



TOWN OF CORTLANDT

ZONING BOARD OF APPEALS

Town Hall, 1 Heady Street
Cortlandt Manor, NY 10567
914-734-1080

Michael Fleming
Chairman

Wai Man Chin
Vice-Chairman

Chris Beloff
Frank Franco
Michelle Piccolo Hill
Benito Martinez
Thomas Walsh

Town Supervisor
Richard H. Becker, MD

Town Board
James F. Creighton
Cristin Jacoby
Robert Mayes
Joyce C. White

TO JOIN THE MEETING REMOTELY USE THE ZOOM LINK BELOW:

<https://us02web.zoom.us/j/85848308649?pwd=RUD0T3VmOG1FS29laU1lZU1t5NHdVQ09>

AGENDA.....ZONING BOARD OF APPEALS
Town Hall – 1 Heady Street
Cortlandt Manor, NY 10567

Work Session – Thursday, August 15, 2024 at 6:30 PM

1. Discuss Agenda for the Regular Meeting

Regular Meeting – Thursday, August 15, 2024 at 7:00 PM *

1. Pledge to the Flag and Roll Call
2. Adoption of the Meeting Minutes for May 16, 2024 and June 20, 2024.

3. NEW BUSINESS

A. Case No. 2024-6 Application of Lewis Roane R.A., for an area variance for detached building height for a proposed accessory structure, a garage, located at 3 Windsor Road.

**Regular meeting to begin at conclusion of the work session*

NEXT REGULAR MEETING THURSDAY, SEPTEMBER 19, 2024

TOWN OF CORTLANDT
PLANNING AND ZONING BOARDS

ZONING BOARD MEETING

Town Hall
1 Heady Street
Cortlandt Manor, NY 10567
May 16, 2024
7:00 p.m. - 7:26 p.m.

May 16, 2024

MEMBERS PRESENT:

Michael Fleming, Chairman

Wai Man Chin, Vice-Chairman

Chris Beloff, Member

Frank Franco, Member

Michelle Piccolo Hill, Member

Benito Martinez, Member

Thomas Walsh, Member

ALSO PRESENT:

Chris Kehoe, AICP, Director of Planning

Michael Cunningham, Deputy Town Attorney

1 May 16, 2024

2 (The board meeting commenced at 7:00 p.m.)

3 MR. MICHAEL FLEMING: Call to order. I'd
4 like to call to order the May 16, 2024 meeting of
5 the Town of Cortlandt's Zoning Board of Appeals.
6 I'd like to start by inviting everyone who wishes
7 to join me in saying the pledge of allegiance.

8 MULTIPLE: I pledge allegiance to the
9 flag of the United States of America and to the
10 Republic for which it stands, one nation under
11 God, indivisible, with liberty and justice for
12 all.

13 MR. FLEMING: All right, let's start
14 with a roll call please.

15 MR. CHRIS KEHOE: Ms. Piccolo Hill?

16 MS. MICHELLE PICCOLO HILL: Here.

17 MR. KEHOE: Mr. Martinez?

18 MR. BENITO MARTINEZ: Here.

19 MR. KEHOE: Mr. Franco?

20 MR. FRANK FRANCO: Here.

21 MR. KEHOE: Mr. Fleming?

22 MR. FLEMING: Here.

23 MR. KEHOE: Mr. Chin?

24 MR. WAI MAN CHIN: Here.

1 May 16, 2024

2 MR. KEHOE: Mr. Walsh?

3 MR. THOMAS WALSH: Here.

4 MR. KEHOE: Mr. Beloff?

5 MR. CHRIS BELOFF: Here.

6 MR. FLEMING: All right, has all the
7 members of the board had an opportunity to review
8 the meeting minutes from the April 18, 2024
9 meeting?

10 MR. FRANCO: Yep.

11 MS. PICCOLO HILL: Yeah.

12 MR. FLEMING: Can I have a motion to
13 Approve?

14 MR. FRANCO: Motion to approve the
15 meeting minutes for April 18th.

16 MR. FLEMING: And a second?

17 MR. MARTINEZ: Seconded.

18 MR. FLEMING: All opposed? All in favor?

19 MULTIPLE: Aye.

20 MR. FLEMING: Alright, minutes are
21 approved. Old business, we'll start with case
22 number 2013-17, which is the application of Parth
23 Patel.

24 MS. PICCOLO HILL: 2023-17.

1 May 16, 2024

2 MR. FLEMING: I'm sorry if I missed
3 that, it's 2023-17. I think Mr. Patel's counsel
4 is here?

5 MR. CLIFFORD DAVIS: Yes.

6 MR. FLEMING: Alright. Do you have
7 anything you want to say to the board before we
8 begin?

9 MR. DAVIS: No.

10 MR. FLEMING: Okay. The only thing left
11 to do on this is, is to hold our vote. We had we
12 had continued over for a month because last month
13 we had several members of the board,
14 unfortunately, who weren't able to be here. When
15 we have a significant member membership of the
16 board not here, we always invite the people
17 present to have the opportunity to wait until the
18 following meeting so the full board could be
19 here. Mr. Patel took us up on that, on that
20 offer, so we held it over. The only thing left to
21 do on this is, is to vote. So this is an -- I'm
22 sorry, Michelle, this is yours?

23 MS. PICCOLO HILL: Yes.

24 MR. FLEMING: Alright, hold on one

1 May 16, 2024

2 second. Alright. We have a proposed decision
3 order and I think you're going to read a summary
4 of it?

5 MS. PICCOLO HILL: I am. So our proposed
6 decision is based off of Section 307-8C of the
7 town of Cortlandt zoning code. And this states
8 that the minimum average lot in an R-40 zone is
9 150 feet. According to the applicant's engineer
10 and confirmed by the town, the average lot width
11 of the four substantiated lots, 10, 11, 25, and
12 26 is 98.78 feet, which doesn't meet the required
13 150 feet. Given this, and based on the
14 application of Section 307-8C, the lots have not
15 been merged. So, I would like to make a motion to
16 declare their lots have not been merged and to
17 overturn the director of code enforcement's
18 determination.

19 MR. MARTINEZ: I do second that motion.

20 MR. FLEMING: All in favor?

21 MULTIPLE: Aye.

22 MR. FLEMING: Any opposition? Alright,
23 so the application is granted. There'll be a
24 decision and order coming forthwith.

1 May 16, 2024

2 MR. DAVIS: Okay, thank you very much.

3 MR. FLEMING: Thank you.

4 MR. KEHOE: Well, wo just for the
5 record, you know, we'll, we'll mail the decision
6 and order, but then it would be up to your client
7 to determine what the next steps are.

8 MR. DAVIS: Got it.

9 MR. KEHOE: Okay.

10 MR. DAVIS: Thank you very much. Thank
11 you.

12 MR. FLEMING: Alright, that's the,
13 that's the remainder of old business. We do have
14 two new cases on the case for today. The first
15 case is 2024-four. Michelle, I think that's your
16 case as well?

17 MS. PICCOLO HILL: Yes.

18 MR. FLEMING: Alright.

19 MS. PICCOLO HILL: So, case number 2024-
20 4, the applicant, John A. Lentini, R.A. on behalf
21 of Edison, Ruilova, sorry if I'm pronouncing that
22 incorrectly. The request is area variances in the
23 front yard for a proposed two-car garage and an
24 existing shed. Is there anyone from the audience

1 May 16, 2024

2 that would like to speak up?

3 MR. JOHN LENTINI: Yes.

4 MR. FLEMING: Welcome, please just state
5 your name and who you are relation.

6 MR. LENTINI: I'm John A. Lentini,
7 architect. I'm representing, excuse me one
8 minute, I just want to silence my phone.

9 MS. PICCOLO HILL: Sure, of course.

10 MR. LENTINI: I just got a call --

11 MS. PICCOLO HILL: Sure, please, of
12 course. Yeah, definitely.

13 MR. LENTINI: Last thing I want to do is
14 get interrupted. Thank you. I'm here, in
15 attendance is, Edison Ruilova, Nestor Tamachi,
16 and Nestor's son, Illias. If there's any purpose
17 for Edison to speak, Nestor is an interpreter,
18 although he speaks very good English, but he
19 still likes an interpreter.

20 I wanted to give you a little background
21 on the job. I was first involved last year.
22 Edison purchased the property in 2023 and it was
23 in kind of disrepair, especially for his taste,
24 so he immediately sought to clean it up and got a

1 May 16, 2024

2 violation for building some small grade walls
3 around the house. So we filed, got an approval,
4 and while I'm trying to finalize that, he starts
5 moving dirt around, gets another violation for
6 moving the dirt around. Now, I don't believe that
7 would be a cause to call this a self-created
8 condition because when the town engineering
9 department went out there, they noticed that
10 there were walls that were built in the back that
11 maybe Edison didn't even do and there were sheds
12 that he didn't put in and there was all kinds of
13 things happening. So they said could you please
14 ask your client what does he want to do over
15 there ultimately?

16 So, after I talked to Edison, he said I
17 would've liked to get a garage in the front of
18 the house. He has four children. He has jet skis,
19 he has bicycles, motorcycles. At least three of
20 them I think are going to be -- are driving and
21 one is going to be driving and he has a car. So
22 he has vehicles. The modern family today has a
23 lot of vehicles, a lot of horses.

24 So the purpose for putting the garage

1 May 16, 2024

2 there is there's not many flat places on the
3 site. The site has constraints. It's R-80 zone
4 requiring 80,000 square feet, but the lot is
5 95,000 square feet. So we've sufficient size and
6 he didn't want these vehicles to be stored close
7 to his house because they're, you know, he might
8 have a hand plow or something. He wants some
9 right where the driveway is.

10 And it works out very well except for
11 the fact that the town doesn't permit it. The
12 reason the town doesn't permit it, I believe, is
13 the zoning codes for setback and front yard
14 accessory buildings is for keeping a uniformity
15 in a neighborhood that you don't see anything
16 sticking out, it's all uniform, there's nice
17 looking houses.

18 Well, they're all very nice looking
19 there. It's a high end neighborhood. But it's not
20 very uniform to begin with. Between these blocks
21 of White Lion Road, Travis Lane and Montrose
22 Station Road, there's like 22 houses and none of
23 them are lined up. They're all over the place,
24 his being probably the highest site of all those.

1 May 16, 2024

2 When you drive by, you can't -- wouldn't see the
3 garage we're proposing to build. But a peek up
4 the driveway would reveal the house, which is
5 still what I believe the town wants to see, not a
6 garage, but a house.

7 So to be creative, I approached, just
8 today, code enforcement. Well, what if we turned
9 our house around, faced Montrose Station Road and
10 now Travis Lane would be a side yard, then the
11 garage will be permitted right where we're
12 proposing it. The problem there is we'd also have
13 to move the driveway over and we'd have to move
14 the mailbox over and there's no good access from
15 Montrose Station Road because of the terrain. So
16 it's out of the question.

17 But my point for bringing this up is
18 that it doesn't look, it's not like it looks so
19 unusual and it would be permitted in another
20 situation. So it's, it's going to be an ordinary
21 looking structure hidden by a fence, trees and
22 the grade.

23 So I don't believe that it, you know,
24 one of the tests of asking for a variance, we're

1 May 16, 2024

2 not asking for anything unusual per se. Back to
3 his hardship, with the grade the way it is, and
4 he still has work to do to satisfy the
5 engineering department, we have now been asked to
6 get a modern topographic survey for two acres.

7 To prepare my plans, I use Westchester
8 County, GIS mapping data, which is old. It
9 doesn't account for erosion. It doesn't account
10 for the work he did. So I, even though I believe
11 my plans are accurate, because I did, I did a
12 drone image and I did my own, I have a laser
13 level, one man can operate it. I took some of
14 these, the grades. All he did to get stopped
15 though, but requiring a permit, is he filled in
16 this crevice, like coming out from one part of
17 these big outcroppings, there was this crevice
18 that just went back up into the lot. So he pushed
19 the dirt over. Very obvious, people driving by
20 saw it, apparently somebody complained.

21 We stopped immediately and I went by
22 there today. I don't, I don't know if anybody on
23 the board went by, but it doesn't look unusual.
24 It doesn't look like there's any, you know, thing

1 May 16, 2024

2 going on there other than what I'm representing.
3 So I believe I've made the points I'm trying to
4 make and I'll entertain any questions the board
5 has.

6 MR. FLEMING: So we, we met on this
7 beforehand and one of the things we, we sometimes
8 ask for, and I'm going to ask for in here is the
9 opportunity for any members of the board who'd
10 like to accompany, and I would like to be there,
11 is actually do a site visit. I'm interested in
12 actually seeing -- and sorry, that's my phone
13 beeping. I, I didn't do what you did and I should
14 have so sorry for that. But, I'd like to actually
15 see some of what you're talking about,
16 specifically the character of the neighborhood
17 and, and, and what this looks like.

18 I did not have an opportunity to drive
19 past, but I also would like to actually enter the
20 property and, and we won't do that without
21 obviously yours and your applicant's permission.

22 MR. LENTINI: Yeah, you have his
23 permission, but I'd be delighted to meet you
24 there if you will let me.

1 May 16, 2024

2 MR. FLEMING: And that's what I'd like
3 to do, if possible. I certainly won't interrupt
4 any of the other board members who have direct
5 questions and I'll let them go in a second. But,
6 but before we take a vote on this, which means we
7 wouldn't take a vote tonight, we'd extend it to
8 the next meeting --

9 MR. LENTINI: I'd ask for an adjournment
10 if I was planning on doing that.

11 MR. FLEMING: But what I'd like to do
12 is, is, is have a site visit. So I'll let anybody
13 else from the board who has any specific
14 questions ask them. Anybody? Good? Okay.

