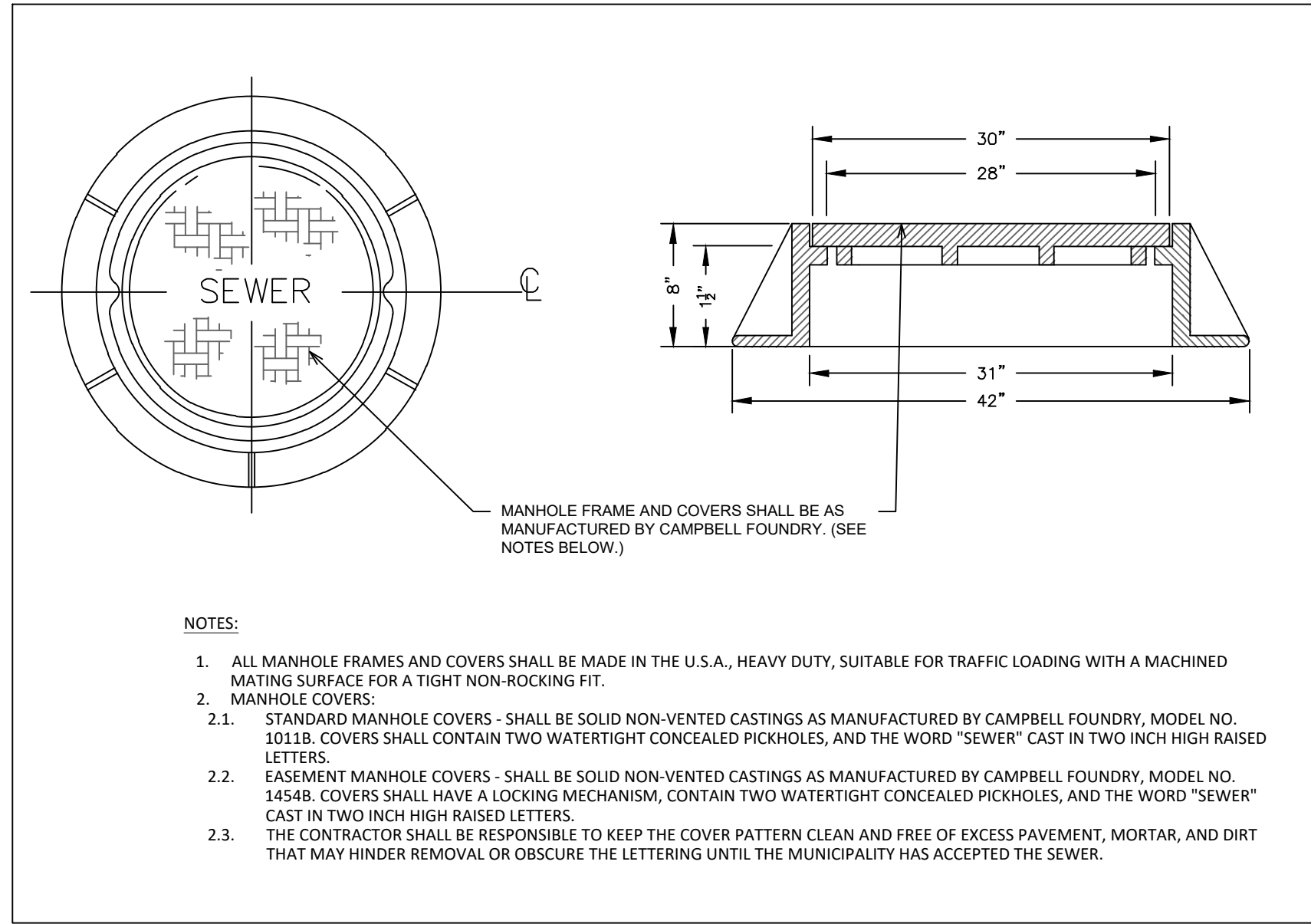
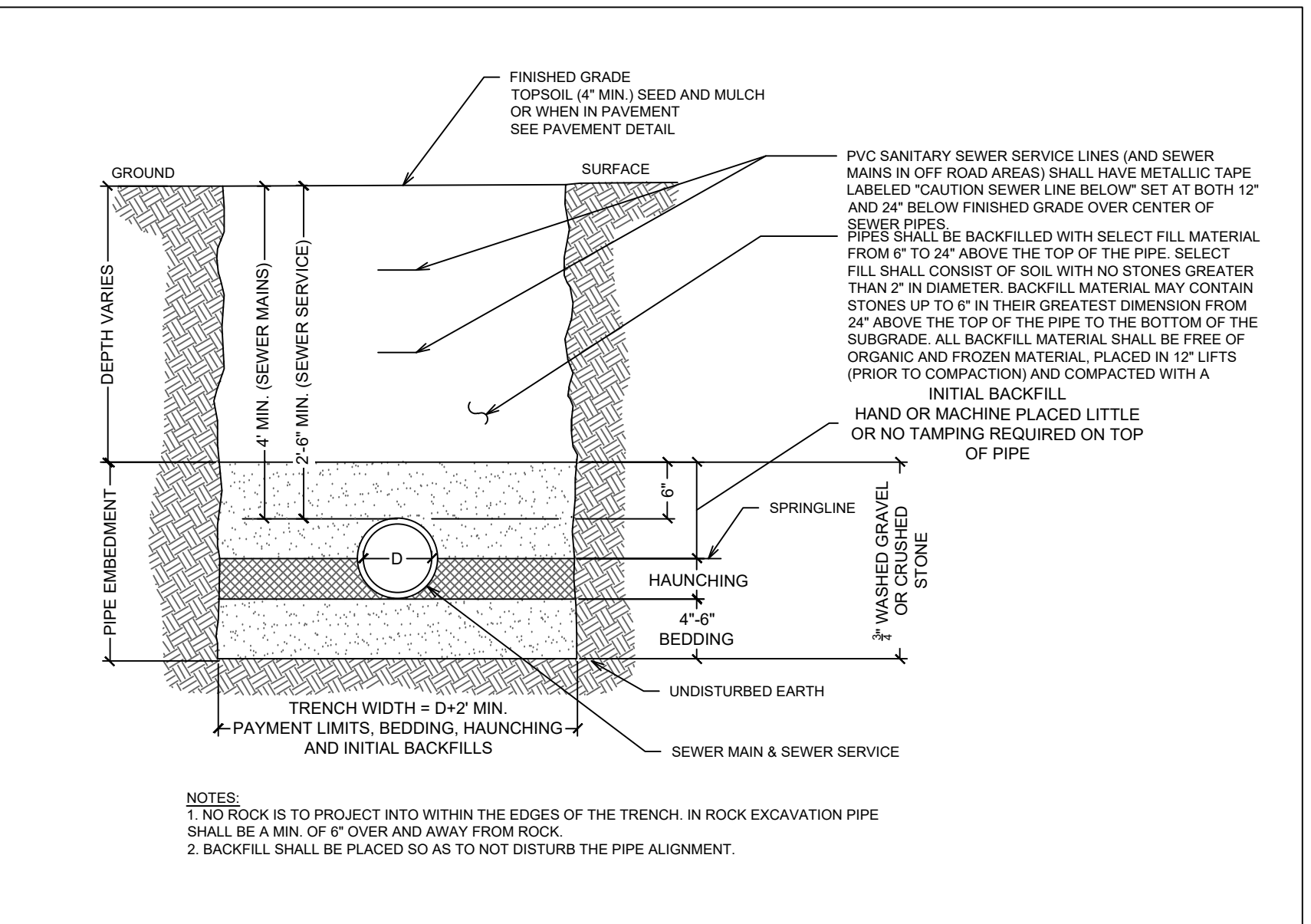
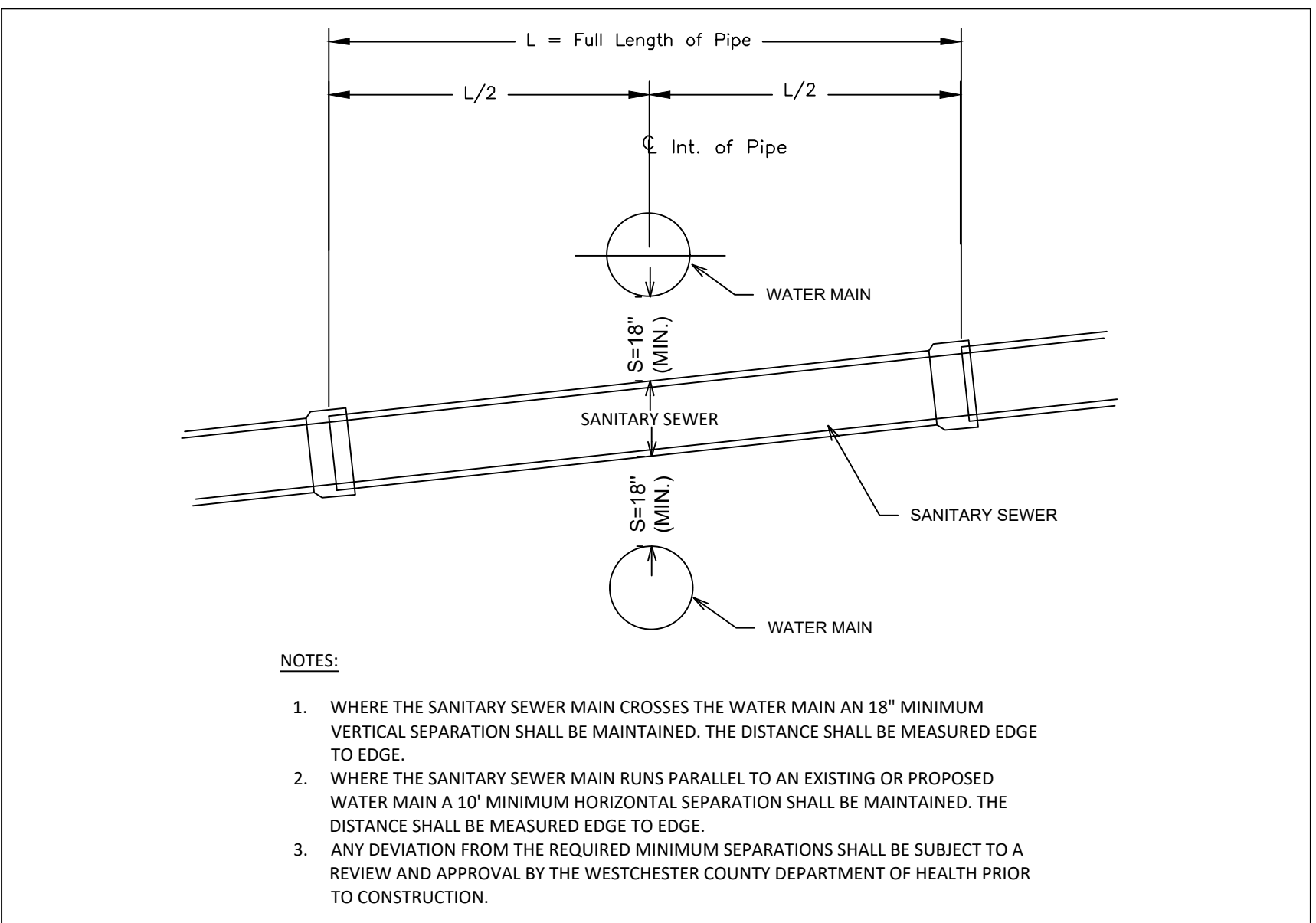
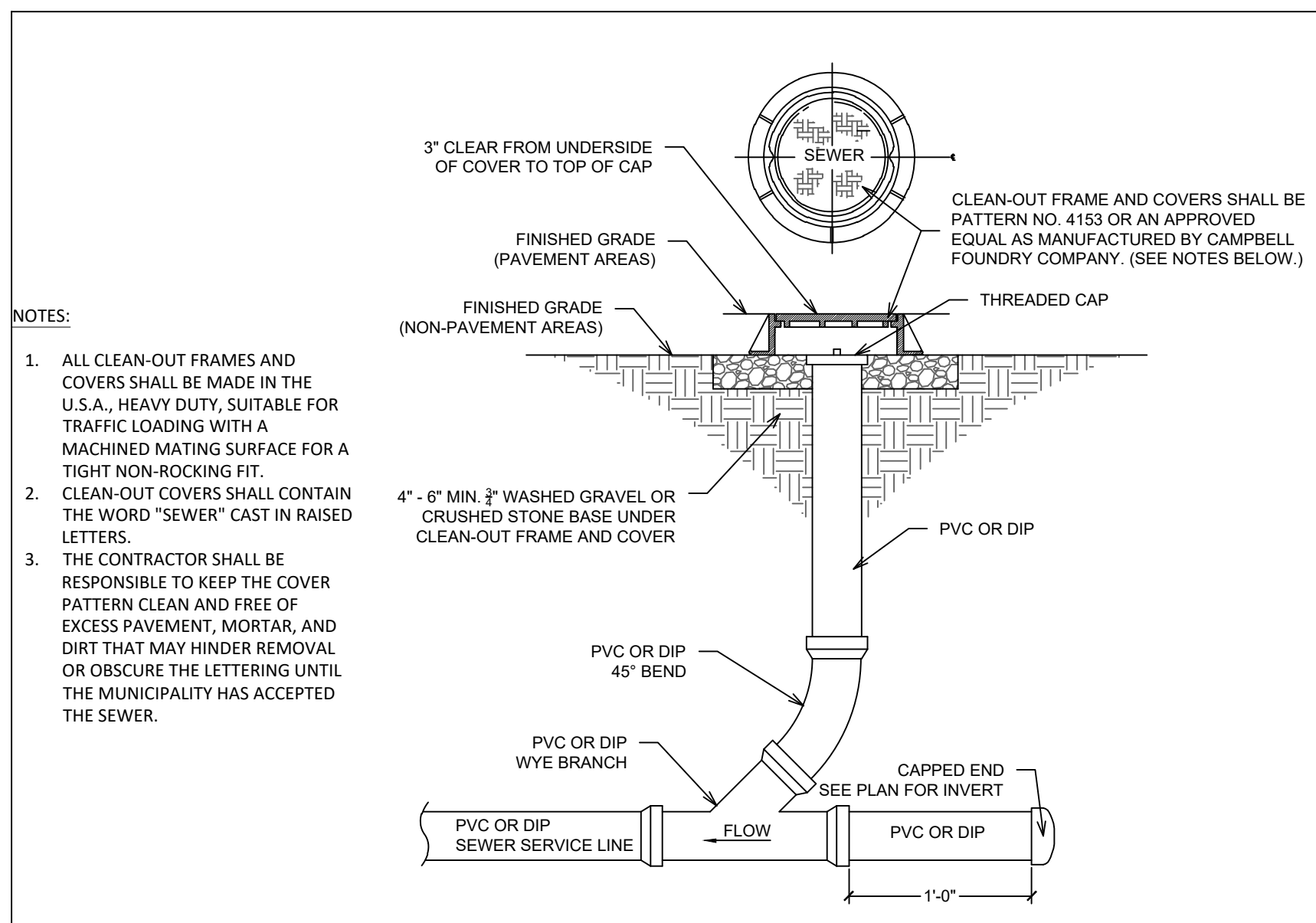
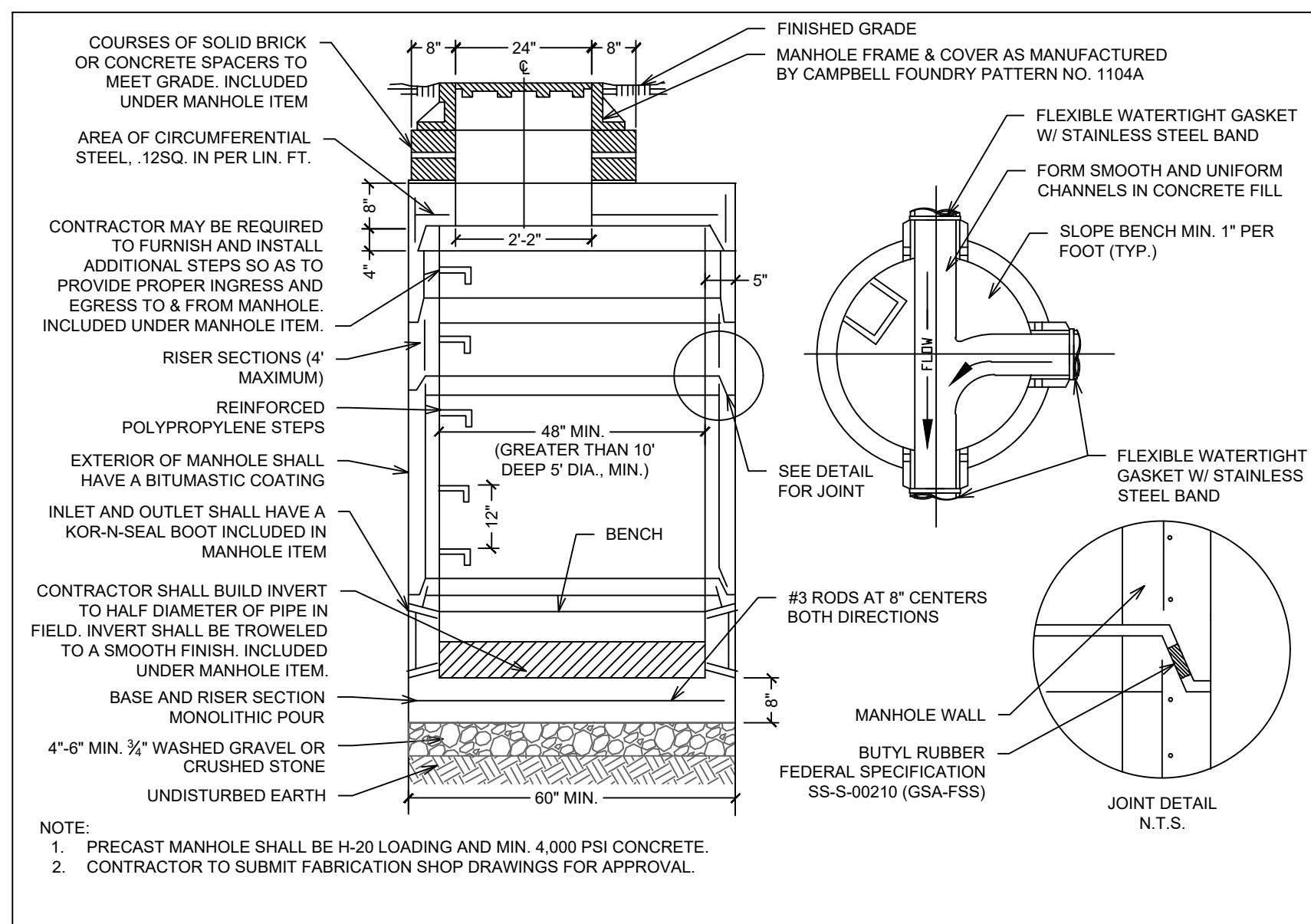
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WATER MAIN DETAILS

DRAWN BY: R.C.C./D.M.M. CHECKED BY: G.M.S.
PROJECT NO.: 858 DATE: 05/19/21
DRAWING NO.:



SP-6.3



TYPICAL CLEAN FILL SIEVE ANALYSIS REQUIREMENTS FOR ALL UTILITY & PIPING BACKFILL REQUIREMENTS

ENGINEERED FILL MATERIAL SHALL BE WELL-TO-MODERATELY WELL-GRADED GRANULAR SOILS AS EXCAVATED, IMPORTED, SCREENED, OR BLENDED, OR PROCESSED ROCK FROM ONSITE SOURCES MEETING THE FOLLOWING REQUIREMENTS:

SIEVE OPENING	TOTAL PERCENT PASSING BY WEIGHT
4"	100
3/4"	70-100
NO. 4	40-100
NO. 10	20-100
NO. 40	5-40
NO. 100	0-30
NO. 200	0-12

NOTE: RECYCLED MATERIAL IS NOT PERMITTED

TRENCH FILL MATERIAL SPECIFICATIONS
SCALE: N.T.S.

9

SEWER MAIN NOTES

- ALL SEWER MAIN PIPING SHALL BE CL-52 DIP GASKETED GRAVITY SEWER PIPE.
- ALL INDIVIDUAL SEWER SERVICES SHALL BE 4 INCH SDR-35 PVC GASKETED GRAVITY SEWER PIPE (UP TO FIVE (5) FEET OF THE BUILDING FOUNDATION, WITHIN FIVE (5) FEET OF THE BUILDING FOUNDATION THE SEWER SERVICE PIPE SHALL BE PER LOCAL BUILDING CODES. CLEANOUTS WILL BE REQUIRED AT ALL CHANGES IN PIPE DIRECTION AND EVERY 50 FEET.
- SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" CAST ON THE COVERS.
- THE PRECAST CONCRETE STRUCTURE SHALL COMPLY WITH ASTM SPECIFICATION C-478 ALL NECESSARY PATCHING SHALL BE ACCOMPLISHED WITH NON-SHRINK CEMENT GROUT EQUAL TO "SIKA-SET" AS MANUFACTURED BY SIKA CHEMICAL COMPANY.
- THE PROPOSED SEWER MAINS WILL BE INSTALLED A MINIMUM OF 10'-0" HORIZONTALLY AND 18" VERTICALLY FROM ALL WATERMANS.
- ALL SEWER MANHOLES ARE TO BE CONSTRUCTED WITH COMPRESSION TYPE RESILIENT SEAL ASSEMBLY.
- GASKETS OR COLLARS FOR SANITARY SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE WATER TIGHT AND COMPATIBLE WITH THE TYPE OF PIPING BEING USED.
- THE LENGTH OF SANITARY SEWER PIPES ENTERING OR LEAVING ANY MANHOLE SHALL BE GREATER THAN 2'-0" AND LESS THAN 6'-0".
- SEWERS SHALL BE TESTED EITHER HYDROSTATICALLY USING AN INFILTRATION OR EVAPORATION TEST OR WITH A LOW PRESSURE AIR TEST. THE TESTS SHALL BE CONDUCTED ON THE SANITARY SEWER SECTIONS. INFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE PER MILE OF PIPE PER DAY. RESULTS SHALL BE SUBMITTED TO THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND SHALL BE PERFORMED UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER. LOW-PRESSURE AIR TEST MUST CONFORM TO NYSDEC PAMPHLET TIP 15 419/989.
- MANHOLES SHALL BE TESTED EITHER BY VACUUM OR HYDROSTATIC TESTING. RESULTS SHALL BE SUBMITTED TO THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND SHALL BE PERFORMED UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER. LOW-PRESSURE AIR TEST MUST CONFORM TO NYSDEC PAMPHLET TIP 15 419/989.
- UPON COMPLETION AND PRIOR TO USE, TWO (2) SETS OF AS-BUILT PLANS MUST BE SUBMITTED TO THE WCDOH TOGETHER WITH NYS LICENSED PROFESSIONAL ENGINEERS CERTIFICATION OF CONSTRUCTION AND ACCEPTABLE RESULTS OF AIR OR WATER TESTING OF THE SEWER PIPES AND MANHOLES. THE SURVEY SHALL BE SIGNED AND SEALED BY A LICENSED NYS SURVEYOR.
- A MINIMUM OF 48 HOUR ADVANCED NOTIFICATION TO THE WCDOH IS REQUIRED FOR ANY LEAKAGE TESTING OF THE SEWER MAIN AND MANHOLES.