15 MR. WALSH: I don't have any.

16 MR. FLEMING: Alright. So if we have the
17 opportunity for a site visit, and I will tell you
18 normally at site visits, if you could be there,
19 it'd be great because we do often have questions
20 while we're looking. Perhaps we can make, make an
21 appointment, and I hope we could do it now, or if
22 not we could have Mr. Kehoe arrange it with you.

23 MR. KEHOE: No, typically we would try
24 to find a date now.

1 May 16, 2024

2 MR. FLEMING: Okay.

3 MR. KEHOE: That's why I'm, I'm opening
4 my phone back up. And John, you, you recall from
5 your experiences with the planning board that
6 they typically like to have these on the weekend.

7 MR. LENTINI: Sure.

8 MR. KEHOE: The site inspections and I
9 think even though maybe past practice for the
10 zoning board was Saturdays, I think we're going
11 to shoot for Sundays.

12 MR. FLEMING: Whatever people want. I
13 know Michelle indicated Sundays were better for
14 her and I'm happy to make myself available.

15 MS. PICCOLO HILL: My kids have sports
16 both days.

17 MR. CHIN: Usually, we do it the Sunday
18 before, but the Sunday before the next board
19 meeting is Father's Day. So I would say we have
20 to do maybe the week before that even.

21 MR. WALSH: The 9th.

22 MR. FLEMING: So you're talking about
23 the first weekend in June?

24 MR. CHIN: Yeah, the 9th.

1 May 16, 2024

2 MR. FLEMING: Which is -- that's not --

3 MR. FRANCO: The 2nd or the 9th.

4 MR. CHIN: Because the meeting is June
5 20.

6 MR. FLEMING: Okay.

7 MR. CHIN: Okay. And the 16th is
8 Father's Day, which is right before the meeting,
9 alright. So, you don't want to disrupt Father's
10 Day for that.

11 MR. FLEMING: I understand.

12 MR. CHIN: And maybe the 9th.

13 MR. KEHOE: I cannot do the 2nd. I can
14 do the 9th.

15 MR. CHIN: The 9th.

16 MR. KEHOE: Yep.

17 MR. CHIN: Yep. That's what I'm saying.

18 MR. MARTINEZ: The 9th?

19 MR. CHIN: The 9th.

20 MR. FLEMING: Sunday, June 9th.

21 MR. CHIN: June 9th.

22 MR. LENTINI: That wouldn't be, that
23 would be the 8th.

24 MR. FLEMING: I'm sorry?

1 May 16, 2024

2 MR. LENTINI: The 8th.

3 MR. KEHOE: No.

4 MR. LENTINI: What's Father's Day you
5 said was the 16th?

6 MR. FLEMING: Father's Day is Sunday the
7 16th. This is a week --

8 MR. LENTINI: Oh, so 9th, right, sorry.

9 MR. MARTINEZ: Mr. Chairman? Excuse me,
10 I'm sorry. I, I would like to be there and I
11 think I'm going to be coming back, but I'm going
12 to be out of the country, coming back that day.

13 MR. CHIN: Okay. So that's alright.

14 MR. FLEMING: Um --

15 MR. MARTINEZ: If it's okay, yeah.

16 MR. CHIN: Yeah. I mean as long as most
17 of the board members can make it, fine. You know
18 what I mean, that's all.

19 MR. FLEMING: Would you be there, are
20 you not available that entire day or would you be
21 available at a certain time? Do you know?

22 MR. MARTINEZ: No, because I'm going to
23 be heading back that day from --

24 MR. CHIN: No, that's you, so you

1 May 16, 2024

2 wouldn't be there at all.

3 MR. MARTINEZ: I'm not going to be
4 there.

5 MR. FLEMING: Okay. Would you, would you
6 prefer we do it a different day? Do you want --

7 MR. MARTINEZ: That's what I mean.

8 MR. FLEMING: That's fine.

9 MR. MARTINEZ: Because I would love to
10 be there.

11 MR. FLEMING: What about a Saturday?
12 What about when are you leaving for your trip?
13 Are you available, like for example --

14 MR. MARTINEZ: Well, any day after the
15 9th, then I'll be fine, because I'll be here.

16 MR. FLEMING: And what day, what day is
17 the next meeting? It's the 20th?

18 MR. CHIN: The 20th.

19 MR. KEHOE: I, I can't speak for all
20 fathers, but I have no problem being on a site
21 inspection from 9:00 to 9:30 in the morning on
22 Father's Day.

23 MR. LENTINI: Nor, nor do I.

24 MR. FLEMING: I will do that as well.

1 May 16, 2024

2 MR. CHIN: Okay, fine.

3 MR. MARTINEZ: I have no problem with
4 that.

5 MR. FLEMING: I'm happy if that's --

6 MR. CHIN: But is that okay with your
7 client?

8 MR. KEHOE: But --

9 MS. PICCOLO HILL: I mean, we could also
10 look at maybe Saturday instead.

11 MR. KEHOE: I, I apologize, I'm not
12 available that weekend.

13 MR. CHIN: Thank you.

14 MR. FLEMING: Saturday the 15th.

15 MR. MARTINEZ: I wouldn't do it for
16 Mother's Day, but for Father's Day, I'm okay
17 with.

18 MR. LENTINI: Mother's Day, that's
19 sacred.

20 MR. KEHOE: I'm away that weekend.

21 MR. FLEMING: That weekend, okay.
22 Saturday, June 8th. No, sorry, you're not
23 available.

24 MS. PICCOLO HILL: Are you around June

1 May 16, 2024

2 1st?

3 MR. FLEMING: June 1st?

4 MS. PICCOLO HILL: Are you still away?
5 You're probably away.

6 MR. MARTINEZ: That's when I'm heading
7 out.

8 MR. FLEMING: Man, you're killing us.

9 MR. MARTINEZ: I'm sorry.

10 MR. KEHOE: Well, well maybe there's a
11 way Benito could make arrangements --

12 MS. PICCOLO HILL: To go separately.

13 MR. KEHOE: -- to go separately.

14 MR. MARTINEZ: Yeah, no --

15 MR. FLEMING: Would the applicant be --

16 MR. MARTINEZ: -- that would be fine.

17 MR. KEHOE: Based on what we decided at
18 the work session, you can't go separately. You'd
19 have to make arrangements with the applicant.

20 MR. FLEMING: Would you be willing to
21 meet twice essentially? Once with all of us --

22 MR. LENTINI: No problem.

23 MR. FLEMING: -- and then the second
24 time --

1 May 16, 2024

2 MR. LENTINI: I'm very loose.

3 MR. FLEMING: -- with Benito?

4 MR. MARTINEZ: No, no, no.

5 MR. FLEMING: I'm sorry.

6 MR. MARTINEZ: That's fine. Set it up
7 for you guys to be there.

8 MR. KEHOE: Right.

9 MR. MARTINEZ: And I'll just --

10 MR. KEHOE: But if you want to go, get
11 in touch with me, I'll get in touch with John.
12 You can figure out a time to get there.

13 MR. MARTINEZ: I will make that if it's
14 necessary, but I don't think it would be, so.

15 MR. FLEMING: Okay.

16 MR. LENTINI: Well, we'll --

17 MR. MARTINEZ: I, I'll handle it
18 differently.

19 MR. KEHOE: So if, Benito, so are we
20 back to the 8th?

21 MR. CHIN: Stick with the 9th?

22 MR. KEHOE: The 9th?

23 MR. FLEMING: The 9th, Sunday, June 9th?

24 MR. WALSH: Perfect, time?

1 May 16, 2024

2 MR. FLEMING: Is that okay with
3 everybody else?

4 MR. KEHOE: First thing in the morning?
5 9:00 o'clock?

6 MR. FLEMING: 9:00 o'clock that morning?

7 MR. LENTINI: 9:00 o'clock.

8 MR. CHIN: On June 9th.

9 MR. KEHOE: On June 9th.

10 MR. CHIN: Sunday, June 9th.

11 MR. FLEMING: And that's okay with your
12 clients, everything's okay?

13 MR. LENTINI: Excuse me?

14 MR. FLEMING: Your clients can do that,
15 June 9th?

16 MR. LENTINI: Oh yes, absolutely.

17 MR. FLEMING: Okay. Alright. So we'll,
18 we'll, we'll, we'll have that. If anyone else has
19 any other questions, I do also want to invite,
20 although I don't think there's anyone present,
21 any members of the public who have any comments
22 to make on this, I do wish to invite you to do
23 so. And if there is anybody online at the meeting
24 who wishes to make any comments, you're welcome

1 May 16, 2024

2 to.

3 MR. CHIN: Anybody online? No? Okay.

4 MR. FLEMING: Alright. So in light of
5 that, what we'll do is we will adjourn. I need a
6 motion to adjourn.

7 MS. PICCOLO HILL: I make a motion to
8 adjourn.

9 MR. WALSH: Second.

10 MR. FLEMING: Alright. So this matter is
11 adjourned into the next hearing and prior to
12 that, on June 9th at 9:00 a.m., we'll have a site
13 visit where the board members may have more
14 specific questions for you.

15 MR. LENTINI: Sure.

16 MR. FLEMING: If you have anything you
17 want to give to us before that, you're welcome to
18 do that.

19 MR. CHIN: And that's on case 2024-4.

20 MR. KEHOE: And, and John, I'll send out
21 a written invitation.

22 MR. LENTINI: Okay.

23 MR. KEHOE: In the old days I would've
24 mailed it, now I'll email it to everybody. I'll

1 May 16, 2024

2 email it to the zoning board members. And since
3 it constitutes a quorum of the board, I also have
4 to notify the press. That's just Gary Cahill at
5 the Gazette. And then I notify the CAC as well.

6 MR. LENTINI: Okay.

7 MR. KEHOE: So sometimes a member of the
8 CAC, who's an advisor to the zoning board and the
9 planning board might come on the site inspection
10 as well.

11 MR. LENTINI: The more the better.

12 MR. FLEMING: Thank you for being
13 accommodating. We appreciate it.

14 MR. LENTINI: You're welcome. And we
15 will see you on June 9th.

16 MR. CHIN: There better be coffee.

17 MR. FLEMING: Okay. Alright, the next
18 case is 2024-5 and I think this one is yours.

19 MR. CHIN: This is my case on 2024-5,
20 Carly Sheck.

21 MR. FLEMING: Okay.

22 MR. CHIN: Mr. Lentini, would you like
23 to speak again on this?

24 MR. LENTINI: John Lentini, architect on

1 May 16, 2024

2 behalf of Carly Sheck. This is a rather
3 interesting variance and I'm trying to avoid any
4 attempt at humor, but fact is the section of the
5 property maintenance code doesn't permit two
6 people to be in a bedroom under a hundred square
7 feet. It's Section, for the record, New York,
8 404.4.1, every room area, every habitable room,
9 has to have no less than 70 square feet. 4.2 from
10 bedrooms, let's see, from bedrooms, it has to be,
11 or 4.1, same, same section, 50 square feet per
12 person. This house is a little unusual. There's
13 only two houses on Hickory Street, a very tough
14 block to get down. I was talking to one of my
15 clients who's a Mohegan Lake firefighter, so hope
16 you never have to go there, you know. I, I have a
17 moderate sized car and every time I go there it's
18 hard to turn around.

19 The variance we seek is not self-
20 created, she just wants to do this. We applied
21 for a permit and was denied. It is for a front
22 yard setback primarily. There's a shed involved
23 too that I'll talk about separately. But the
24 front yard is not actually adjacent to the street

1 May 16, 2024

2 because the street ends right about where this
3 starts. But the code enforcement examiner
4 determined that you just keep running that line
5 and that's the setback we have to be set back
6 from. There's the other places you could have put
7 it perhaps is on the right side yard, but the
8 septic system stops it. The rear yard, which is a
9 nice little yard, if we put an extension there
10 that would kill the whole yard. And the left was
11 a potential yard except that it isn't the look of
12 the house. The house will start looking very
13 large and she wanted to keep the house looking
14 modest and she works on her planting and stuff
15 around the left side yard. So this is an
16 appropriate place to put it.

17 In the terms of is there any o other way
18 we could do it expanding the existing bedroom?
19 Well, it's bordered by a bathroom, a kitchen and
20 a three bearing walls, four bearing walls. The
21 house, the roofs change right over the bedroom
22 that it would be a structural nightmare to try to
23 move a wall and then we would lose the living
24 room. So this was about the, you know, most

1 May 16, 2024

2 appropriate way to do it.

3 The shed has been there for 15 years.
4 It's four feet from a fence, but it is too close
5 to the lot line. The house beyond that is several
6 hundred feet down a hill. It's in another high-
7 end subdivision. I don't believe the house could
8 even see it. One of the concerns the code
9 enforcement has is that we have a state law about
10 having setback of five feet for fire division,
11 you know, non-combustible. We could add some non-
12 asbestos fireproofing material to satisfy that
13 portion of the code.

14 But otherwise, I had told Martin if this
15 is going to hold everything up, we could also try
16 to move it. Except that right now everything is
17 nicely landscaped and if, if anybody wants to go
18 there too, but it really would be a shame to have
19 to move it. And it's very valuable because
20 there's no storage place in the house. You know,
21 all her gardening equipment is in that little
22 shed.