SEWER MAIN NOTES
SCALE: N.T.S.

10

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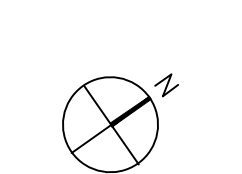
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REVISIONS/ISSUANCES

NO.	DATE	ISSUE
05/19/21	PLANNING BOARD SUBMISSION	
06/23/21	PLANNING BOARD SUBMISSION	

DRAWING TITLE:

SEWER DETAILS

DESIGNED BY: RCC/DMM
PROJECT NO.: 858
DRAWING NO.:

CHECKED BY: GMS
DATE: 05/19/21

SP-6.4



Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	150W
120V:	1.31A	Color Temp:	5000K
208V:	0.80A	Color Accuracy:	65 CRI
240V:	0.69A	L70 Lifespan:	100000
277V:	0.60A	Lumens:	14,038
Input Watts:	154W	Efficacy:	91 LPW
Efficiency:	98%		

Specification grade area lights available with IES Type II distribution. For use in parking lots, roadways, pathways and general area lighting. Replaces up to 1000W HID fixtures. Patent pending thermal management system. 5 Year Warranty.
Color: Bronze Weight: 32.0 lbs

Technical Specifications

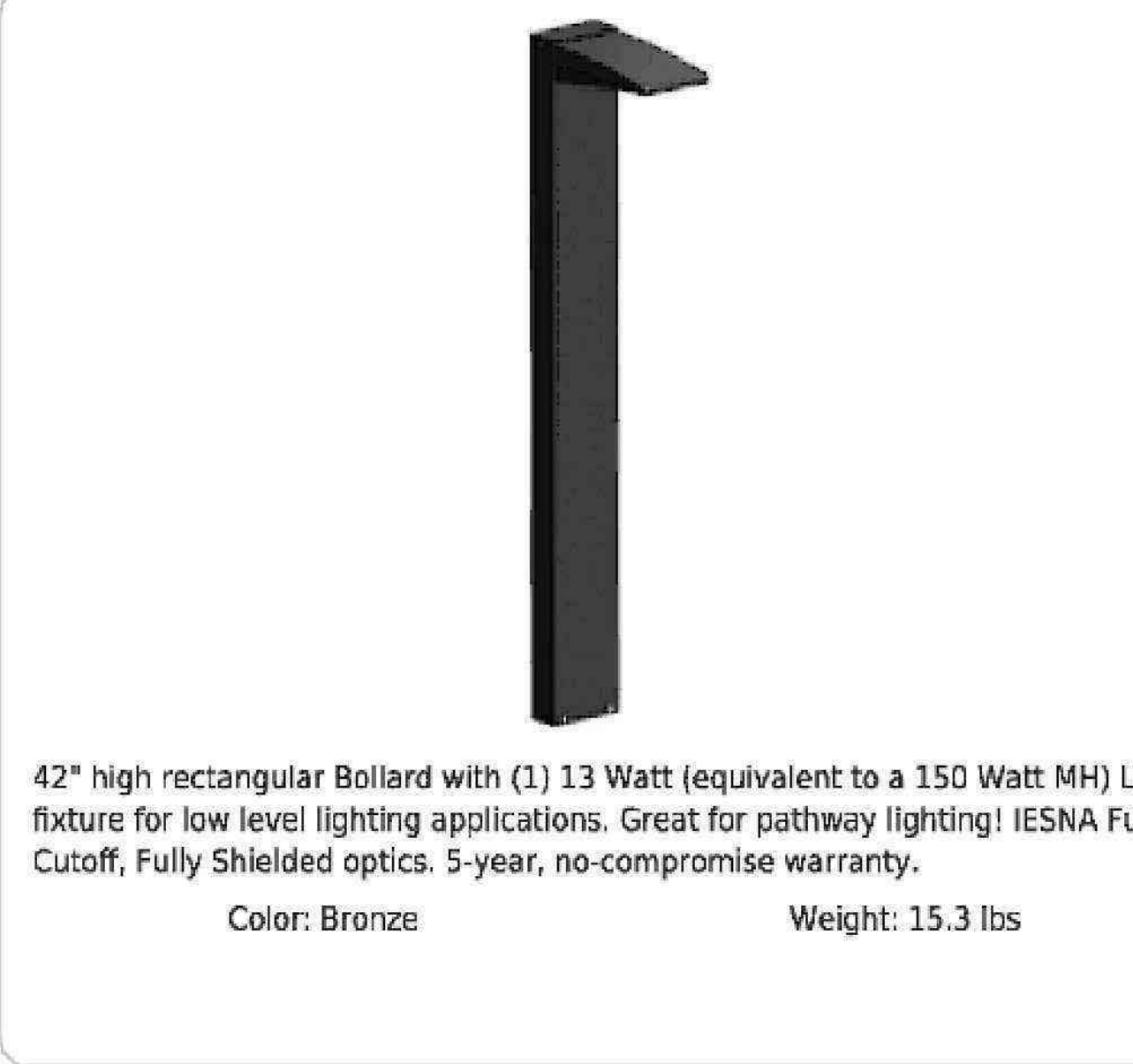
Listings
UL Listing:
Suitable for wet locations.
IESNA LM-79 & LM-80 Testing:
RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.
Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.
DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P00001759
LED Characteristics

Construction
IES Classification:
The Type II distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.
Effective Projected Area:
EPA = 0.75
Ambient Temperature:
Suitable for use in 40°C (104°F) ambient temperatures
Cold Weather Starting:
The minimum starting temperature is -40°F/-40°C.
Thermal Management:
Superior thermal management with external Air-Flow fins.

Gaskets:
High-temperature silicone gaskets
Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.
Green Technology:
Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.
For use on LEED Buildings:
IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.
Electrical
Drivers:
Two Drivers Constant Current Class 2 2000mA 400.

PARKING LOT DOWN LIGHTS (18" TALL)
SCALE: N.T.S.

1



Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	13W
120V	0.13A	Color Temp	3000K (Warm)
208V	0.08A	Color Accuracy	87 CRI
240V	0.07A	L70 Lifespan	100,000 Hours
277V	0.06A	Lumens	1,517
Input Watts	15.2W	Efficacy	99.8 lm/W

42" high rectangular Bollard with (1) 13 Watt (equivalent to a 150 Watt MH) LED fixture for low level lighting applications. Great for pathway lighting! IESNA Full Cutoff, Fully Shielded optics. 5-year, no-compromise warranty.
Color: Bronze Weight: 15.3 lbs

Technical Specifications

Compliance
UL Listed:
Suitable for wet locations
IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
Dark Sky Conformance:
Conforms to (allows for conformance to) the requirements for the IDA's "Fixture Seal of Approval" as of March 1, 2016.
Performance
Lifespan:
100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations
Construction
Junction Box:
Junction Box Not Included

Maximum Ambient Temperature:
Suitable for use in up to 55°C (131°F)
Cold Weather Starting:
The minimum starting temperature is -30C
Green Technology:
Mercury and UV free. RoHS-compliant components.
Housing:
Precision die-cast aluminum housing, lens frame
Mounting:
42" Bollard

Gaskets:
High-temperature silicone
Finish:
Formulated for high durability and long-lasting color
Anchor Bolt:
The anchor bolts for the BLED's have the following dimensions 1/2 - 13 x 12 1/4" long with 2 3/4" hook. Available online in pdf file.
Electrical
Driver:
Multi-chip 13W high output long life LED Driver Constant Current, Class 2 100V - 277V, 50/60 Hz

WALKWAY BOLLARD (42" TALL)
SCALE: N.T.S.

3

PRODUCT SPECIFICATIONS

Description:
Pole Top with Overhang Down Lights. Available in Multiple Mountings
Materials:
Aluminum
Finish:
Powder Coated
Lens:
White Polycarbonate
LED:
Integrated LED Array
Listing:
Wet List to Meet UL1598 Standard
Driver Info:
120/277V
Installation Information:
Install by Qualified Electrician
Warranty:
2 Years From Date of Shipment

DIMENSIONS:
DPL46 - Top : 46" L x 6" W x 4" H
Pole : 4" Depth x 6" W
DPL46S - Top: 46" L x 6" W x 4" H
Pole: 6" Depth x 6" W

Project:	
Location(s):	
Type:	
Qty:	
Date:	



ORDER INFORMATION
Call Factory For Fluorescent Options

MODEL	FINISH	WATTAGE	KELVIN	POLE HEIGHT*	MOUNTING	OPTIONS
Model	Finish	Wattage	Kelvin	Pole Height	Mounting	Options
DPL46	DB - Dark Bronze	LED40 - 40W LED 5000 Lms*	30 - 30K	XX - Fill XX with feet	190 - 1 Head @ 90	DIM - 0-10V Dimmable
DPL46S	BL - Black	LED50 - 50W LED 5000 LMS	40 - 40K	14'	290 - 2 heads @ 90	PC - Photocell
	AS - Anodized Silver	*each head	50 - 50K		2180 - 2 heads @ 180	MOT - Motion
	WH - White				390 - 3 heads @ 90	
	CC - Custom Color				490 - 4 heads @ 90	

WALKWAY DOWN LIGHTS (14" TALL)
SCALE: N.T.S.

2



Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	62W
120V	0.52A	Color Temp	3000K (Warm)
208V	0.33A	Color Accuracy	72 CRI
240V	0.29A	L70 Lifespan	100,000 Hours
277V	0.25A	Lumens	6,145
Input Watts	57.1W	Efficacy	107.6 lm/W

37, 57 and 62 Watt SLIM Wall packs are designed to cover the footprint of most traditional wall packs. They are suitable for mounting heights from 20' to 30', and replace HID Wattages from 200W MH to 320W MH. These ultra-high efficiency fixtures are available in cutoff or full cutoff models.
Color: Bronze Weight: 14.3 lbs

Technical Specifications

Compliance
UL Listed:
Suitable for Wet Locations. Wall Mount Only.
IESNA LM-79 & LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: PAF3E6WG
Construction
Footprint:
Designed to replace RAB HID WP3/4 wall packs, both in size and footprint template, so upgrading to LED is easy and seamless
IP Rating:
Ingress Protection rating of IP66 for dust and water

Cold Weather Starting:
Minimum starting temperature is -40°C (-40°F)
Maximum Ambient Temperature:
Suitable for use in up to 40°C (104°F)
Housing:
Precision die-cast aluminum housing and door frame
Mounting:
Die-cast back box with four (4) conduit entry points and knockout pattern for junction box or direct wall mounting. Hinged housing and bubble level for easy installation.
Cutoff:
Cutoff (10°)

Recommended Mounting Height:
Up to 30 ft
Lens:
Microprismatic diffusion glass lens reduces glare and has smooth and even light distribution
Reflector:
Specular thermoplastic
Gaskets:
The unique design of the tight-lock gasket ensures no water or environmental elements will ever get inside the SLIM

WALL MOUNTED DOWN LIGHTS (10" HIGH)
SCALE: N.T.S.

4

OVERLOOK TERRACE

119 Oregon Road
Town of Cortlandt, NY

OWNER / APPLICANT

ST KATHERINE GROUP
181 Westchester Avenue, Suite 301A
Port Chester, NY 10573

THE NRP GROUP LLC
1600 District Avenue, Suite 315
Burlington, MA 01803

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT

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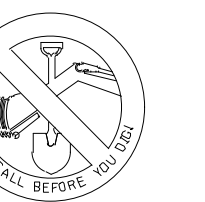
Divney Tung Schwabe, LLP
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GALLAS SURVEYING GROUP
2865 US Route 1
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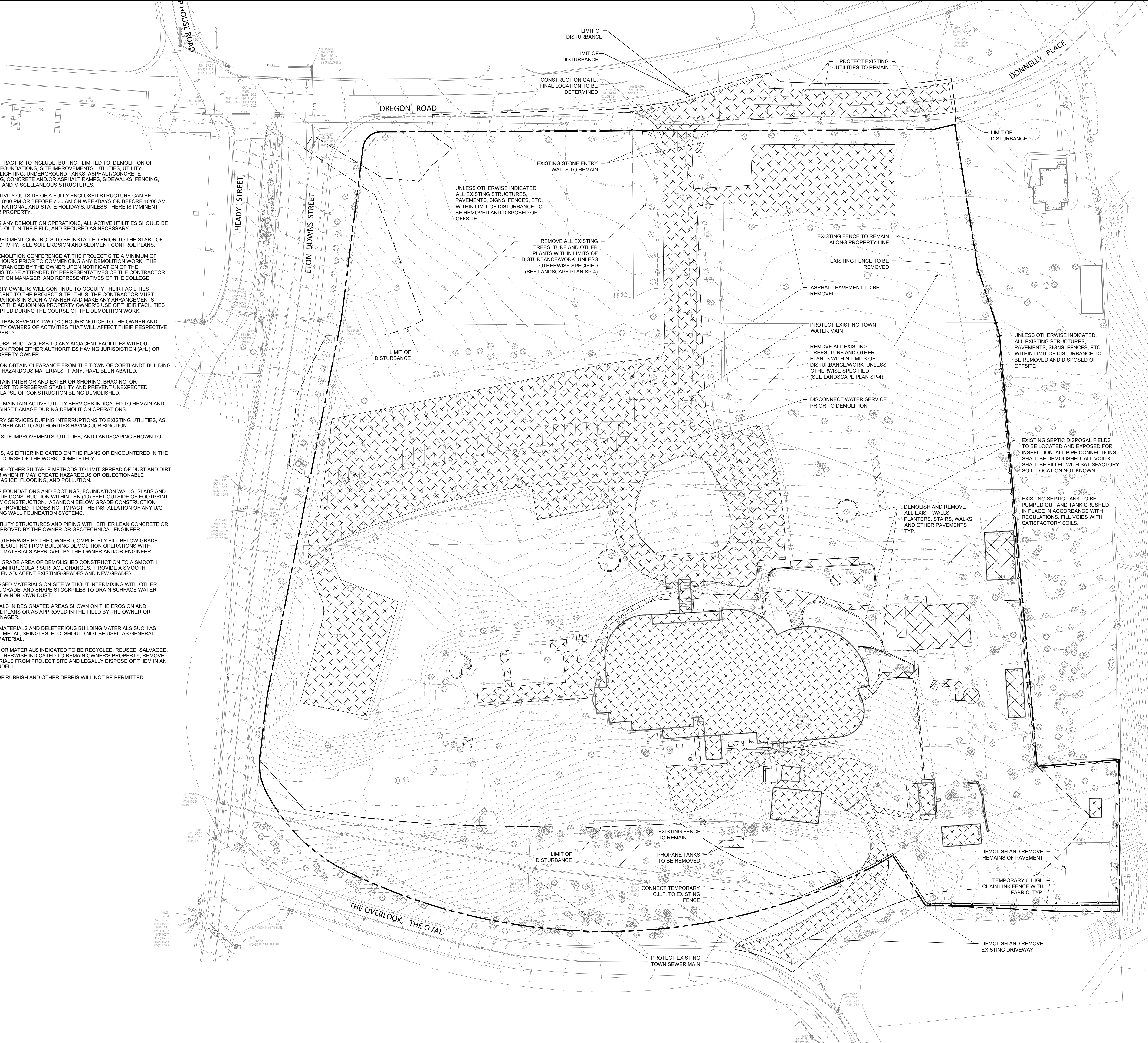
DRAWING TITLE:

SITE LIGHTING DETAILS

	DRAWN BY:	RCC/DMM	CHECKED BY:	GMS
	PROJECT NO.:	858	DATE:	06/23/21
	DRAWING NO.:			
	SP-6.5			

GENERAL NOTES:

1. WORK OF THIS CONTRACT IS TO INCLUDE, BUT NOT LIMITED TO, DEMOLITION OF EXISTING BUILDING FOUNDATIONS, SITE IMPROVEMENTS, UTILITIES, UTILITY STRUCTURES, SITE LIGHTING, UNDERGROUND TANKS, ASPHALT/CONCRETE PAVEMENT, CURBS, CONCRETE AND/OR ASPHALT RAMP, SIDEWALKS, FENCING, RAILINGS, SIGNAGE, AND MISCELLANEOUS STRUCTURES.
2. NO DEMOLITION ACTIVITY OUTSIDE OF A FULLY ENCLOSED STRUCTURE CAN BE PERFORMED AFTER 8:00 PM OR BEFORE 7:30 AM ON WEEKDAYS OR BEFORE 10:00 AM ON WEEKENDS AND NATIONAL AND STATE HOLIDAYS, UNLESS THERE IS IMMINENT DANGER TO LIFE OR PROPERTY.
3. PRIOR TO STARTING ANY DEMOLITION OPERATIONS, ALL ACTIVE UTILITIES SHOULD BE IDENTIFIED, MARKED OUT IN THE FIELD, AND SECURED AS NECESSARY.
4. ALL EROSION AND SEDIMENT CONTROLS TO BE INSTALLED PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. SEE SOIL EROSION AND SEDIMENT CONTROL PLANS.
5. CONDUCT A PRE-DEMOLITION CONFERENCE AT THE PROJECT SITE A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING ANY DEMOLITION WORK. THE MEETING WILL BE ARRANGED BY THE OWNER UPON NOTIFICATION OF THE CONTRACTOR AND IS TO BE ATTENDED BY REPRESENTATIVES OF THE CONTRACTOR, OWNER, CONSTRUCTION MANAGER, AND REPRESENTATIVES OF THE COLLEGE.
6. ADJOINING PROPERTY OWNERS WILL CONTINUE TO OCCUPY THEIR FACILITIES IMMEDIATELY ADJACENT TO THE PROJECT SITE. THUS, THE CONTRACTOR MUST CONDUCT HIS OPERATIONS IN SUCH A MANNER AND MAKE ANY ARRANGEMENTS NECESSARY SO THAT THE ADJOINING PROPERTY OWNER'S USE OF THEIR FACILITIES WILL NOT BE DISRUPTED DURING THE COURSE OF THE DEMOLITION WORK.
7. PROVIDE NOT LESS THAN SEVENTY-TWO (72) HOURS' NOTICE TO THE OWNER AND ADJACENT PROPERTY OWNERS OF ACTIVITIES THAT WILL AFFECT THEIR RESPECTIVE USE OF THEIR PROPERTY.
8. DO NOT CLOSE OR OBSTRUCT ACCESS TO ANY ADJACENT FACILITIES WITHOUT WRITTEN PERMISSION FROM EITHER AUTHORITIES HAVING JURISDICTION (AHJ) OR THE AFFECTED PROPERTY OWNER.
9. PRIOR TO DEMOLITION OBTAIN CLEARANCE FROM THE TOWN OF CORTLANDT BUILDING DEPARTMENT THAT HAZARDOUS MATERIALS, IF ANY, HAVE BEEN ABATED.
10. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
11. EXISTING UTILITIES: MAINTAIN ACTIVE UTILITY SERVICES INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
12. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO AUTHORITIES HAVING JURISDICTION.
13. PROTECT EXISTING SITE IMPROVEMENTS, UTILITIES, AND LANDSCAPING SHOWN TO REMAIN.
14. DEMOLISH ALL ITEMS, AS EITHER INDICATED ON THE PLANS OR ENCOUNTERED IN THE FIELD DURING THE COURSE OF THE WORK, COMPLETELY.
15. USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT SPREAD OF DUST AND DIRT. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION.
16. DEMOLISH EXISTING FOUNDATIONS AND FOOTINGS, FOUNDATION WALLS, SLABS AND OTHER BELOW-GRADE CONSTRUCTION WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON BELOW-GRADE CONSTRUCTION OUTSIDE THIS AREA PROVIDED IT DOES NOT IMPACT THE INSTALLATION OF ANY UG UTILITY OR RETAINING WALL FOUNDATION SYSTEMS.
17. FILL ABANDONED UTILITY STRUCTURES AND PIPING WITH EITHER LEAN CONCRETE OR SOIL MATERIALS APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
18. UNLESS DIRECTED OTHERWISE BY THE OWNER, COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM BUILDING DEMOLITION OPERATIONS WITH SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER AND/OR ENGINEER.
19. UNIFORMLY ROUGH GRADE AREA OF DEMOLISHED CONSTRUCTION TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
20. STOCKPILE PROCESSED MATERIALS ON-SITE WITHOUT INTERMIXING WITH OTHER MATERIALS. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
21. STOCKPILE MATERIALS IN DESIGNATED AREAS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS OR AS APPROVED IN THE FIELD BY THE OWNER OR CONSTRUCTION MANAGER.
22. OTHER ASPHALTIC MATERIALS AND DELETERIOUS BUILDING MATERIALS SUCH AS WOOD, INSULATION, METAL, SHINGLES, ETC. SHOULD NOT BE USED AS GENERAL STRUCTURAL FILL MATERIAL.
23. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.
24. ON-SITE BURNING OF RUBBISH AND OTHER DEBRIS WILL NOT BE PERMITTED.