23 So let's see the other points I have.
24 The value of the house, I mean, there's only two

1 May 16, 2024

2 houses, so it was hard to prepare, but the
3 actual, full market value is only 141,000 for the
4 house. It's hard to believe today because lots
5 are going for that much, even though this lot
6 probably wouldn't, and the only other house that
7 actually also uses another address is valued at
8 172,000. Neither of them are really attractive in
9 terms of what the value would be. And I believe
10 that without improving at least one bedroom in
11 the house, it would, you know, if she ever did
12 plan on selling it, which she doesn't at the
13 moment, it would hurt the potential for selling
14 it.

15 And then the lot itself is a tax lot,
16 but it's too small. It's, it's an R-10
17 neighborhood required to be 10,000 square feet
18 and the lot is only 8,300. Not her fault. I'm an
19 architect 55 years. When I bought my house at
20 Lake Allendale, I didn't realize it was a non-
21 conforming lot. I'm an R-10, it's supposed to be
22 10,000, mine's 9,000. Oh my god, you know, now I
23 can't do anything. You know, fortunately the code
24 enforcement looks at it a little differently.

1 May 16, 2024

2 There's certain things you could do, but if they
3 didn't, you don't relax the yard requirements.
4 You know, I made a case before the board that
5 wasn't successful once before. If you're going to
6 allow an R-40 lot at 20,000 feet to be built, you
7 should use the R-20 setbacks. But they don't. So
8 therein is all the hardships, self-created. And I
9 think that's about all I have.

10 MR. CHIN: Okay. Well actually I drove
11 and saw the house, okay. Got up right to the
12 fence.

13 MR. LENTIN: Yes.

14 MR. CHIN: Opened the gate, of course I
15 knocked on the door, nobody was home. But I
16 looked at the plan and I walked around it a
17 little bit this way, that way I say I'm looking
18 at the site of the flashes. This is the only
19 place you could really put the bedroom. You know,
20 there's no other place to put it. You know, you
21 got a porch on this side, you got this over
22 there. The front deck is on the other side over
23 there. You know, this, you can't put it on the
24 left or right of the front, front, you know, the

1 May 16, 2024

2 front of the house.

3 MR. LENTIN: Yeah.

4 MR. CHIN: It's just impossible to put,
5 you know what I mean? So, it's the only location
6 I could see myself. Alright. And from what I saw,
7 based on what you're putting there and everything
8 else, based on also the five factors that you
9 also put down yourself, I didn't see a problem
10 with your addition going there. And it's a little
11 bit larger than most variances that we do give,
12 but based on the condition of the area,
13 everything is so close to each other over there.
14 I don't have a problem with it.

15 MR. LENTINI: Thank you.

16 MR. CHIN: Anybody else?

17 MR. FLEMING: Any members the board have
18 any comments?

19 MR. WALSH: No. As I, as I went through
20 --

21 MS. PICCOLO HILL: Eighty-eight square
22 feet is not a lot for a bedroom, I have no
23 problems. I have no concerns.

24 MR. LENTINI: Well, so you spend one

1 May 16, 2024

2 third of your life in the bedroom.

3 MS. PICCOLO HILL: Yeah.

4 MR. LENTIN: At least one third.

5 MR. MARTINEZ: Just for the record, I, I
6 had like the fact that you highlighted all five
7 factors, so I do not have a problem with it
8 either.

9 MR. CHIN: And the other thing is I, you
10 know, we got the statement from the three
11 adjoining property owners and they had no problem
12 with the addition that you're putting on.

13 MR. FLEMING: Mr. Walsh?

14 MR. WALSH: Yeah. As I agree with Mr.
15 Chin, you know, it doesn't have an undesirable
16 change in the neighborhood, feasible for
17 somewhere else, you know, you have the septic
18 tank, your leach fields. This is really the best
19 spot for it. Is a substantial, yes, it is
20 substantial, but that is not one of the -- it is
21 one of the factors, but we don't have to meet all
22 five factors, so.

23 MR. LENTINI: And the shed.

24 MR. WALSH: Adverse impact of the

1 May 16, 2024

2 neighborhood, I don't think so. I think it's
3 going to fit nicely in the neighborhood. And is
4 it self-created? Yes. Pretty much every zoning
5 case is self-created at some point. So it's, and
6 again, we don't have to meet all five factors, so
7 --

8 MR. LENTIN: Understood.

9 MR. WALSH: -- I am in support of this.

10 MR. FLEMING: Any other?

11 MR. BELOFF: I agree with Tom. I'm, I'm
12 supportive.

13 MR. FLEMING: Again, this is actually I
14 think the largest area variance that I've, you
15 know, percentage wise, that I've actually been in
16 favor of. But you know, in light of the, the
17 obstacles you've identified with the site, I, I
18 do think this is, that this is the best way to
19 accomplish it. So, I also I, I would approve
20 this. I think it's a, a very good presentation as
21 well, so thank you.

22 MR. FRANCO: Yeah. For the same reasons
23 already discussed, I, I agree as well.

24 MR. FLEMING: Alright, so I think we

1 May 16, 2024

2 need a motion.

3 MR. CHIN: Okay. Well, for -- anybody in
4 the audience who want to speak about this?

5 MR. LENTINI: One --

6 MR. FLEMING: Oh, sorry.

7 MR. LENTINI: Does that include your
8 opinion of the shed being there?

9 MR. FLEMING: Well, the shed, the shed
10 before us?

11 MR. CHIN: Yeah. The existing shed was
12 still by a previous owner. It's not, it's not
13 really on here, on the DNO.

14 MR. FLEMING: I'm sorry, let me --

15 MR. WALSH: On the side here, four feet
16 is --

17 MR. FLEMING: -- let me just read his
18 denial letter.

19 MR. KEHOE: The shed is on there.

20 MR. FLEMING: Hold on one second.

21 MR. CHIN: It says propose addition to
22 side yard for the existing shed. Yeah, it's on
23 there, yeah.

24 MR. CUNNINGHAM: Yeah. What the board

1 May 16, 2024

2 will be voting on is allowing the shed to stay as
3 well.

4 MR. CHIN: Yeah.

5 MR. FLEMING: Alright.

6 MR. CHIN: Allowing --

7 MR. FLEMING: My mistake, I apologize.

8 MR. WALSH: Now, code enforcement
9 would've to -- do they have the dictate?

10 MR. KEHOE: Yeah, to the point of the
11 fire rating, that would be that the DNO's
12 conditioned upon receiving all necessary permits
13 from code enforcement.

14 MR. WALSH: Okay.

15 MR. KEHOE: So if they're going to
16 require fireproofing in the structure --

17 MR. LENTINI: We're, prepared to do
18 that.

19 MR. KEHOE: -- you'd deal with Martin.

20 MR. CHIN: That's between you and the
21 building department.

22 MR. LENTINI: Yes.

23 MR. FLEMING: Agreed. And thank you for
24 identifying that.

1 May 16, 2024

2 MR. CHIN: Anybody on the Zoom or
3 anything? Nope? Nope. Okay. So, I'm going to make
4 a motion on case 2024-5 to close the public
5 hearing.

6 MR. WALSH: Second.

7 MR. FLEMING: All in favor?

8 MULTIPLE: Aye.

9 MR. FLEMING: Public hearing is closed.

10 MR. CHIN: Okay. I'm going to make a
11 motion on case 2024-5 for, for a front yard
12 variance from a proposed 12.79, from 30 feet is a
13 variance of 17.21, it's 57 percent. Also the side
14 yard from four feet is down to 2.4 feet, 2.44
15 feet, a 1.36 feet variance, 34 percent. And that
16 includes the existing shed that was installed by
17 a previous owner that you would have to talk to
18 the building inspector on --

19 MR. LENTINI: Right.

20 MR. CHIN: -- just upgrading it a little
21 bit or whatever you have to do for fireproofing
22 the --

23 MR. LENTINI: Satisfying the state
24 building permit.

1 May 16, 2024

2 MR. CHIN: Okay. Alright. So this is a
3 type II under SQRA, no further compliance is
4 required.

5 MR. WALSH: Second.

6 MR. FLEMING: All in favor?

7 MULTIPLE: Aye.

8 MR. FLEMING: Alright. Congratulations,
9 your application has been approved.

10 MR. LENTINI: Thank you very much.

11 MS. CARLY SHECK: Thank you so much.

12 MR. MARTINEZ: You're welcome.

13 MR. CHIN: Have a nice day.

14 MR. FLEMING: Alright. In light of that,
15 is there any other business? I need a motion to
16 close our hearing.

17 MR. BELOFF: I make a motion to close
18 the public hearing.

19 MR. WALSH: Second.

20 MR. FLEMING: All in favor?

21 MULTIPLE: Aye.

22 MR. FLEMING: Alright. Motion is --
23 hearing is closed. Everyone have a lovely
24 evening.

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24

May 16, 2024

(The public board meeting concluded at
7:26 p.m.)

CERTIFICATE OF ACCURACY

I, Claudia Marques, certify that the foregoing transcript of the board meeting of the Town of Cortlandt on May 16, 2024 was prepared using the required transcription equipment and is a true and accurate record of the proceedings.

Certified By

A handwritten signature in cursive script that reads "Claudia Marques".

Date: June 3, 2024

GENEVAWORLDWIDE, INC
228 Park Ave S - PMB 27669
New York, NY 10003

TOWN OF CORTLANDT
PLANNING AND ZONING BOARDS

ZONING BOARD MEETING

Town Hall
1 Heady Street
Cortlandt Manor, NY 10567

June 20, 2024

7:00 p.m. - 7:47 p.m.

June 20, 2024

MEMBERS PRESENT:

Michael Fleming, Chairman

Wai Man Chin, Vice-Chairman

Chris Beloff, Member

Frank Franco, Member

Michelle Piccolo Hill, Member

Benito Martinez, Member

Thomas Walsh, Member

ALSO PRESENT:

Chris Kehoe, AICP, Director of Planning

1 June 20, 2024

2 (The board meeting commenced at 7:00 p.m.)

3 MR. MICHAEL FLEMING: Today is June 20,
4 2024. I'd like to call to order the town of
5 Courtland Zoning Board of Appeals meeting. We
6 could just start with anyone who wishes to join
7 me in saying the Pledge of Allegiance? Please,
8 please do so.

9 MULTIPLE: I pledge allegiance to the
10 flag of the United States of America and to the
11 Republic for which it stands, one nation under
12 God, indivisible, with liberty and justice for
13 all.

14 MR. FLEMING: Alright, thank you, Mr.
15 Kehoe, can you do a roll call, please?

16 MR. CHRIS KEHOE: Ms. Piccolo Hill?

17 MS. MICHELLE PICCOLO HILL: Here.

18 MR. KEHOE: Mr. Martinez?

19 MR. BENITO MARTINEZ: Here.

20 MR. KEHOE: Mr. Franco?

21 MR. FRANK FRANCO: Here.

22 MR. KEHOE: Mr. Fleming?

23 MR. FLEMING: Here.

24 MR. KEHOE: Mr. Chin?

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24

June 20, 2024

MR. WAI MAN CHIN: Here.

MR. KEHOE: Mr. Walsh?

MR. THOMAS WALSH: Here.

MR. KEHOE: Mr. Beloff?

MR. CHRIS BELOFF: Here.

MR. FLEMING: Has everyone had an opportunity to review the meeting minutes from the May 16, 2024 meeting? And if so, can I get a motion please?

MR. CHIN: Motion.

MR. FRANCO: So moved.

MR. FLEMING: Motion, motion to approve the minutes. Can I get a second?

MR. MARTINEZ: Second.

MR. FLEMING: All in favor?

MULTIPLE: Aye.

MR. FLEMING: Any opposed? Alright, the, the minutes have been approved. Alright, the only case on, I believe Ms. Piccolo Hill is yours, 2024-4.

MS. PICCOLO HILL: Yes, it is John E. Lentini, on behalf of Edison Ruilova for an area variances in the front yard for proposed two car

1 June 20, 2024

2 garage and an existing shed.

3 MR. FLEMING: Alright, we previously had
4 had this case on. We had conducted a site visit
5 last Sunday, I believe it was June 9th. Thank you
6 for, for allowing us to have that site visit.

7 MR. JOHN LENTINI: Sure.

8 MR. FLEMING: We appreciate it.

9 MR. LENTINI: My pleasure.

10 MR. FLEMING: If, if the applicant has
11 anything else they wish to provide to us, and I
12 will note that you did provide two additional
13 documents today, which all the board members have
14 gotten and have, and have had a chance to, to
15 review. But if you want to reference these or if
16 you have anything else you want to put on the
17 record, please do so.

18 MR. LENTINI: Awesome. Good evening.

19 MR. FLEMING: Please state your name,
20 obviously.

21 MR. LENTINI: Mr. Chairman and members
22 of the board and staff, I'm John Lentini,
23 architect for Edison Ruilova, I think I'm
24 pronouncing right, Ruilova. This survey just

1 June 20, 2024

2 produced another issue. There's a shed that I'm
3 told was there since 1940, but on the rear
4 northern part of the property line, say
5 northwestern part of the property line. It's only
6 three feet from the property line. I don't know
7 if there's any prior rights to that, whether we
8 should try to include it in a otherwise difficult
9 request for a variance or just essentially move
10 it, you know, or, or shave it down. But that,
11 that's something new that the survey produced.