OVERLOOK TERRACE

119 Oregon Road
Town of Cortlandt, NY

OWNER / APPLICANT
ST KATHERINE GROUP
181 Westchester Avenue, Suite 301A
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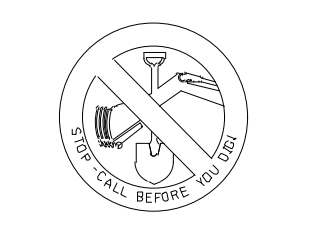
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Tel.: (914) 682-7800

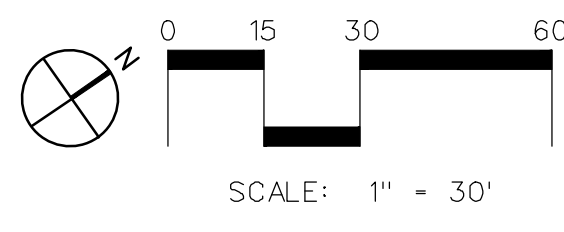
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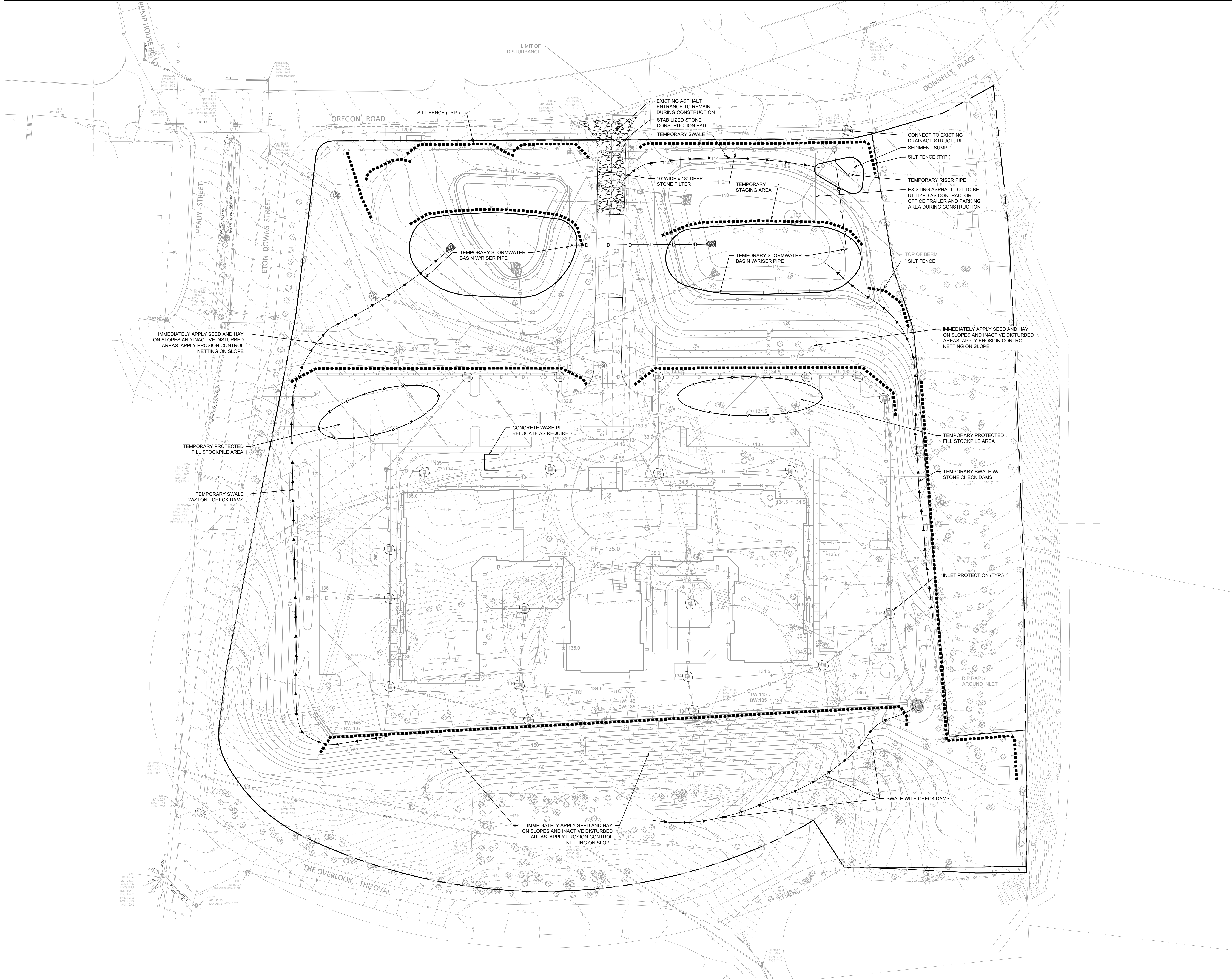
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NO.	DATE	ISSUE
06/23/21		PLANNING BOARD SUBMISSION

SITE DEMOLITION PLAN

DRAWING TITLE: **SITE DEMOLITION PLAN**

DRAWN BY: HV CHECKED BY: GMS
PROJECT NO.: 858 DATE: 06/23/21
DRAWING NO.: **SP-7**



OVERLOOK TERRACE

119 Oregon Road
Town of Cortland, NY

OWNER / APPLICANT

ST KATHERINE GROUP
181 Westchester Avenue, Suite 301A
Port Chester, NY 10573

THE NRP GROUP LLC
1600 District Avenue, Suite 315
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PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT

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ATTORNEY

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ARCHITECT

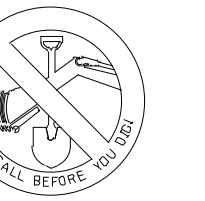
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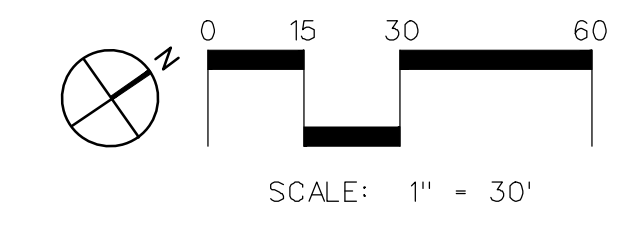
PROVIDENT DESIGN ENGINEER, PLLC
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2865 US Route 1
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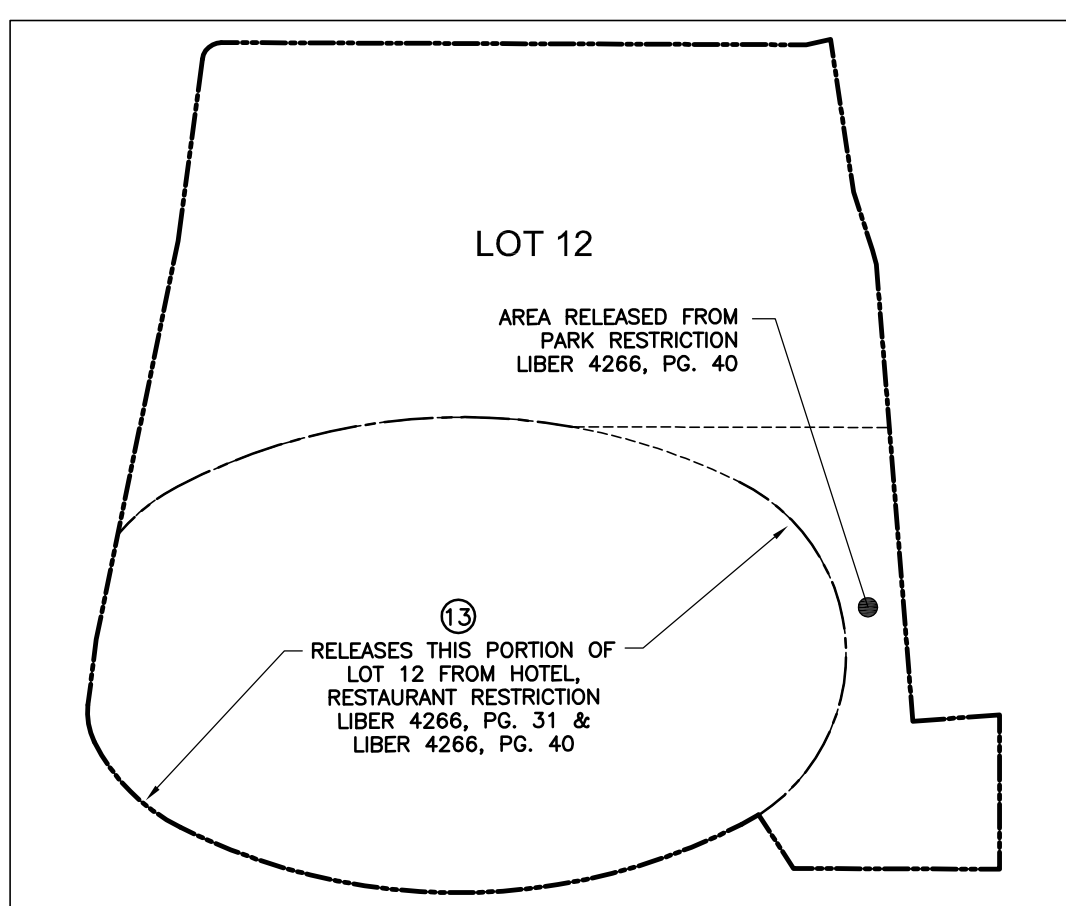
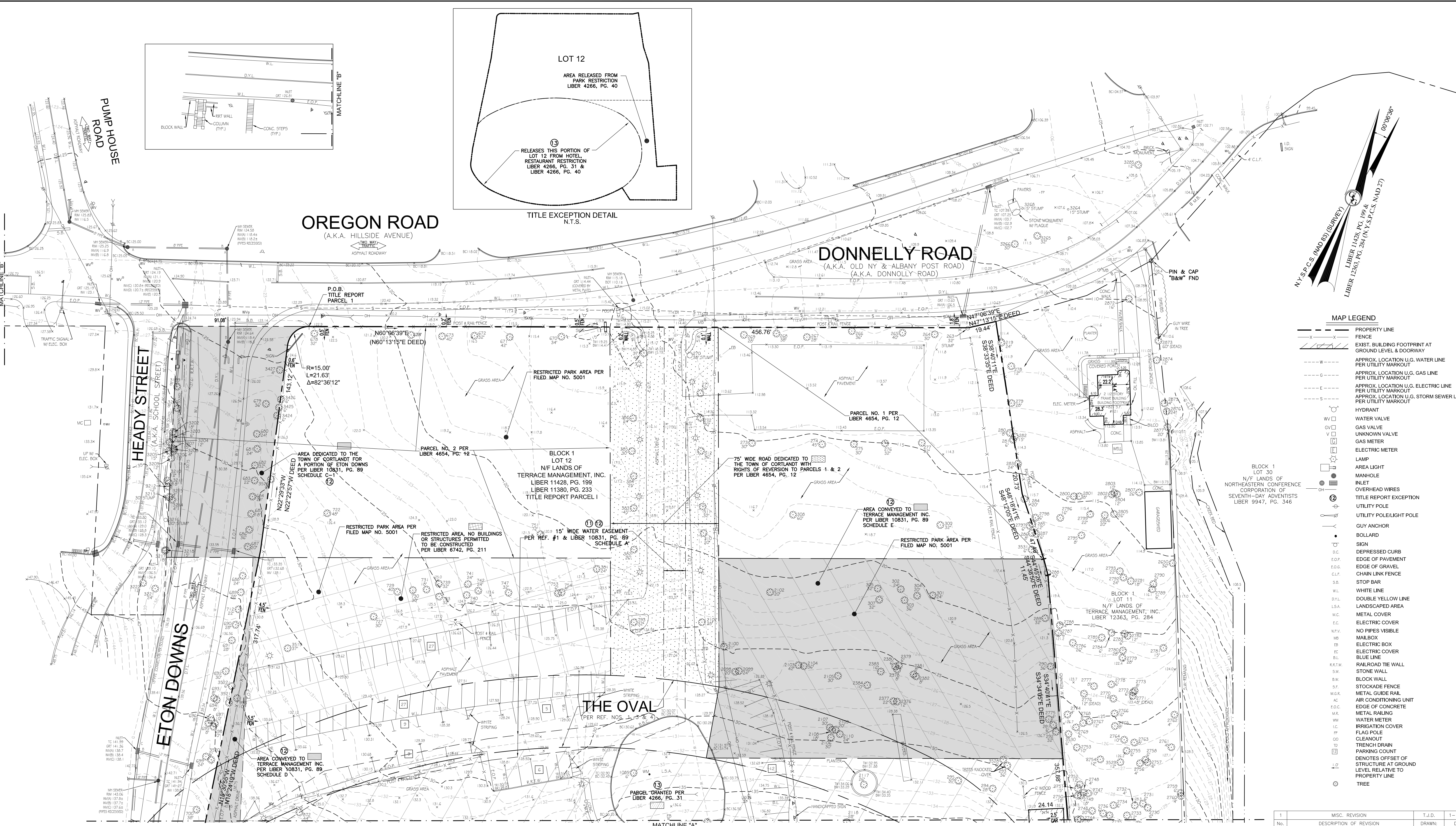
EROSION AND SEDIMENT CONTROL PLAN

STATE OF NEW YORK PROFESSIONAL ENGINEER

PROJECT NO. 858 DATE: 06/23/21

DRAWING NO. SP-8.1

DRAWN BY: RCC/DMM CHECKED BY: GMS



MAP LEGEND

---	PROPERTY LINE
---	FENCE
---	EXIST. BUILDING FOOTPRINT AT GROUND LEVEL & DOORWAY
---	APPROX. LOCATION U.G. WATER LINE PER UTILITY MARKOUT
---	APPROX. LOCATION U.G. GAS LINE PER UTILITY MARKOUT
---	APPROX. LOCATION U.G. ELECTRIC LINE PER UTILITY MARKOUT
---	APPROX. LOCATION U.G. STORM SEWER LINE PER UTILITY MARKOUT
○	HYDRANT
○	WATER VALVE
○	GAS VALVE
○	UNKNOWN VALVE
○	GAS METER
○	ELECTRIC METER
○	LAMP
○	AREA LIGHT
○	MANHOLE
○	INLET
○	OVERHEAD WIRES
○	TITLE REPORT EXCEPTION
○	UTILITY POLE
○	UTILITY POLE/LIGHT POLE
○	GLY ANCHOR
○	BOLLARD
○	SIGN
○	DEPRESSED CURB
○	EDGE OF PAVEMENT
○	EDGE OF GRAVEL
○	CHAIN LINK FENCE
○	STOP BAR
○	WHITE LINE
○	DOUBLE YELLOW LINE
○	LANDSCAPED AREA
○	METAL COVER
○	ELECTRIC COVER
○	NO PIPES VISIBLE
○	MAILBOX
○	ELECTRIC BOX
○	ELECTRIC COVER
○	BLUE LINE
○	RAILROAD TIE WALL
○	STONE WALL
○	BLOCK WALL
○	STOCKADE FENCE
○	METAL GUIDE RAIL
○	AIR CONDITIONING UNIT
○	EDGE OF CONCRETE
○	METAL RAILING
○	WATER METER
○	IRRIGATION COVER
○	FLAG POLE
○	CLEANOUT
○	TRENCH DRAIN
○	PARKING COUNT
○	DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
○	TREE

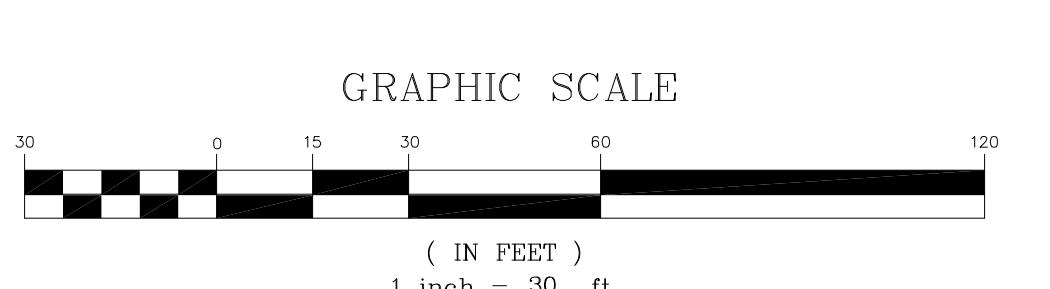
UTILITIES:
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UTILITY COMPANY	PHONE NUMBER
ALICE USA	800-262-8600
VERIZON VALHALLA HUDSON VALLEY	855-226-9564
VERIZON VALHALLA WESTCHESTER	855-226-9564
CONSOLIDATED EDISON COMPANY OF NY	718-472-2304
TOWN OF CORTLANDT	914-733-0076
WESTCHESTER COUNTY SEWER	914-813-5419

NOT ALL UTILITY COMPANIES RESPONDED TO THE MARKOUT REQUEST

NEW YORK STATE SURVEYOR'S SEAL

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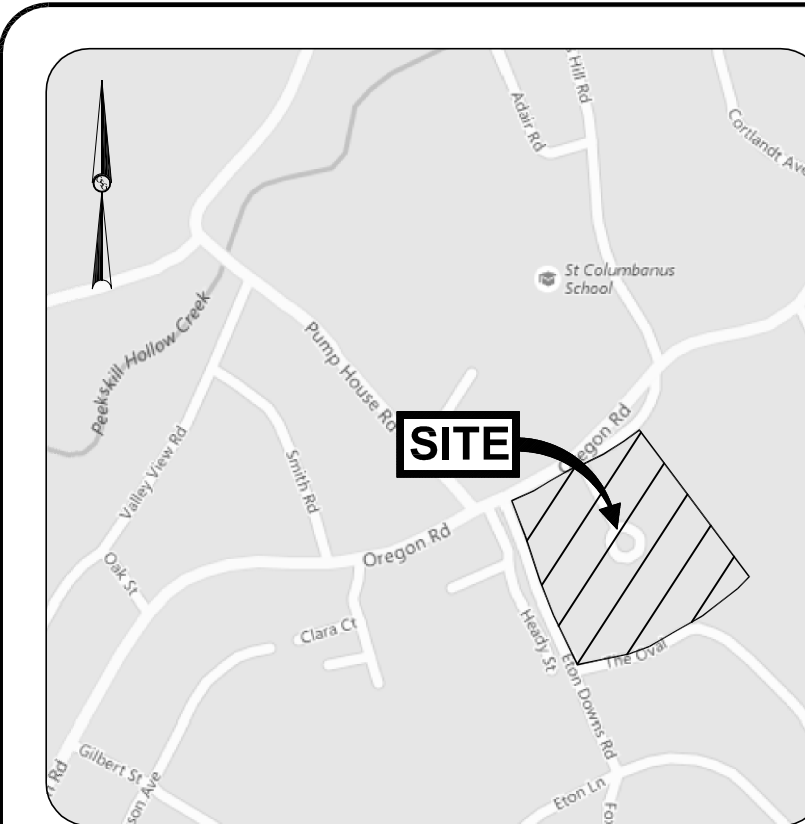
SEE SHEET 2 OF 2 FOR NOTES, REFERENCES & SCHEDULE A DESCRIPTION

ALTA/NSPS LAND TITLE SURVEY			
LOT 12, BLOCK 1, MAP 23.11			
119 OREGON ROAD TOWN OF CORTLANDT WESTCHESTER COUNTY STATE OF NEW YORK			
DATE: 12-23-2020		SCALE: 1"=30'	
DRAWN: R.M.C./T.J.D.		CHECKED: J.R.T./G.S.G.	
<p>GALLAS SURVEYING GROUP</p> <p>2865 US ROUTE 1 NORTH BRUNSWICK, NJ 08902 TEL: 732-422-6700 FAX: 732-464-8796 www.gallasurvey.com</p>			
<p>GREGORY S. GALLAS NEW YORK PROFESSIONAL LAND SURVEYOR #50124</p>			

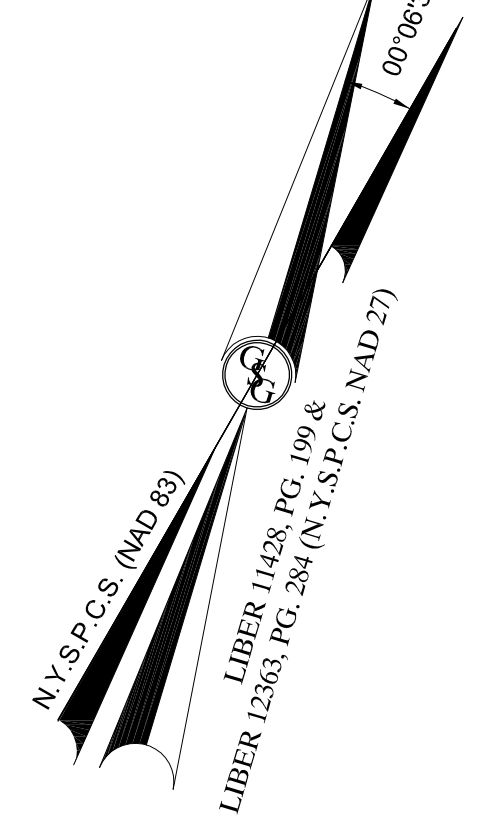
MISC. REVISION		T.J.D.	1-12-21
No.	DESCRIPTION OF REVISION	DATE	DATE
1			

FIELD DATE	FIELD BOOK	PAGE	FIELD CROW
04-04 - 04-20-18	91	70-72	B.F./L.R.
02-17 - 02-20-20	184	24	M.S./K.C.
11-23-20	147	48	K.C.

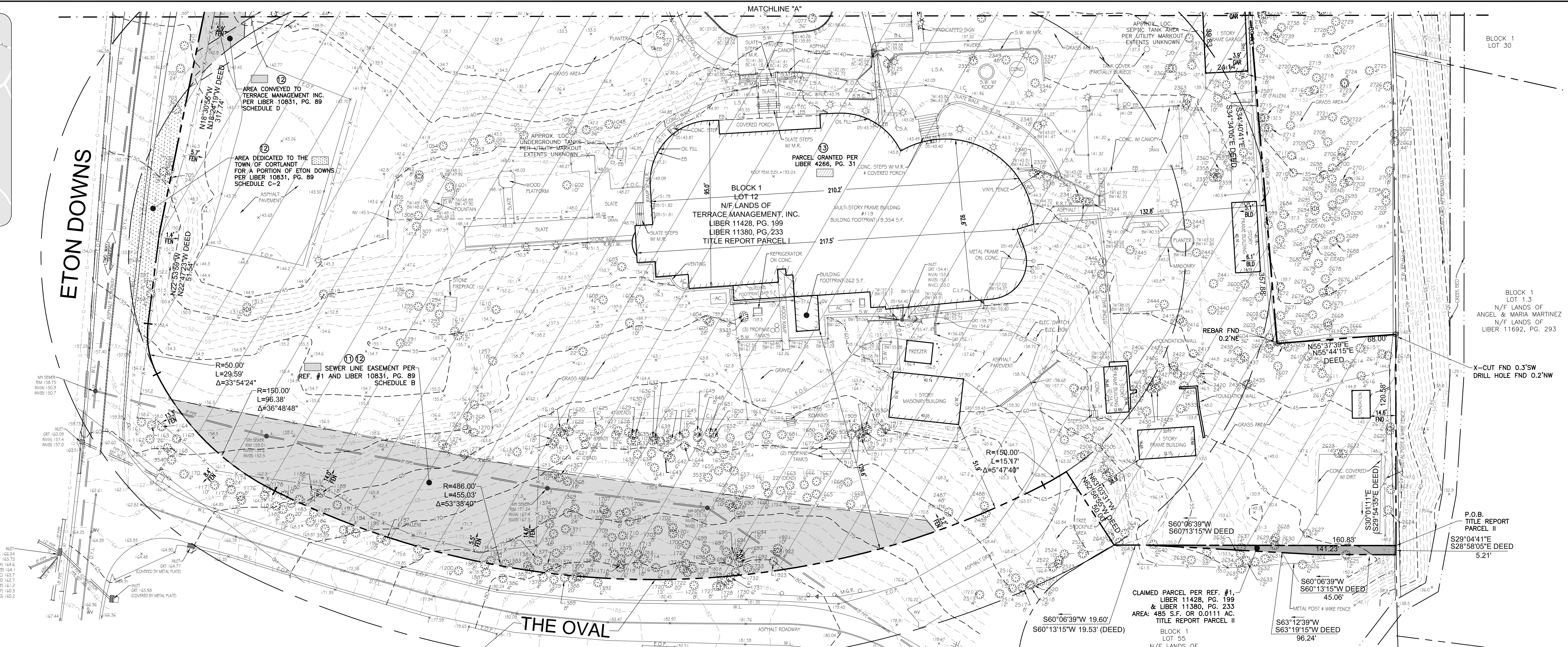
FILE NO.: G18087	DRAWING NAME/SHEET NO.: G18087A.01.DWG 1 OF 2
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VICINITY MAP