12 MR. KEHOE: Did you speak to Martin
13 about that yet?

14 MR. LENTINI: I didn't talk to Martin
15 about this. I talked to him today and I
16 completely forgot. I'll call him tomorrow. But I,
17 I don't know for a fact that this has been there
18 that long, but it looks pretty old and I don't
19 know that there is any prior nonconforming rights
20 for that shed.

21 MR. KEHOE: Is that, is that the shed
22 behind the septic area?

23 MR. LENTINI: Yes.

24 MR. WALSH: Was that the green one?

1 June 20, 2024

2 MR. KEHOE: Right.

3 MR. FLEMING: Was, was that the one that
4 was green or was that the one that was red
5 painted?

6 MR. LENTINI: Do you know what the color
7 is?

8 MR. EDISON RUILOVA: The green, green
9 one, green one.

10 MR. WALSH: The green one, okay.

11 MR. LENTINI: That has a, has a, a
12 generator in front of it and a fuel storage
13 behind it.

14 MS. PICCOLO HILL: It's the one to the
15 right of the gravel that goes back to the one
16 with the garage door?

17 MR. LENTINI: Yes.

18 MS. PICCOLO HILL: Okay.

19 MR. LENTINI: Otherwise, the survey
20 didn't produce any surprises for me. We had only
21 asked him to do the topo for where we were
22 working. The, the other thing that I provided was
23 just an analysis of how many other places this
24 garage could go. And if you strike a line across

1 June 20, 2024

2 the front of the building, it produces an area
3 about one-third of the whole site that you can't
4 build an accessory building in front of. To the
5 right of the house, you have the septic system
6 that we can't drive over or put anything on top
7 of. And the site probably would not be approvable
8 for a modern septic system today. And if I were
9 to file to move it, they would impose all the,
10 the latest laws about septic systems and most
11 houses don't actually meet the current standards
12 for single site sewage treatment systems, SSTs.
13 On the left side and down below, the terrain is
14 very steep. But at the bottom there are flat
15 areas, but if we were to put a garage there,
16 there's no way of communicating with the house,
17 and we wouldn't be allowed to have two driveways
18 so it would defeat our purpose.

19 So the only place that a garage could go
20 is in the backyard, which is the only other flat
21 area on the site, as opposed to in front where we
22 couldn't put it anyway. That's why we're here
23 requesting a variance. And in the back they want
24 to have a backyard, you know, to play soccer. I

1 June 20, 2024

2 asked Adriana does she kick a ball around. His,
3 the owner's daughter's is here today. And she
4 said, oh yeah, we play in the backyard. If we put
5 a garage there, we would have to have a driveway
6 to it. We'd have to have turnarounds. And then we
7 get to the point, why do we need a garage?

8 Well, the garage that's in the building
9 is too small for most modern vehicles. SUVs don't
10 fit. And frankly, people don't put their cars so
11 much in their houses anymore. I'm not sure of
12 that, the fear of gasoline or other things, but
13 the purpose for this garage would be to store
14 other things besides automobiles. And it would be
15 away from the house. It would be closer to the
16 road. And it would potentially, there's been some
17 feedback that it could be used to store
18 materials. Moreover, outside of it, I think would
19 be the concern because if we stored materials
20 inside of it, I don't know how that would bother
21 anybody.

22 But at our site visit, you noticed that
23 there were materials outside and I questioned the
24 owner about it and he told me that some of those

1 June 20, 2024

2 materials actually came with the house, that
3 there was a lot of stuff including the toilets.
4 The only thing he admitted to putting there were
5 the sinks. You know, there was a, a bunch of
6 sinks rolled up on the side of the house, but all
7 the toilets down by the street are slated to be
8 removed when he has an opportunity to remove him,
9 I don't think the sanitation will take them.

10 But getting to his business on his
11 ability to use the yard, he does major work in
12 New York City. He has two jobs, one on West 67th
13 Street, where they gave him a portion of the
14 building to store his vehicles and materials, and
15 another one in Brooklyn where I, I've -- she
16 showed me the pictures that he has these long-
17 term jobs where he's renovating apartments, he's
18 putting in floors, changing, you know,
19 modernizing bathrooms, all housing work, kind of
20 work, sort of. And he really has no purpose for
21 doing that. But not to say that, you know, we
22 could swear we're never going to put any
23 materials out there. I don't know how enforceable
24 that is. I don't want to insult any of the

1 June 20, 2024

2 neighbors, by okay, we'll be good, we'll swear.
3 But he has no intention of doing that. That's my
4 point.

5 And otherwise there are probably other
6 laws, quality of life laws that could be imposed
7 if it did become a nuisance. I don't see putting
8 the garage there itself would create the
9 nuisance. And in terms of what it would look
10 like, as I pointed out, if the building faced the
11 other street, Mount Airy Road, the garage will be
12 permitted there, so it's not like it's so unusual
13 that we would have it.

14 Going to the points of the state law --
15 the town law, we didn't create this yet, we
16 didn't do it. He was just grading off an area as
17 an afterthought, that I believe we can't really -
18 - you put this anywhere else, his hardships are
19 the fact that it's a big corner lot that is 60,
20 more, 70 percent of it is steep slope.

21 And finally, I don't believe that it
22 will look obnoxious or won't be out of character
23 for the neighborhood. So, I think I've touched
24 upon all of them.

1 June 20, 2024

2 MR. FLEMING: Okay. Do you have any
3 questions, I'll start with you.

4 MS. PICCOLO HILL: Okay. You know, I did
5 go to the site. I did have some concerns. Talking
6 about the five factors, I think it could
7 potentially create an undesirable change to the
8 neighborhood. I do think, also having walked
9 around, I do think that there are other options
10 potentially for putting the garage. So, I would
11 want that, or I would recommend looking into that
12 because if there was a vote today, I don't know
13 if I'd be able to vote yes.

14 You know, the adverse impact, adverse
15 effect on the physical environment, there's a lot
16 of fill on a very steep slope. I would question
17 what the fill was because I would want to make
18 sure that the garage wouldn't then tumble down
19 the hill, especially with all the rains that we
20 have.

21 MR. LENTINI: Sure.

22 MS. PICCOLO HILL: And was it self-
23 created? I do actually think it was self-created.
24 Because I do think that there are other places on

1 June 20, 2024

2 site where you could potentially put the garage.
3 You know, having kids myself, I know that play
4 space is very important. But there was a place,
5 and, and again, I'm not a designer, I'm not an
6 architect, but there was a place to the left of
7 the house where a garage could yes, potentially
8 be in that prohibited area, but it would be less
9 impactful on the street, on the neighbors, on the
10 topography. It would be tucked away. It would be
11 closer to the house. So for example, if something
12 like that came to me, I would be more amenable to
13 that than I would where it currently is residing.

14 MR. LENTINI: Still in the front
15 setback, in other words?

16 MRPH Well, I, there was -- I actually
17 thought there was a flat space to the left of the
18 house that you could potentially put it, really
19 close to the house, which sort of made sense to
20 me because you wouldn't have to readjust the
21 driveway. It would be easily accessible and it
22 wouldn't, a lot of these factors wouldn't be, you
23 wouldn't have a problem with a lot of the five
24 factors if you tucked it closer to the house.

1 June 20, 2024

2 MR. LENTINI: I see, I see where you're
3 talking about. Up until recently, that wouldn't
4 have been permitted either, because now we don't
5 have two front yards anymore.

6 MS. PICCOLO HILL: Right.

7 MR. LENTINI: But we're permitted, that
8 would be a permitted ability to put the garage
9 there.

10 MS. PICCOLO HILL: So --

11 MR. FRANCO: Yeah. And, and if it was on
12 the side of the house, you might not need a
13 variance at all.

14 MR. LENTINI: No, you wouldn't. That's
15 what I was saying.

16 MR. KEHOE: Michelle, are you talking,
17 can you see the pointer on the screen?

18 MS. PICCOLO HILL: Yes.

19 MR. KEHOE: That area there.

20 MS. PICCOLO HILL: Over there.

21 MR. CHIN: Yes.

22 MS. PICCOLO HILL: So, and then you'd
23 still have the space, because there was the flat
24 yard to the left hand side, but there was also

1 June 20, 2024

2 the flat yard to the back. So, you know, yes,
3 you're dealing with some slopes, but the slopes
4 there were less than he's dealing with in the
5 current position. So --

6 MR. FLEMING: I'm going to interrupt you
7 for one second. Chris, could you put the second
8 map up, the page two that was sent today? And if
9 you could just, yeah, center it so -- thank you.
10 So, you're looking at then is right where that
11 word brick is, kind of surrounded by yellow right
12 in the middle of that -- right there. I mean that
13 you're talking about that area, Michelle, right?

14 MS. PICCOLO HILL: Um --

15 MR. WALSH: Yeah.

16 MS. PICCOLO HILL: Yes, yes.

17 MR. FLEMING: Okay. I just wanted to
18 make sure I knew what you were saying.

19 MS. PICCOLO HILL: Yeah, so because it
20 was, it was flat, there was new grass, it looked
21 like a tree or two had been taken out of that
22 area.

23 MR. LENTINI: Yeah.

24 MS. PICCOLO HILL: That almost looked

1 June 20, 2024

2 like a perfect spot for a garage.

3 MR. LENTINI: Well, one setback is a
4 hammerhead turnaround that you'd probably only be
5 able to drive in and back out because to be able
6 to back out of the garage and turn in either
7 direction to drive out straight, you'd either hit
8 the house or you'd be going down a steep slope.
9 But it could be filled in there too, but we'll
10 still have another problem with the fill.

11 MS. PICCOLO HILL: Right. Yeah. I mean
12 if he's, if he's willing to look at fill --

13 MR. LENTINI: Yeah.

14 MS. PICCOLO HILL: -- that may be an
15 alternative. I'm just, I mean, my concern right
16 now as it stands, there are too many of the five
17 factors that are impacted for me to overlook.

18 MR. LENTINI: I understand. Well, I
19 suppose we could ask for an adjournment. I think
20 there's people from the public that want --

21 MR. FLEMING: Yeah, we're, we're not
22 done yet.

23 MR. LENTINI: -- to speak.

24 MR. FLEMING: I, I think I'm going to

1 June 20, 2024

2 allow each of the members of the board to respond
3 or ask any questions of the applicant. And then
4 after that I will ask the public if they have any
5 comments.

6 MR. LENTINI: Okay.

7 MR. FLEMING: Certainly, if you feel
8 like there's something you could do to change the
9 way you feel it's going, we would welcome your
10 requests, consider it. And adjournments are
11 freely given if you think you want to play with
12 something. So, but nonetheless, let's each of the
13 board members, if they have any questions, ask
14 them. And then we'll let the public ask questions
15 and then we could move on to that.

16 MR. LENTINI: Yeah.

17 MR. CHIN: Actually Mr. Lentini,
18 actually, I agree with Ms. Piccolo on this, only
19 because a car is not as big as it used to be.
20 They're only about 18 feet, you know what I mean?
21 Not like years ago when it was 21 feet, alright.
22 And I assume that that's what you're going to
23 have is just cars in there, not anything bigger
24 than a car, you know what I mean?

1 June 20, 2024

2 MR. LENTINI: Yes.

3 MR. CHIN: Maybe a van, but that's about
4 it, you know what I mean? And even a van's not
5 that big. So to, to put a garage over there and
6 turn around a little bit over there, I don't see
7 a problem based on the, the, the size of that
8 area where even if it's, it's two foot or four
9 foot grade coming down a little bit, you go
10 backfill a little bit over there and still have
11 no problem. So I think that what Ms. Piccolo
12 recommending may be a better solution.

13 MR. LENTINI: Okay. I have to speak to
14 my client about, you know.

15 MR. FLEMING: Of course, of course.
16 Anyone else on the board have comments,
17 questions?

18 MR. MARTINEZ: Yeah, Mr. Chairman, I
19 totally agree with Michelle and I appreciate if
20 you guys can definitely look into that because
21 that way will make it a lot easier to, to have
22 that approved.

23 MR. FRANCO: Yeah, I, I don't have any
24 additional comments and, you know, compare --

1 June 20, 2024

2 relative to the fill that has already been put
3 into that current proposed spot you probably --
4 it, it would appear that you would need less fill
5 to level the spot that we're proposing. So.

6 MR. FLEMING: I'm going to go through
7 the five factors again, just so we cover all of
8 them. I mean, the first factor is an undesirable
9 neighborhood change or detrimental to nearby
10 properties. Well, I don't think there's any
11 physical detriment to nearby properties, you
12 know, having a large building in, in the front.
13 And again, I do understand that it's strange
14 having a corner lot where you, you know, there,
15 there's, there's different ways of trying to look
16 at where the front is. But there, there's no
17 question the front of the house, you know, is, is
18 the front of the house that faces the current
19 driveway. And you know, there's a reason for
20 that, you know, zoning requirement that you not
21 put out buildings in front of, you know, at your
22 house that they, that they be behind it.

23 UNIDENTIFIED FEMALE: Excuse me. Can you
24 speak up? I can't hear.

1 June 20, 2024

2 MR. FLEMING: Sorry. I'll, I'll pull
3 that closer and no problem, thank you. So, so
4 basically I was going through the five factors
5 and the first one, which is an undesirable
6 neighborhood change. I, I do have concerns about
7 where you're going to put it. It, it's a large
8 building. I mean I can't remember the dimensions
9 off the top of my head, but they were
10 substantial.

11 MR. KEHOE: Yeah, just based on what Wai
12 was saying, I looked and it's 30 by 24.

13 MR. FLEMING: Alright, so you have, you
14 have a 30 by 24 inch (SIC) building. There is a
15 reason the town is elected to have zoning having
16 these outbuildings behind the house or on the
17 side of the house. It, it's, it's a big building
18 to put in the front of the house. So I, I do find
19 that it's an undesirable neighborhood change to,
20 to allow such a large structure to be, to be
21 basically parked in front of the house.

22 Whether the benefit can be achieved by
23 some other feasible means, and five, the self-
24 created factor, to me kind of go hand in hand

1 June 20, 2024

2 here. I was happy I got to see the property
3 because I, I was actually very, very opposed to
4 it when I first saw it. And then when I got to
5 see the property, I, I do think there are other
6 places. I had not considered where Michelle
7 actually did. So I'm glad to hear her talk about
8 that. But I do think there were other locations
9 where you could achieve the, the desire to store,
10 I thought it was snowmobiles and equipment that
11 you were talking about, but if it's cars too, I
12 mean like I don't really care what you do with
13 it. But nonetheless, I do think there were other
14 places. And I think, while I think every zoning
15 request is self-created, this one I'm going to
16 say is more self-created than others. You, you
17 were choosing a spot that, that to me doesn't,
18 doesn't make a lot of sense in my head and it
19 doesn't make a lot of sense to violate the
20 requirement that there not be a large building in
21 front of a house, you know, in, in this case. So
22 I kind of felt both of those weren't really
23 satisfied.

24 It is a substantial building and, and

1 June 20, 2024

2 you know, it's not like it's a, it's not like
3 it's that little shed which is on the side of the
4 road, which is, you know, 10 by 10. I mean, this
5 is a, this is a large building, you know, so
6 putting it in front of the house to, to me, you
7 know, violates that substantiality rule.

8 As for the adverse environmental impacts
9 or effects, I, I, I almost don't feel qualified
10 to, to talk about, you know, that particular, in
11 this case, I do think it's a very steep slope.
12 Our building department would deal with the steep
13 slopes requirements if there was an issue. But,
14 but, but it is a, it is a very steep slope
15 directly behind, you know, that building. I'm,
16 I'm not going to say that's violated just because
17 I haven't seen anything that shows that it is.
18 But, but that was a concern of mine as well. It
19 sat certainly sat in my head when I was there
20 looking down that hill, you know, about the idea
21 of having a, you know, large building parked
22 right up against a, a 35-foot change in elevation
23 from the road to the to where the building's
24 located. It's, it's both substantial and, and it

1 June 20, 2024

2 certainly does look like it's, it's going to
3 impact the neighborhood badly.

4 So, at this point, I, I would be, I
5 would be a no on allowing this to go this request
6 for zoning to go forward. I don't want to speak
7 for the whole board though, because I certainly
8 can't. So, I'll let anybody else on this side who
9 wants to go, I think Wai, you already went, but
10 if you have anything else to add, please do.

11 MR. CHIN: I, I still have one, one
12 little thing about the stuff that's, like you
13 said, the sinks were put there by him, but not
14 the toilet bowls or something like that or
15 whatever down the line. It's still, you're making
16 it look like a contractor's yard when that's
17 there. Okay. That's number one. Alright, and I've
18 been in construction all my life, basically, you
19 know what I mean? And in Manhattan, everywhere
20 else they don't, you don't bring toilet bowls or
21 sinks back to your home, you know what I mean,
22 and leave them there, okay. So that's, that's my
23 concern. We live in a residential neighborhood
24 and we want to keep it that way where we don't

1 June 20, 2024

2 have all kinds of debris, just construction
3 debris. Even trucks are not allowed on your
4 property, you know what I mean? Big trucks, you
5 know what I mean?

6 MR. LENTINI: Yep. I understand. Yes.

7 MR. CHIN: You know, they have to be,
8 they have to be put in the garage, maybe in an
9 offsite or something like that, you know what I
10 mean? You just can't have it sitting in your
11 front yard. So those are things I'm concerned
12 about with what I saw with all the construction
13 debris that was there. It was my biggest concern
14 was of being a contractor's yard and, and he's a
15 contractor and kind of caught me right there.
16 That's the only thing.

17 MR. LENTINI: Well, a part of it is that
18 they were under construction. Every, every
19 construction project is a contractor's yard --

20 MR. CHIN: Yeah. Well, I understand but
21 --

22 MR. LENTINI: -- while it's occurring,

23 MR. CHIN: Not, not, not construction
24 debris from another site.

1 June 20, 2024

2 MR. LENTINI: Yeah.

3 MR. CHIN: Okay. You said that the sinks
4 were from another site, you know, so from where
5 he was working, you know what I mean?

6 MR. LENTINI: Yeah.

7 MR. CHIN: He can't just bring that home
8 and just plop it down there, you know what I
9 mean? Okay. If those toilet bowls were there from
10 before he got there, then get rid of them
11 somehow, you know what I mean? There's, there's
12 places to get rid of. He, as a contractor,
13 supposedly has a couple places where he has
14 construction yards. Maybe you should bring it up
15 there. That's what I'm saying.

16 MR. FLEMING: There are disposal sites.

17 MR. LENTINI: Yeah, I've made that --

18 MR. CHIN: But He also indicated that he
19 has his own one in Verplanck or something like
20 that, or somewhere.

21 MR. LENTINI: Yeah.

22 MR. CHIN: He has some --

23 MR. LENTINI: Well, he moved from
24 Verplanck and had a similar situation.

1 June 20, 2024

2 MR. CHIN: So, yeah, right.

3 MR. LENTINI: But I've made that clear
4 to him. He, he fully understands that, yeah.

5 MR. CHIN: Well, that's that was my
6 biggest concern, more than where the site of the
7 garage is going to be. You know what I mean?

8 MR. LENTINI: Right.

9 MR. CHIN: And the garage is quite
10 large, you know, because a normal garage, okay,
11 it's usually about maybe 20, 22 feet wide by
12 about 24 feet deep. Thirty feet is a very, very
13 long garage, you know what I mean? It's like
14 almost eight feet more than what you really need,
15 you know.

16 MR. LENTINI: 24 by 24 is a pretty
17 standard.

18 MR. CHIN: Yeah, Yeah, 20, actually 22
19 by 24.

20 MR. LENTINI: Yeah.

21 MR. CHIN: You know, is a pretty much
22 standard garage, but you know what I'm saying,
23 you know.

24 MR. LENTINI: Well, graphic standard

1 June 20, 2024

2 says 22 by 22 actually.

3 MR. CHIN: Don't go by graphic
4 standards. Alright. That's all I have to say
5 about it.

6 MR. FLEMING: Tom?

7 MR. CHIN: On other things, that's it.

8 MR. WALSH: You know, I, I agree with my
9 colleagues. I, as I go through the five factors,
10 you know, even when we first got the case, just
11 looking at the topography of the land where it's
12 laid out in the front yard, I, I don't see one
13 factor that I could, you know, say that they
14 would comply with or I'd grant the variance for.
15 It is substantial. It is, you know, the top of
16 the garage is going to be 39 feet from the
17 corner, you know, elevation, from the corner of
18 Montrose, what is it, Montrose Road and, and
19 Travis. I think it can be, you know, if you do
20 find another location outside the front yard,
21 then you won't need a variance, so it takes us
22 out of this equation. It is substantial. No
23 other, you know, house in the neighborhood has
24 any sort of structure in the front yard. So it is

1 June 20, 2024

2 out of character for the property. It is self-
3 created. And I worry about where it is with
4 runoff, you know, onto the road and onto, onto
5 Macho Station Road. I take that road every day to
6 the train and back. I know that there is
7 currently runoff coming off there. In the
8 wintertime, it is icy. The town's there icing it
9 multiple times a day. So I don't -- I would not I
10 would not vote in favor of this proposal as is
11 right now.

12 MR. LENTINI: I heard you mention a
13 dimension 39 feet?

14 MR. WALSH: Yeah.

15 MR. LENTINI: What was 39 feet?

16 MR. FLEMING: The top of the building.

17 MR. WALSH: So if you go the elevation
18 of Montrose Station Road --

19 Mr. LENTINI: Oh, elevation, 39 feet.

20 MR. WALSH: -- and Travis were at 120,
21 the corner of the garage at the foundation would
22 be 145 feet --

23 MR. LENTINI: It's 39 feet high.

24 MR. WALSH: -- 14 feet.

1 June 20, 2024

2 MR. LENTIN: Because we are 50 feet back
3 from the road.

4 MR. WALSH: Yeah. So it is, it's going
5 to be substantial. You could see it. I drive by
6 it twice a day going back from the train station.
7 I look at it. I also see the, the, you know, the
8 fill that's in there. And I've talked to Chris,
9 you know, Mike Preziosi is going to be checking
10 what the fill is. We were walking around, I saw a
11 faucet sticking out of the ground. So you don't
12 know what is actually filled into that backfill.
13 So I think Mike is going to be checking what's,
14 what's actually in there too.

15 MR. LENTIN: Well, I had a, the
16 contractor that put the fill in that came
17 recently, got it I, I believe from a reputable
18 place and I've asked him to get a certificate or
19 some evidence of what it is. That's probably not
20 an issue for this board. I have to deal with the
21 engineering department on that. I'd just like to
22 comment about the self-created aspect. Over the
23 years, I've researched that for various jobs and
24 I've seen two examples that spell out clearly

1 June 20, 2024

2 self-created. One is where a developer would
3 develop a big piece of property and make three or
4 four inferior lots because they don't fit. And
5 then after he is finished building everything, he
6 comes back and asks for a variance to build on
7 the inferior lots. That's one. The other one is,
8 which is pretty standard, when you get caught
9 building something without a permit and you're
10 substantially finished, and then we're here
11 asking for permission to keep it. That's self-
12 created. I don't believe this would qualify, but
13 we have, we lose on so many other points. It's
14 kind of moot, but.

15 MR. FLEMING: Alright. I think what I'm
16 going to do is ask the public come forward and
17 give any comments they want give to us, and then
18 after we listen to their comments, we can
19 certainly have another discussion with you and if
20 you want to visit with your clients --

21 MR. LENTINI: Okay.

22 MR. FLEMING: -- in the meantime, you're
23 certainly welcome to.

24 MR. LENTINI: Yeah.

1 June 20, 2024

2 MR. FLEMING: If anyone from the public
3 would like to come forward, please state your
4 name your address, and then any comments you want
5 us to consider, you're welcome to give us.

6 MS. SABRINA SANTUCCI PEREIRA: Okay.

7 MR. FLEMING: You could pull that down
8 towards you.

9 MS. SANTUCCI: Thank you. Good evening
10 everyone. Excuse my very casual attire, but I
11 taught in an 87 degree classroom all day long, so
12 it's the best it is. My name is Sabrina Santucci
13 Pereira. I live at 17 Travis Lane. I originated
14 at 15 Travis Lane, grew up there, so I have a lot
15 of history on this street. And then I built a
16 house next door and here I am. Thank you for
17 hearing us this evening. I want to say, first of
18 all, I do appreciate all the improvements that
19 you have made to the house. The house is
20 beautiful. I mean, the house needed to be updated
21 and it, it really does look lovely. I was very
22 excited when they moved in, in August and
23 September and they started to do construction and
24 it was just, you know, wonderful, an improvement

1 June 20, 2024

2 to the neighborhood. I saw the materials starting
3 to grow around the home and I thought, well, you
4 know, it takes time to get things done and maybe
5 they're not finished inside. And I said nothing,
6 and then watched the materials grow and grow
7 through the winter and more so and more so in
8 trucks and white vans dropping people off and
9 different things. And now here we are. And then I
10 saw the sign and I said, what is going on?

11 My concern is, first of all, the toilets
12 were never out in front of the yard ever. The
13 Hayles kept the property very nice in the front.
14 The shed was always there. There was never a pipe
15 rack, there was never toilets around. There were
16 never materials around there. I used to babysit
17 at that house. So I'm, I'm familiar with the
18 front of the yard especially. So if the toilets
19 were in the back of the house or in the basement
20 why weren't they disposed of? Contractors and
21 residents who need to dispose of their materials
22 have to put up their money and dispose of it, not
23 just throw it in the yard for everyone else to
24 see.

1 June 20, 2024

2 I also do want to mention having had
3 some history of growing up in a construction
4 home, that when you leave things like that out in
5 the front where we have children who are up and
6 down our street, you are creating an attractive
7 nuisance, an invitation for children to come up
8 and go, wow, let me go sit on that toilet. And
9 then with all the fill and the steep slopes to
10 slide down it down it and have a tragedy. I know
11 that sounds crazy, but I know there is a, a
12 situation where a child went and played on a pile
13 of wood chips and broke his arm and those
14 contractors were held responsible for creating an
15 attractive nuisance. So that really does exist.

16 It does diminish our property value the
17 way it looks today. Not the house, but the
18 materials around it. It has been mentioned to me
19 from friends who have pulled into my street and
20 said, what's going on there? You know, that looks
21 like a hot mess all the sudden. And that's
22 hurtful for the almost \$20,000 I pay in taxes a
23 year to live here.