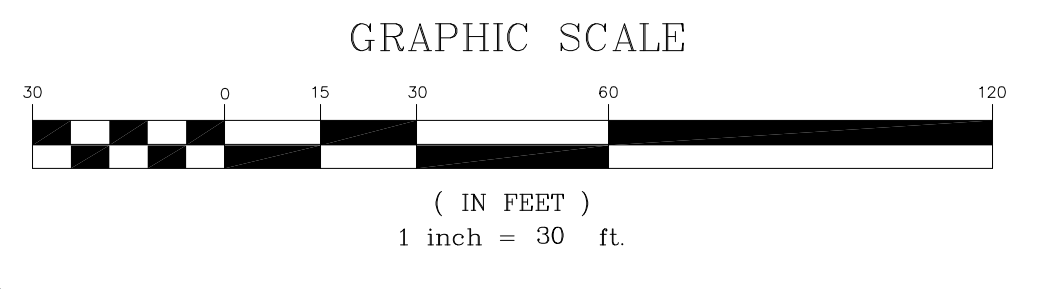
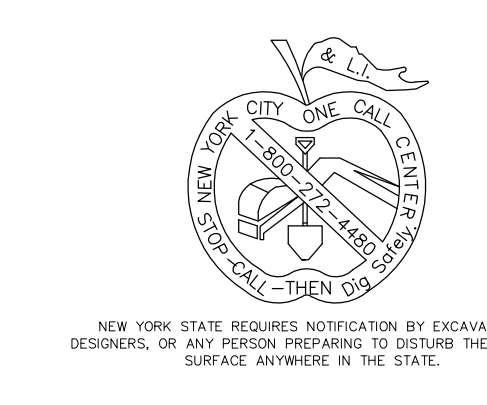
- REFERENCES:
1. SURVEY OF PROPERTY PREPARED FOR TERRACE MANAGEMENT, INC. SITUATE IN THE TOWN OF CORTLAND, COUNTY OF WESTCHESTER, NEW YORK, PREPARED BY ANDERSON & WATSON SURVEYING & ENGINEERING, P.C., DATED SEPTEMBER 16, 1991, FILED IN THE OFFICE OF THE COUNTY CLERK OF WESTCHESTER ON MARCH 27, 1996, AS MAP NO. 29661.
 2. MAP OF LAND BELONGING TO ANTONIO GILBERT ESTATE NEAR PEESKILL, WEST CO., N.Y., SURVEYED ON OCTOBER 28, 1906, FILED IN THE OFFICE OF THE REGISTER OF WEST CO. ON APRIL 27, 1907 AS MAP NO. 1776.
 3. SUBDIVISION OF WATERBURY MANOR, VANDERKILDEVILLE, TOWN OF CORTLAND, WEST CO., N.Y. DATED JULY 10, 1938, RECORDED IN WESTCHESTER COUNTY ON JULY 12, 1965 AS MAP NO. 5001.
 4. MAP OF PORTION OF WATERBURY MANOR SITUATE IN TOWN OF CORTLAND, WEST CO., N.Y., DATED JULY 15, 1946, FILED IN THE OFFICE OF THE REGISTER OF WEST CO. ON APRIL 15, 1948 AS MAP NO. 5614.
 5. MAP OF PORTIONS OF WATERBURY PARKWAY & THE OVAL TO BE DEDICATED TO THE TOWN OF CORTLAND AS TOWN HIGHWAYS SITUATE IN TOWN OF CORTLAND, WESTCHESTER COUNTY, N.Y., PREPARED BY J. MURPHY BISH, DATED OCTOBER 6, 1951, FILED IN THE OFFICE OF THE COUNTY CLERK OF WESTCHESTER ON APRIL 18, 1952 AS MAP NO. 7552.
 6. PLAN & PROFILE FOR WATERBURY MANOR SEWER DISTRICT (PHASE I), PREPARED BY TOWN OF CORTLAND STREET CORTLAND MANOR, N.Y. 10568, DATED OCTOBER 16, 1981, LAST REVISED OCTOBER 28, 1993, SHEET NOS. 1 & 2 OF 10.
 7. SUBSURFACE UTILITY LOCATIONS FOR 119 OREGON RD. CORTLAND, NY 10907, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED MARCH 30, 2018.
 8. SUBSURFACE UTILITY SURVEY FOR HAYTHORNE DEVELOPMENT, THE MANOR AT COZUMAL TERRACE, 119 OREGON ROAD, CITY OF PEESKILL, CORTLAND COUNTY, STATE OF NEW YORK, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED APRIL 4, 2018.
 9. ALTA/NSPS TITLE SURVEY, LOT 1 & 2 (BLOCK 1), MAP 23.11, 119 & 121 OREGON ROAD, TOWN OF CORTLAND, WESTCHESTER COUNTY, STATE OF NEW YORK, SHEET NOS. 1 & 2, PREPARED BY GALLAS SURVEYING GROUP, DATED APRIL 23, 2018.



UTILITIES:
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UTILITY COMPANY	PHONE NUMBER
ALTEC USA	800-362-9600
VERIZON VALHALLA HUDSON VALLEY	855-226-9564
VERIZON VALHALLA WESTCHESTER	855-226-9564
CONSOLIDATED EDISON COMPANY OF NY	718-172-2204
TOWN OF CORTLAND	914-737-0075
WESTCHESTER COUNTY SEWER	914-813-5419

NOT ALL UTILITY COMPANIES RESPONDED TO THE MARKOUT REQUEST



- NOTES:
1. PROPERTY KNOWN AND DESIGNATED AS LOT 12, IN BLOCK 1 ON THE OFFICIAL TAX MAP FOR THE TOWN OF CORTLAND, WESTCHESTER COUNTY, NEW YORK.
 2. AREA: LOT 12 (TITLE REPORT PARCEL I) = 380.102 S.F. OR 8.7259 AC. AREA: TITLE REPORT PARCEL II = 485.5 F. OR 11.11 AC. TOTAL: 380.87 S.F. OR 8.7378 AC.
 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARKOUTS, ABOVE GROUND UTILITIES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBESTOS PLANS AND FIELD MARKOUT DOES NOT INCLUDE MARKOUT OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VIEWED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
 4. THIS SURVEY WAS PREPARED WITH BENEFIT OF A COMMITMENT FOR TITLE INSURANCE PREPARED BY BENCHMARK TITLE AGENCY, L.L.C., AS AGENTS FOR STEWART TITLE INSURANCE COMPANY. TITLE NO. 87A7957, HAVING AN EFFECTIVE DATE OF OCTOBER 18, 2020, FOR TAX MAP 23.11, BLOCK 1, LOT 12, WHERE THE FOLLOWING SURVEY RELATED ITEMS APPEAR IN SCHEDULE A:
 - (1) NOTES AND EASEMENTS ON FILED MAP NO. 29661. [PLOTTABLE, ITEMS SHOWN]
 - (2) AGREEMENT AND EASEMENTS IN LIBER 10831 PG. 89, DESCRIBES RESPONSIBILITIES FOR THE TOWN OF CORTLAND AND TERRACE MANAGEMENT, INC. FOR VARIOUS ITEMS AND GRANTS EASEMENTS, RIGHT OF WAY AND LAND, RESPONSIBILITIES, NOT PLOTTABLE, SCHEDULES A & C, SHOWN.
 - (3) COVENANTS AND RESTRICTIONS IN LIBER 4266 PG. 31 (8A) [OTHER LANDS OF THE GRANTOR RESTRICTED FROM THE USE, SALE, OR RENTAL OF THOSE LAND FOR A HOTEL OR RESTAURANT BUSINESS AS THE PORTION OF LAND GRANTED HEREIN IS TO BE USED FOR A HOTEL AND RESTAURANT BUSINESS, BUT NOT AS A NIGHT CLUB WITH CONDITIONS OF ABATEMENT FROM THAT USE, FORMS A PORTION OF LOT 12, AREA SHOWN, OTHER BENEFITS ARE PROVIDED WHICH ARE BLANKET IN NATURE, NOT SHOWN.]
 5. ELEVATIONS ARE BASED UPON NAVD 83.
 6. BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS IDENTIFIED ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 981100017E, EFFECTIVE DATE OF SEPTEMBER 26, 2007.
 7. THE LOCATION AND EXTENTS OF UNDERGROUND TANKS AND VALVES, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.
 8. ALL ONSITE CURBING IS BELIEVED BLOCK AND ALL ROAD CURBING IS CONCRETE UNLESS OTHERWISE NOTED.
 9. ON SITE UTILITIES WERE MARKED BY CONTROL POINT ASSOCIATES 305 FELLOWSHIP ROAD, SUITE 210, MT LAUREL, NJ 08054 IN MARCH 2018.
 10. THIS SITE CONTAINS 95 STRIPED PARKING SPACES, 3 OF WHICH ARE MARKED FOR HANDICAPPED PARKING.
 11. THERE WAS NO VISUAL EVIDENCE OF WETLANDS ON SITE WHILE CONDUCTING THE FIELD WORK AND NO DATA WAS PROVIDED TO THE SURVEYOR.
 12. THERE WAS NO VISUAL EVIDENCE OF A CEMETERY ON SITE WHILE CONDUCTING THE FIELD WORK.
 13. THERE WAS NO VISUAL EVIDENCE OF RECENT EARTH MOVING ON SITE WHILE CONDUCTING THE FIELD WORK.
 14. THERE WAS NO VISUAL EVIDENCE OF CHANGES IN STREET FRONT OR OF WAY LINES WHILE CONDUCTING THE FIELD WORK.
 15. THE CLOSURE FOR THIS SURVEY DOES NOT EXCEED 1:16,000.
 16. THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS ON OCTOBER 19, 1968, REVISED JULY 16, 1997.