24 You know, we are a society is where we

1 June 20, 2024

2 respect each other and help take care of each
3 other and that is what's concerning to me. We see
4 the pallets and materials when -- I do appreciate
5 that we were able to go up for the site visit. I
6 am concerned about the new fill that is there in
7 the area where they want to build the garage that
8 you have tiles and wires sticking out of. Because
9 my concern is if we have such disregard for the
10 materials, how much of it is buried? I'm going to
11 be honest. So if you have disregard for the
12 front, and I heard there sinks and, and
13 countertops from other jobs there, what's in the
14 ground?

15 Since you brought up the steep slopes, I
16 appreciate that. I agree with so many things you
17 guys brought up at the concerns. Came in and he
18 cleaned up the landscaping and that looks
19 beautiful. But when doing that, also removed all
20 of the brush. And with the steep slopes, we now
21 have flooding on Montrose Station Road,
22 especially the equivalence of where the portico
23 is, that runs down and it, and its, the debris
24 and all the runoff is clogging the drain and

1 June 20, 2024

2 Montrose Station Road is flooding. We've had a
3 lot of flash flooding rain in the spring, so it's
4 been happening a lot. And over the winter it iced
5 over. So I would be concerned with putting such a
6 piece of a, a monster of a garage in the front
7 and creating maybe even a steeper slope. What is
8 that going to look like for our street? I think
9 we're creating a different problem. We're not
10 controlling the water.

11 It would be a monster of a garage. It's
12 a commercial garage on a residential street. I
13 park my car inside of my house. I have my garage
14 is attached inside my house and park there. I
15 think the majority of our homes in Cortlandt
16 Manor look like that, or the town of Cortlandt,
17 excuse me, looked like that.

18 I grew up in a construction home and we
19 never had the construction come home. There was
20 never materials from other jobs. There were never
21 trucks that came that were there. The only times
22 my father's trucks were ever at our home was when
23 they were doing work at our home and then they
24 were gone. They were never parked there overnight

1 June 20, 2024

2 or for weeks at a time or materials from other
3 places ever brought. I am concerned that building
4 such a large monstrosity of a garage will enable
5 the material to grow and then this turned into a
6 part-time construction yard, if not a full-time.
7 One. I am concerned about that because then it
8 should not be my responsibility and everyone on
9 the street to have to be the police and
10 constantly calling the town. That's not how
11 community is supposed to be. And I'm going to be
12 frank, put up your money and go pay for a spot at
13 a construction yard. That's why we have them.
14 That is how that's supposed to go. We're all
15 supposed to be respectful to each other.

16 What else? I'm trying to think of
17 anything else. I guess the thing that was
18 concerning is, you know, there's seven toilets,
19 but there's only three bathrooms. So what, the
20 Hayles kept replacing toilets and keeping a
21 collection? I don't believe that. So I, I have a
22 hard time trusting that this will not continue
23 and turn into that. And I don't want the
24 neighborhood changed from a residential street to

1 June 20, 2024

2 a commercial street. It's not what we pay all
3 this money for. Thank you for your time.

4 MR. FLEMING: Thank you. Any other
5 members of the public wish to come forward and
6 speak? Just state your name and your address.

7 MS. DEBORAH SANTUCCI: Hi, I'm Deborah
8 Santucci. I'm the mom, 15 Travis Lane, Montrose,
9 New York. I'm on the street for 41 years. I've
10 passed by there for 41 years and knew the former
11 residents and no, there were no toilets out on
12 the front of that, that house while they lived
13 there. There was no pipe rack on the shed. The,
14 I'd say the fill increased dramatically from what
15 I saw. And my concern is that it's just very
16 evident what this is turning into. This is
17 complete disregard for residential neighborhood.
18 And this is someone that's turning this into a
19 construction yard because that's what they do for
20 a living. We've done this, done this for a living
21 for 45 years. We pay to get our debris hauled
22 away. We never take debris home. We pay to park
23 our trucks. And that is a cost of doing business.
24 It might be difficult, a difficult cost to do,

1 June 20, 2024

2 but it is the cost.

3 MR. FLEMING: Hold on for one second
4 ma'am. Sorry, if you guys, if you guys want to
5 talk some more step out, we'll certainly wait. If
6 you, if you have to talk to your clients, it's
7 totally fine, but just it's hearing two people at
8 once, it's difficult. Please, please continue,
9 I'm sorry.

10 MS. SANTUCCI: Thank you. So that's my
11 initial concern because it's visual. It's what
12 you see when you come in my street. You, you
13 drive in and there it is, right there. You make
14 the turn and there it is. I don't want to add to
15 that to have a tremendous garage. We are also
16 builders. I know the 22 by 22 garage size. We
17 like to give 24 by 24, but not 30 by 24. That's
18 something that's being built to do something else
19 inside.

20 And as far as I respect Mr. Lentini,
21 we've known each other for years. No, you're not
22 supposed to store materials in the garage that
23 are going to be used on a site that are going to
24 be used for your business. That's supposed to be

1 June 20, 2024

2 stored in a commercial storage facility. And I
3 feel the garage, adding the garage, and I
4 understand people want to store other things, but
5 the precedence that's been set by what has been
6 thrown outside in the front makes my antennas go
7 up. What is the garage being used for? Why can't
8 he use the two garages he has? You know, I, and I
9 understand people have classic cars, they want
10 to store things, but no, no, it's not really good
11 to put materials. Can he not promise that he's
12 going to do that was part of the statement. Well,
13 I don't know. How do you want to leave that?

14 And what my daughter said, I'm not a
15 cop. I'm not being paid by the town of Cortlandt
16 to go police this and call Martin every three
17 days. It's not the way it should be. And there
18 needs to be some respect for the residential
19 neighborhood we live in. It is not a commercial
20 neighborhood. And that being said, I agree with
21 what my daughter said, the house was beautifully
22 done such in a great improvement on the outside.
23 The Hayles had some terrible issues in their time
24 and the house was in disrepair before Mary Jane

1 June 20, 2024

2 sold. I know there was some heartbreak there and
3 this was certainly an improvement. But I'm very
4 concerned about the future of what the intent is,
5 very concerned.

6 The other thing is the water that's on
7 Montrose Station Road. Montrose Station Road is a
8 killer road. There's no other way to say it.
9 There are people who have died there. It's very
10 dangerous. It's very winding. It is the cut
11 through for all the teenagers from the high
12 school back to lower Washington Street. I've
13 chased a couple down during my 41 years there.
14 There has never been that kind of water in that
15 spot adjacent to the property where that portico
16 and up without a permit. Now there's runoff
17 everywhere and there's ice happening there. It
18 never happened there. So, in being in my
19 business, I know what we have to do. We need to
20 control our water. Everyone is supposed to
21 control their water on their property. That's not
22 happening here.

23 I would really like some kind of
24 assurance. The zoning board, I know what you do,

1 June 20, 2024

2 Chris, the planning board, that that gets solved
3 before the winter. It's a very big concern. I'm
4 in and out of there I can't tell you how many
5 times a day. My loved ones, soon to be my
6 granddaughter starting to drive. We can't have
7 that. That's really a big concern.

8 The other thing is yes, there, I have
9 seen at, at the end of the day, people pulling up
10 in vans, letting working age males out. Is this a
11 drop off? What's going on? And, and listen, I
12 don't, I'm not trying to be picky, but when you
13 do that and then people start walking down the
14 street and they're walking on Montrose Station
15 Road to, I don't know where, this is not what
16 this residential street is supposed to be. And
17 it's not respectful to the residents that live
18 there. I'm sorry. That's, that's just the way I
19 feel. Like I said, people have come and gone on
20 our street for many years and I've never seen
21 this, never.

22 As far as moving the, the garage next to
23 the house where you suggested probably would be a
24 better place. A big, tremendous thing in the

1 June 20, 2024

2 front is an eyesore. It's so high. And that's my
3 other question. It's -- the proposal is 24 by 30.
4 What's the height? What kind of vehicles are
5 going to be able to go into this, this proposed
6 garage?

7 MR. FLEMING: I can tell you the answer
8 to that question, 14 foot at the height.

9 MR. CHIN: At the peak.

10 MS. SANTUCCI: Oh, that's pretty high,
11 not, that's not a normal eight or nine foot
12 garage door.

13 MR. WALSH: Oh, the peak is 14, so yeah.

14 MS. SANTUCCI: Oh, okay. But it should
15 not, you know. I tried to remember, I'm sorry.
16 That, that really has most of what I want to
17 say. I, I just don't want the -- I don't want
18 Travis Lane to change. There's no reason for it.
19 It's a residential street. It's been that
20 forever. And whoever comes in should abide by
21 that. And also, you know, there's a lot behind
22 this house that I know of, because that's how it
23 was put up for sale. I would like to make sure
24 that the zoning board keeps an eye and the

1 June 20, 2024

2 planning board keeps an eye that things aren't
3 being done to somehow ensure in the future that a
4 septic permit could be gotten or a building
5 permit could be gotten because things have to be
6 moved around, filled in, whatever. I think that
7 that has to be paid attention to. Because I, we
8 know a little bit about the lot and that would
9 just be my comment.

10 And I ask that you uh, don't make a
11 decision tonight if to approve it. I ask that you
12 think about it and I really would like to ask
13 that you deny it. Thank you.

14 MR. FLEMING: Thank you for your
15 comments. Anyone else in the public want to
16 speak? Before you before you come up for the
17 applicant? Is there anyone online who wants to
18 speak? No. Okay. Alright. So, basically what I
19 want to do is give you the opportunity to ask for
20 an adjournment. If there's anything you want to
21 address right now, I certainly welcome your
22 comments. But I, I want to ask you if you do want
23 to ask for an adjournment or not.

24 MR. LENTING: I want to just feel out my

1 June 20, 2024

2 options and I'm thinking that either I would ask
3 for a vote and get denied and put it to bed.

4 MR. FLEMING: Mm-hmm.

5 MR. LENTINI: Or ask for an adjournment
6 and then withdraw our application.

7 MR. FLEMING: Those, those are your two
8 options. I mean, if you think you are going to
9 move it to a place that doesn't require a
10 variance, all you do is withdraw your
11 application.

12 MR. LENTINI: Well then is the third the
13 wild card, is that shed, would I be able to
14 convert our application to a request for that
15 shed if, if in fact I need it?

16 MR. FLEMING: No, I think you'd have to
17 submit a new application, right?

18 MR. CHIN: For the shed on the left --

19 MR. KEHOE: Yeah.

20 MR. CHIN: -- hand side.

21 MR. KEHOE: I'd have to double check.

22 MS. PICCOLO HILL: The one that's three
23 feet?

24 MR. CHIN: Yes.

1 June 20, 2024

2 MS. PICCOLO HILL: The one that's been
3 there.

4 MR. WALSH: The green one next to the,
5 yeah, the next to the septic tank.

6 MR. KEHOE: No, the, isn't there,
7 there's another one coming up the driveway. Is
8 that --

9 MR. FLEMING: No, the one coming up the
10 drive, you're not talking about the small dark
11 shed?

12 MR. LENTINI: No, I'm not talking about
13 the one in front, but that one also that's been
14 there forever. Everybody agree --

15 MR. KEHOE: Okay. There's two requests.
16 There's the request that we've been focused on
17 and then there's the request for the other small
18 little shed. You know, it's hard to see, but, you
19 know, coming up the driveway.

20 MR. CHIN: That's the shed right there
21 by the front.

22 MR. KEHOE: Yeah. So that one. So there
23 are actually two requests in this variance, to
24 permit the garage that we've been talking about

1 June 20, 2024

2 and to permit that existing shed to remain.

3 MR. FLEMING: You're right. And we, and
4 we did not address, address the, the shed at all.
5 Hang on.

6 MR. KEHOE: So are you asking what the
7 zoning board would do with the existing shed?

8 MR. LENTINI: Well, first we were
9 prepared to take the 10 by 10 shed if I expected
10 that if there was a possibility of getting
11 approved, we would make it a condition that we
12 would remove that shed that's down by the street.
13 I didn't know about the other shed, but I could
14 also just ask for a vote, get denied, and then
15 have the town come and give me --

16 MR. KEHOE: Alright, sorry --

17 MR. LENTINI: -- a violation.

18 MR. KEHOE: -- so you were also asking
19 about the newly discovered potential three foot
20 issue on the other shed.

21 MR. LENTINI: Right. And that one I was
22 prepared to take down based on possibly getting
23 an approval. Or again, somebody mentioned, I
24 think everybody knows everybody that's been going

1 June 20, 2024

2 by the house, that the shed's been there also for
3 a long time. It might have prior non-conforming
4 rights.

5 MR. KEHOE: Okay. We're talking, we're
6 talking too many sheds.

7 MR. FLEMING: Yeah.

8 MR. KEHOE: This, this shed over here
9 by, by the septic field and by this --

10 MR. FLEMING: With the generator in
11 front of it.

12 MR. KEHOE: -- and by this other garage.

13 MR. WALSH: So that's shed two --

14 MR. LENTINI: Not that one.

15 MR. FLEMING: Not that, not that one.

16 MR. KEHOE: Right. You're talking about
17 this one?

18 MR. LENTINI: Yes.

19 MR. FLEMING: That one.

20 MR. KEHOE: Which based on the survey is
21 the 2.86 feet --

22 MR. FLEMING: From the, from the line,
23 which doesn't meet the setback.

24 MR. KEHOE: Right. Which you haven't

1 June 20, 2024

2 even talked to Martin about yet.

3 MR. LENTINI: No.

4 MR. FLEMING: So there's no, there's no
5 violation issued for that right now and there's
6 no variance request --

7 MR. KEHOE: And it wasn't applied for.

8 MR. FLEMING: Right.

9 MR. KEHOE: Right. So that can't be
10 resolved in, in --

11 MR. FLEMING: In, in this.

12 MR. KEHOE: -- in this. That's my
13 opinion. And then --

14 MR. FLEMING: The other shed, which we
15 haven't talked about is the one --

16 MR. KEHOE: And the other shed was
17 actually part of this application.

18 MR. FLEMING: Right.

19 MR. KEHOE: And that's the one located
20 here coming up the driveway. And what were you
21 planning to do with this shed coming up the
22 driveway?

23 MR. LENTINI: Take it down if we had the
24 garage. And then, you know, I understand the

1 June 20, 2024

2 people that live there know a lot more than me.
3 That's why they say justice is blind because
4 everybody doesn't, has never seen what we're
5 talking about, but -- I haven't at least, but if
6 that shed has any rights right now, we'll
7 withdraw our application and let it stay there
8 and file for the other location. But filing for
9 the other location might produce a request by the
10 town that I take two sheds down.

11 MR. FLEMING: Did the, did the initial
12 letter from Martin address that shed?

13 MR. KEHOE: Yes.

14 MR. CHIN: Yes. Only the front shed

15 MR. FLEMING: And said that it was,
16 it's, it was, it was in violation because --

17 MR. KEHOE: Yes. So I, I would think
18 that we would keep this on the agenda.

19 MR. LENTINI: Okay.

20 MR. KEHOE: To deal with the shed
21 issues. You know, you can double check with
22 Martin about the newly discovered one. And then
23 if you withdraw, and this is why I wish
24 Cunningham was here. I mean, I think you could

1 June 20, 2024

2 withdraw the application for the big garage, but
3 still come back next month to resolve the shed
4 issues.

5 MR. FLEMING: You can, yeah, because
6 they're, they're two different variances, so.

7 MR. LENTINI: Well, I'll talk to Martin,
8 talk to him. I already spoke to my client and I
9 believe he's amenable to putting the garage where
10 you suggested.

11 MR. CHIN: Okay. What I'm saying,
12 what're saying is also if you adjourn this,
13 alright and, just do all one shot with the garage
14 and another location so forth, you don't have to
15 pay for another application fee. You know what
16 I'm saying? Otherwise, if you want to take that
17 away, then start all over again, you're going to
18 have to reapply with new application fee, to
19 start all over again.

20 MR. LENTINI: Well that's, well I was
21 trying to get something out of this.

22 MS. PICCOLO HILL: Right, but the garage
23 --

24 MR. CHIN: Well, I'm just trying to help

1 June 20, 2024

2 you out.

3 MS. PICCOLO HILL: -- but if he moves
4 the garage, then it's no longer a concern because
5 it's, it doesn't need a variance. But the shed
6 still needs a variance.

7 MR. CHIN: Well it might still need a
8 little variance depending on how far --

9 MS. PICCOLO HILL: Possibly, based,
10 based on your design.

11 MR. CHIN: -- the side yard or front
12 yard may be partially, the side, front yard.

13 MS. PICCOLO HILL: Right.

14 MR. CHIN: I don't know.

15 MR. KEHOE: But that's the other thing
16 that I, I think you, you know, this doesn't have
17 to be resolved by the next meeting.

18 MR. LENTIN: No.

19 MR. KEHOE: But you, you know, you've
20 got to design that and then you've got to talk to
21 Martin. You've got to submit the drawings to
22 Martin, you've got to make sure that the new
23 location of the garage meets all of his
24 requirements.

1 June 20, 2024

2 MR. LENTINI: Right.

3 MR. KEHOE: In the side yard, doesn't
4 need any variances. And if you can resolve all
5 that to your satisfaction and to your client's,
6 then that would be off the table.

7 MR. LENTINI: I understand.

8 MS. PICCOLO HILL: But you don't have to
9 make that decision today.

10 MR. KEHOE: Right.

11 MS. PICCOLO HILL: You can just adjourn
12 and then take time to think about it.

13 MR. LENTINI: And the other issues I'm
14 going to have to deal with the engineering
15 department about all the other issues that were
16 brought up --

17 MS. PICCOLO HILL: Right.

18 MR. LENTINI: -- including flooding. But
19 that's a kind of a new thing today. There's more
20 rain than we've ever seen before and I've had
21 some real problems with this that can't blame any
22 one person, but it everybody contributes to the
23 flooding. And if there's anything we could do to
24 lessen it, we certainly will do.

1 June 20, 2024

2 MR. KEHOE: But I, I do think that there
3 was a violation issued, correct. And that
4 violation is being held somewhat in abeyance
5 while you're in front of the zoning board.

6 MR. LENTINI: Well that was for paving
7 in a little small retaining wall by the front
8 entrance.

9 MR. KEHOE: But Michael's going to want
10 the fill issue resolved.

11 MR. LENTINI: Yes.

12 MR. KEHOE: The town engineer.

13 MR. LENTINI: Yes, sir. Yeah.

14 MR. KEHOE: And that maybe could have
15 waited for the resolution of the garage and be
16 wrapped up into the construction of the garage.
17 But if the garage isn't happening, then you have
18 to resolve that with Mike in the engineering
19 department.

20 MR. LENTINI: Well, I, I'm going to have
21 to resolve it now because I know the garage is
22 not happening. I, I'm going to have to resolve
23 that. I'll work with him on it.

24 MR. KEHOE: Okay.

1 June 20, 2024

2 MR. CHIN: I'm saying just adjourn the
3 whole thing and come back with something new, you
4 know what I mean?

5 MR. LENTINI: I'd like to request an
6 adjournment then.

7 MR. FLEMING: And that's fine. We'll be
8 happy to grant your adjournment. What is the date
9 for the for the July meeting?

10 MR. KEHOE: It's on the -- do any of you
11 have the agenda?

12 MR. CHIN: No.

13 MR. FLEMING: I, I'll hold it up, sorry.

14 MR. KEHOE: 18th?

15 MR. CHIN: I have it here somewhere.

16 MR. FLEMING: Give me a second. I'll
17 pull it up.

18 MR. KEHOE: The 18th. It is July 18th.
19 Alright, so we will grant your request to adjourn
20 a decision on this until the July 18, 2024
21 meeting. Certainly any work you want to do before
22 that, if you have anything new to submit to us,
23 we're happy to consider. But I think you're going
24 to do some work with the town in a number of

1 June 20, 2024

2 different ways. So if it's not ready by July, I
3 know we don't, you don't want to hear this, but
4 we can go, we, we will happily adjourn it to
5 August, not to make you have to come back here
6 and ask, just talk to Chris and we will happily
7 adjourn it to August as well if that gives you
8 more time to, to accomplish what you want to
9 accomplish.

10 MR. LENTINI: I, that's a Thursday. I
11 have other board meetings. I, I might have to
12 adjourn it, but I have, I'm, I'm dealing with
13 something in Buchanan. I don't think I missed
14 something tonight. And I also have an executive
15 meeting because I'm on a town board, the board of
16 assessment review. But I, I'm, this will, this is
17 a priority and I I'll stick with that.

18 MR. FLEMING: Okay.

19 MR. LENTINI: Unless it's impossible.

20 MR. FLEMING: Alright.

21 Mr. LENTINI: So we're fine.

22 MR. FLEMING: Thank You. Okay.

23 MR. FRANCO: Do we need to make a
24 motion?

1 June 20, 2024

2 MR. LENTINI: Thank you very much.

3 MR. FLEMING: So we do, we need a, we
4 need a motion to adjourn this.

5 MR. FRANCO: Yeah, I make a motion to
6 adjourn.

7 MS. PICCOLO HILL: I second. Oh, I make
8 a motion to adjourn --

9 MR. FRANCO: To, to --

10 MS. PICCOLO HILL: -- to the July 18th,

11 MR. FRANCO: -- July 18th.

12 MS. PICCOLO HILL: -- meeting.

13 MR. CHIN: That's on case 2024-4.

14 MR. FLEMING: Motion to adjourn
15 seconded. All in favor?

16 MULTIPLE: Aye.

17 MR. FLEMING: Any opposed?

18 MR. LENTINI: Thank you very much.

19 MR. FLEMING: Alright, so this matter
20 has been adjourned to the next meeting. Thank
21 you.

22 MR. LENTINI: Thank you.

23 MR. FLEMING: And since this was the
24 only matter on, I think we need a motion to close

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24

June 20, 2024

the meeting.

MR. WALSH: So moved.

MR. FLEMING: Second.

MR. CHIN: All in favor?

MULTIPLE: Aye.

MR. FLEMING: Any opposed? Alright, we
are adjourned.

(The public board meeting concluded at
7:47 p.m.)

CERTIFICATE OF ACCURACY

I, Claudia Marques, certify that the foregoing transcript of the Zoning Board meeting of the Town of Cortlandt on June 20, 2024 was prepared using the required transcription equipment and is a true and accurate record of the proceedings.

Certified By

A handwritten signature in cursive script that reads "Claudia Marques".

Date: July 11, 2024

GENEVAWORLDWIDE, INC
228 Park Ave S - PMB 27669
New York, NY 10003



July 17, 2024

Town of Cortlandt
Zoning Board of Appeals
1 Heady Street
Cortlandt Manor, NY 10567

RE: 3 Windsor Road
Croton on Hudson, NY 10520
Wall height variance

To Whom It May Concern

We are requesting a height variance for our proposed 2 car garage from 10'-0" to 11'-4". This would allow us to keep the roof line as 2 separate pitches rather than a single more typical garage.

I enjoy tinkering with my cars, and I hope to install a lift in this garage. The extra height is necessary to allow for the lift installation. It would be used only for personal work and would not be a repair business.

We looked at other possible locations (opposite side of the yard / house) but would require more site work and have an impact on the septic system.

We feel that the scale of this building is in keeping with the neighborhood.

Should you have any questions please feel free to contact us.

Thank you,

Lewis & Paige Roane
914 330-1802

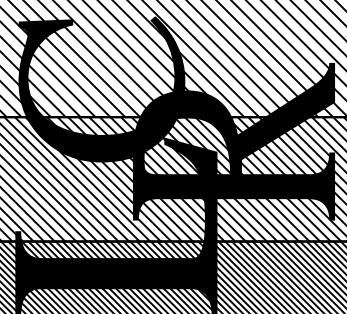
3 Windsor Road, Croton-on-Hudson, New York 10520 914 330-1802
lewisroanedesign@gmail.com

ROANE RESIDENCE

3 WINDSOR ROAD

CROTON ON HUDSON NY 10520

LEWIS C ROANE
 ARCHITECT
 3 WINDSOR ROAD
 CROTON-ON-HUDSON, NEW YORK
 TEL (914) 330-1802
 LEWISROANEDESIGN@GMAIL.COM



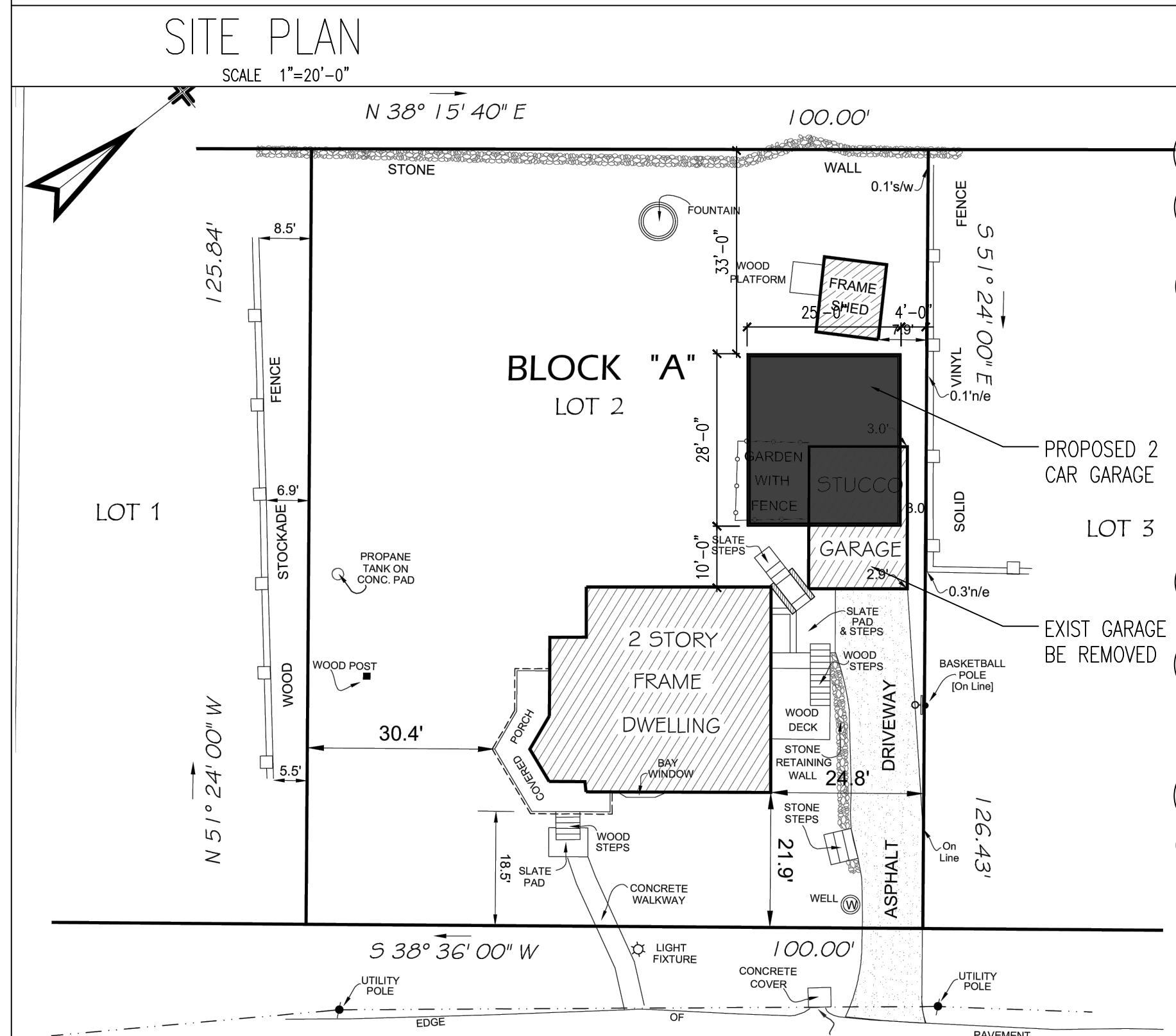
REVISION	DATE	ISSUE
	5/20/2024	ISSUED FOR FILING
	5/25/2024	REVISED PER TOWN COMMENT