SCHEDULE A DESCRIPTION
PARCEL I
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE TOWN OF CORTLAND, COUNTY OF WESTCHESTER AND STATE OF NEW YORK, BEING DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTHEASTERN LINE OF OREGON ROAD (AKA HILLSIDE AVENUE) WHERE IT MEETS BY THE NORTHERLY END OF A CURVE WITH A RADIUS OF 50.00 FEET CONNECTING THE SAID SOUTHEASTERN LINE OF OREGON ROAD WITH THE NORTHERLY LINE OF ETON DOWNS AS THE SAME WAS ESTABLISHED AS A RESULT OF AN AGREEMENT BETWEEN THE TOWN OF CORTLAND AND TERRACE MANAGEMENT, INC. BEARING A DATE OF FEBRUARY 25, 1994 AND RECORDED IN THE WESTCHESTER COUNTY CLERK'S LIBER 10831 OF DEEDS AT PAGE 89 WHICH POINT OCCUPIES COORDINATE POSITION N 47° 56' 00" E 131.20 S OF THE NEW YORK COORDINATE SYSTEM, EAST ZONE, AND WHICH POINT IS DISTANT NORTH 60 DEGREES 13 MINUTES 15 SECONDS EAST 114.40 FEET AS MEASURED ALONG THE SOUTHERLY LINE OF OREGON ROAD FROM THE POINT FORMERLY KNOWN AS THE SOUTHEASTERN CORNER OF THE SOUTHEASTERN CORNER OF HILLY STREET (AKA HILLSIDE AVENUE), WHICH REFERENCE POINT OCCUPIES COORDINATE POSITION N 47° 56' 00" E 67.553 S OF THE NEW YORK COORDINATE SYSTEM, EAST ZONE;
THENCE FROM SAID POINT OF BEGINNING, NORTHEASTERLY ALONG THE SAID SOUTHEASTERN LINE OF OREGON ROAD NORTH 60 DEGREES 13 MINUTES 15 SECONDS EAST 406.70 FEET AND NORTH 47 DEGREES 13 MINUTES 15 SECONDS EAST 19.44 FEET TO A POINT AT THE LINE OF LANDS FORMERLY OF KRAFT AND NOW OR FORMERLY OF PALMER;
THENCE ALONG THE SAID PALMER LANDS AND MOSTLY ALONG THE CENTER OF A STONE WALL, THE FOLLOWING COURSES:
SOUTH 38 DEGREES 23 MINUTES 39 SECONDS EAST 125.75 FEET;
SOUTH 40 DEGREES 13 MINUTES 09 SECONDS EAST 47.47 FEET;
SOUTH 44 DEGREES 38 MINUTES 50 SECONDS EAST 11.40 FEET;
SOUTH 34 DEGREES 34 MINUTES 19 SECONDS EAST 307.80 FEET; AND
NORTH 30 DEGREES 54 MINUTES 18 SECONDS EAST 88.00 FEET TO A POINT AT THE LINE OF LANDS FORMERLY OF KRAFT AND NOW OR FORMERLY OF GARY;
THENCE FROM SAID POINT OF BEGINNING, NORTHEASTERLY ALONG THE SAID SOUTHEASTERN LINE OF OREGON ROAD NORTH 60 DEGREES 13 MINUTES 15 SECONDS EAST 406.70 FEET AND NORTH 47 DEGREES 13 MINUTES 15 SECONDS EAST 19.44 FEET TO A POINT AT THE LINE OF LANDS FORMERLY OF KRAFT AND NOW OR FORMERLY OF PALMER;
THENCE ALONG THE SAID PALMER LANDS AND MOSTLY ALONG THE CENTER OF A STONE WALL, THE FOLLOWING COURSES:
SOUTH 38 DEGREES 23 MINUTES 39 SECONDS EAST 125.75 FEET;
SOUTH 40 DEGREES 13 MINUTES 09 SECONDS EAST 47.47 FEET;
SOUTH 44 DEGREES 38 MINUTES 50 SECONDS EAST 11.40 FEET;
SOUTH 34 DEGREES 34 MINUTES 19 SECONDS EAST 307.80 FEET; AND
NORTH 30 DEGREES 54 MINUTES 18 SECONDS EAST 88.00 FEET TO A POINT AT THE LINE OF LANDS FORMERLY OF KRAFT AND NOW OR FORMERLY OF GARY;
THENCE WESTERLY ALONG THE NORTHEASTERN AND NORTHERLY LINES OF 'THE OVAL': THE FOLLOWING, FIRST ON A NON TANGENT CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS NORTH 60 DEGREES 58 MINUTES 05 SECONDS EAST 150.00 FEET FOR 15.17 FEET, THEN ON A COMPOUND CURVE TO THE RIGHT, THE CENTRAL ANGLE OF WHICH IS 53 DEGREES 11 MINUTES 15 SECONDS, THE RADIUS OF WHICH IS 53 FEET, TO A POINT ON THE SOUTHEASTERN LINE OF 'THE OVAL' AS SHOWN ON THAT CERTAIN MAP ENTITLED, 'SUBDIVISION OF WATERBURY MANOR', WHICH WAS FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS ON AUGUST 11, 1939 AS MAP NO. 5001;
THENCE NORTHEASTERLY CROSSING 'THE OVAL' NORTH 60 DEGREES 58 MINUTES 05 SECONDS WEST 50.00 FEET TO A POINT ON THE NORTHEASTERN LINE THEREOF;
THENCE WESTERLY ALONG THE NORTHEASTERN AND NORTHERLY LINES OF 'THE OVAL': THE FOLLOWING, FIRST ON A NON TANGENT CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS NORTH 60 DEGREES 58 MINUTES 05 SECONDS EAST 150.00 FEET FOR 15.17 FEET, THEN ON A COMPOUND CURVE TO THE RIGHT, THE CENTRAL ANGLE OF WHICH IS 53 DEGREES 11 MINUTES 15 SECONDS, THE RADIUS OF WHICH IS 53 FEET, TO A POINT ON THE SOUTHEASTERN LINE OF 'THE OVAL' AS SHOWN ON THAT CERTAIN MAP ENTITLED, 'SUBDIVISION OF WATERBURY MANOR', WHICH WAS FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS ON AUGUST 11, 1939 AS MAP NO. 5001;
THENCE WESTERLY ALONG THE NORTHEASTERN AND NORTHERLY LINES OF 'THE OVAL': THE FOLLOWING, FIRST ON A NON TANGENT CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS NORTH 60 DEGREES 58 MINUTES 05 SECONDS EAST 150.00 FEET FOR 15.17 FEET, THEN ON A COMPOUND CURVE TO THE RIGHT, THE CENTRAL ANGLE OF WHICH IS 53 DEGREES 11 MINUTES 15 SECONDS, THE RADIUS OF WHICH IS 53 FEET, TO A POINT ON THE SOUTHEASTERN LINE OF 'THE OVAL' AS SHOWN ON THAT CERTAIN MAP ENTITLED, 'SUBDIVISION OF WATERBURY MANOR', WHICH WAS FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS ON AUGUST 11, 1939 AS MAP NO. 5001;
THENCE WESTERLY ALONG THE NORTHEASTERN AND NORTHERLY LINES OF 'THE OVAL': THE FOLLOWING, FIRST ON A NON TANGENT CURVE TO THE RIGHT, THE CENTER OF WHICH BEARS NORTH 60 DEGREES 58 MINUTES 05 SECONDS EAST 150.00 FEET FOR 15.17 FEET, THEN ON A COMPOUND CURVE TO THE RIGHT, THE CENTRAL ANGLE OF WHICH IS 53 DEGREES 11 MINUTES 15 SECONDS, THE RADIUS OF WHICH IS 53 FEET, TO A POINT ON THE SOUTHEASTERN LINE OF 'THE OVAL' AS SHOWN ON THAT CERTAIN MAP ENTITLED, 'SUBDIVISION OF WATERBURY MANOR', WHICH WAS FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS ON AUGUST 11, 1939 AS MAP NO. 5001;
TOGETHER WITH ANY STRIPS OR GORES ABUTTING OR ADJOINING SAID PREMISES;
BEING THE SAME PREMISES DESCRIBED IN THE FOLLOWING INSTRUMENTS TO TERRACE MANAGEMENT, INC.:
DEED IN LIBER 6138 CPD 91, DATED AUGUST 29, 1981, RECORDED AUGUST 31, 1981;
DEED IN LIBER 6742 CP 211, DATED SEPTEMBER 19, 1987, RECORDED OCTOBER 30, 1987;
AGREEMENT IN LIBER 10831 CP 89 DATED FEBRUARY 25, 1994, RECORDED APRIL 18, 1994.

SCHEDULE A DESCRIPTION
PARCEL II
FOR INFORMATION ONLY NOT FOR INSURANCE PURPOSES: SHOWN AS 'CLAIMED' PARCEL NOW OR FORMERLY KENNETH PORTION OF LAND DESCRIBED IN LIBER 595 PG. 188, PARCEL II B LG AS SHOWN ON FILED MAP NO. 2961 FILED 3/27/1998.
BEGINNING AT THE POINT ON THE SOUTHERLY LINE OF LANDS FORMERLY OF KRAFT AND NOW OR FORMERLY OF GARY, WHICH POINT OCCUPIES COORDINATE POSITION N 47° 56' 00" E 131.20 S OF THE NEW YORK COORDINATE SYSTEM, EAST ZONE, AND WHICH POINT IS ON THE EASTERLY LINE OF LANDS OF TERRACE MANAGEMENT, INC. DESCRIBED ABOVE;
THENCE FROM THE SAID POINT OF BEGINNING ALONG THE SAID GARY LANDS SOUTH 28 DEGREES 56 MINUTES 05 SECONDS EAST 52.21 FEET TO A POINT AT THE LINE OF LANDS FORMERLY OF WATERBURY AND NOW OR FORMERLY OF REED;
THENCE ALONG THE SAID REED LANDS:
SOUTH 60 DEGREES 13 MINUTES 15 SECONDS WEST 46.00 FEET AND
SOUTH 60 DEGREES 13 MINUTES 15 SECONDS WEST 98.42 FEET TO A POINT ON THE SOUTHERLY LINE OF THE PREMISES OF TERRACE MANAGEMENT, INC. DESCRIBED ABOVE;
THENCE ALONG THE SOUTHERLY LINE OF THE PREMISES OF TERRACE MANAGEMENT, INC. DESCRIBED ABOVE NORTH 60 DEGREES 13 MINUTES 15 SECONDS EAST 141.20 FEET TO THE SOUTHERLY LINE OF THE SAID GARY LANDS AND THE POINT OF PLACE OF BEGINNING, CONTAINING 40 SQUARE FEET, MORE OR LESS;
TOGETHER WITH ANY STRIPS OR GORES ABUTTING OR ADJOINING SAID PREMISES.
ALL OF THE FOREGOING PARCELS BEING KNOWN ON THE TAX ROLLS OF THE TOWN OF CORTLAND AS SECTION 23.11, BLOCK 1, LOTS 8, 9, 10 AND 12;
THE SOLE PURPOSE OF THIS DEED IS TO COMBINE ALL OF THE PREMISES DESCRIBED IN PARCEL I INTO ONE DESCRIPTION AND TO CONFIRM GRANTEE'S TITLE TO PARCEL I.

SEE SHEET 1 OF 2 FOR LEGEND

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

NO.	DESCRIPTION OF REVISION	T.J.D.	1-12-21
1	MISC. REVISION		

ALTA/NSPS LAND TITLE SURVEY
LOT 12, BLOCK 1, MAP 23.11
119 OREGON ROAD
TOWN OF CORTLAND
WESTCHESTER COUNTY
STATE OF NEW YORK

DATE	SCALE	DRAWN	CHECKED
12-23-2020	1"=30'	R.M.C./T.J.D.	J.R.T./G.S.G.
FIELD DATE	FIELD BOOK	PAGES	FIELD CREW
04-04 - 04-20-18	91	70-72	B.F./L.R.
02-17 - 02-20-20	184	24	M.S./K.C.
11-23-20	147	48	K.C.

FILE NO:
G18087

DRAWING NAME/SHEET NO:
G18087A.01.DWG 2 OF 2

TO:
NRP GROUP LLC
NRP PROPERTIES, LLC
BENCHMARK TITLE AGENCY, L.L.C.
STEWART TITLE INSURANCE COMPANY

2865 US ROUTE 1
NORTH BRUNSWICK, NJ 08902
TEL: 732-425-6700
FAX: 732-949-8796
www.gallasurvey.com

GREGORY S. GALLAS DATE