PROPOSED GARAGE FOR:
THE ROANE RESIDENCE
3 WINDSOR RD
CROTON ON HUDSON, NY 10520

DRAWING TITLE
COVER SHEET

DATE 5/20/2024
 SCALE AS NOTED

DRAWING NUMBER
A-1



ZONING DATA

TOWN ZONING REQUIREMENTS				
ZONE:	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
BULK REGULATIONS:				
LOT SIZE	10,000 SQFT	12613 SQFT	12613 SQFT	N/A
MAX BUILDING COVERAGE AREA				
DWELLING USE	3050 SQFT	1808 SQFT	1808 SQFT	N/A
NON-DWELLING USE	1525 SQFT			
MIN LANDSCAPE COVERAGE (% OF LOT AREA)				
DWELLING USE	50% LOT 6306 SQFT	9845 SQFT	9243 SQFT	N/A
NON-DWELLING USE	50% LOT 6306 SQFT			
MAX FLOOR AREA	3050 SQFT	1925 SQFT	2207 SQFT	

ACCESSORY BUILDINGS:				
FRONT YARD	NOT PERMITTED	EXISTING	PROPOSED	
HEIGHT	10'+7"	12'	12'	
MAX AREA **	962.5 SQFT	491 SQFT	768 SQFT	**50% PRINCIPAL BUILDING
SIDE YARD	4'	2.5'	4.0'	
REAR YARD	20'	47.25'	32.5'	

WINDSOR ROAD

PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF CORTLANDT MAP 68.05 * BLOCK 2 * LOT 38
 STREET ADDRESS: 3 WINDSOR ROAD
 PROPERTY AREA: 12,613 Sq. Ft. / 0.2896 AC

THE PREMISES SHOWN HEREON DESIGNATED AS LOT 2 IN BLOCK A ON A CERTAIN MAP ENTITLED "MAP OF SECTION 1, WINDSOR ESTATES, INC. LOCATED IN THE TOWN OF CORTLANDT, WESTCHESTER CO., N.Y." MADE BY WILLIAM J. B. COGLEY, CIVIL ENGINEER AND SURVEYOR, DATED APRIL 18, 1939 AND FILED IN THE COUNTY CLERK'S OFFICE OF WESTCHESTER COUNTY DIVISION OF LAND RECORDS JUNE 19, 1939 AS MAP NO. 4963 ALSO BEING THE SAME AS DESCRIBED IN CONTROL NUMBER 402720519

SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.

THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.

ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.

THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS, ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR:
LEWIS ROANE

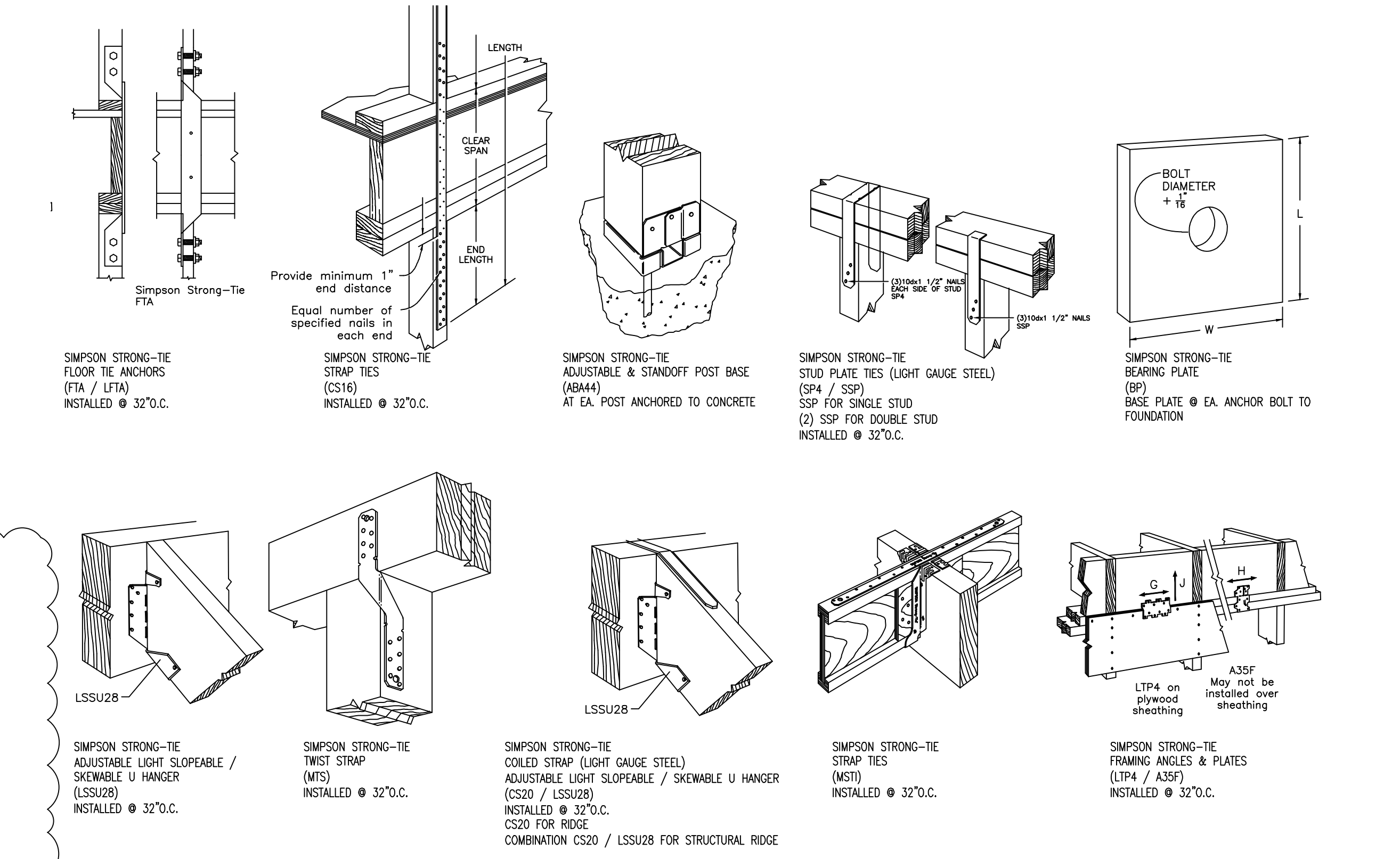
SCALE: 1"=20'
 SURVEYED: MAY 2, 2024

JRL
 LAND SURVEYING P.C.
 Mahopac N.Y. 10941

JOSEPH R. LINK
 NEW YORK STATE LICENSED
 LAND SURVEYOR NO. 050456
 Phone: 914-941-1440 Web: http://jrlsurveying.com

NEW YORK STATE LICENSED
 LAND SURVEYOR SEAL

COPYRIGHT 2024
 JRL LAND SURVEYOR P.C. ALL RIGHTS RESERVED. THE UNAUTHORIZED



DESIGN CRITERIA

THIS PROJECT WAS DESIGNED USING THE CURRENT NYS BUILDING CODE (2020 NYS RESIDENTIAL BUILDING CODE)

GROUND (SNOW) LOAD	SEISMIC DESIGN CATEGORY	WIND SPEED (MPH)	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS FIRM MAP DEC 1999 HEATING DEGREE DAYS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
30LB/FT	C	105	SEVERE	3'-6"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7	YES	5750

PROPOSED PROJECT SHALL COMPLY WITH THE FOLLOWING:

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

TABLE R602.3(1) FASTENERS SCHEDULE FOR STRUCTURAL MEMBERS

TABLE R303.1 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

TABLE R607.1 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS

SMOKE DETECTORS: SMOKE DETECTORS SHALL BE INSTALLED AS PER THE RESIDENTIAL NEW YORK STATE BUILDING CODE SUPPLEMENT SECTION AJ504

R905.2.5 FASTENERS FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS, MIN. 12 GAGE SHANK W/ A MIN. 3/8" HEAD ASTM 1667, OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIAL AND A MIN. OF 3/4" INTO THE ROOF SHEATHING. WHERE THE ROOF SHEATHING IS LESS THAN 3/4" THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING. FASTENERS SHALL COMPLY W/ ASTM F 1667.

R905.2.6 ATTACHMENT ASPHALT ROOF SHINGLES SHALL HAVE A MIN. OF SIX FASTENERS PER SHINGLE WHERE THE ROOF IS IN ONE OF THE FOLLOWING CATEGORIES - THE BASIC WIND SPEED PER R301.2(4) IS 110 MPH OR GREATER AND THE EAVE IS 20' OR HIGHER ABOVE GRADE.

R905.2.7 ICE SHIELD ALL ROOF EAVES SHALL BE PROVIDED WITH ICE SHIELD MEMBRANE FROM EDGE TO 24" PAST INSIDE WALL.

EGRESS WINDOWS: R310.2.1 MINIMUM OPENING AREA ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. EXCEPTION GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ. FT.

R310.2.2 MINIMUM OPENING HEIGHT THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.

R310.2.1 MINIMUM OPENING WIDTH THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20 INCHES.

R310.1.1 OPERATIONAL CONSTRAINTS EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

USE	MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN LBS. PER SQ. FT.)	
	USE	LIVE LOADS
EXTERIOR BALCONIES		60
DECKS		40
PASSENGER VEHICLE GARAGES		50
ATTICS WITHOUT STORAGE		10
ATTICS WITH STORAGE		20
ROOMS OTHER THAN SLEEPING		40
SLEEPING ROOMS		30
STAIRS		40
GUARDRAILS AND HANDRAILS		200

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN LBS. PER SQ. FT.)

R905.1.1 UNDERLAYMENT APPLICATION FOR ROOF SLOPES FROM TWO VERTICAL UNITS IN 12 UNITS HORIZ. UP TO FOUR UNITS VERT. IN 12 UNITS HORIZ. UNITS SHALL BE TWO LAYERS.

ALL FRAMING SHALL COMPLY WITH NYS R602

PROPOSED PROJECT SHALL COMPLY WITH THE FOLLOWING ADDITIONAL SECTIONS OF 2020 NYS RESIDENTIAL BUILDING CODE:

SECTION R403.3.4 TERMITE SHIELD	SECTION R406.3.2 VAPOR BARRIER	IF LEDGE ROCK IS ENCOUNTERED FOOTING ARE TO BE PINNED TO THE LEDGE WITH (3) 6" #4 REBAR WITH 3" MIN EMBEDMENT INTO THE STONE.
SECTION 303.1 LIGHT & VENT	SECTION R403.1.6 ANCHOR BOLTS	DECK FRAMING SHALL COMPLY WITH NYS R507 (IBC 2015) & (FIGURE 507.2.1(2), 507.2.3 (1), 507.2.3 (2))
SECTION R310 EMERGENCY ESCAPE	SECTION R406 WATERPROOFING & DAMPPROOFING	STRUCTURAL SCREWS MAY BE SUBSTITUTED FOR THRU BOLTING IS EQUIVALENT SIZES ARE USED
SECTION 905.1.2 ICE SHIELD	SECTION R1609.1.1 WIND-BORNE DEBRIS	MIN TREAD LENGTH COMPLIES WITH NYS CODE R311.5.3.2 HANDRAIL TO HAVE GRASPABLE EDGE TO COMPLY WITH NYS CODE R311.5.6

ALL WORK SHALL CONFORM TO THESE DRAWINGS, THE NEW YORK STATE BUILDING CODE AND ANY OTHER APPLICABLE CODES OR ORDINANCE THAT MAY APPLY TO THIS PROJECT

ALL DECK FRAMING LUMBER TO BE PRESSURE TREATED SOUTHERN YELLOW PINE (#2 OR BETTER)

ALL CONCRETE FOOTINGS SHALL CONFORM TO ACI 318.77, AND DEVELOP A STRENGTH OF 3,000PSI BEARING IN 28 DAYS

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS, EXISTING & PROPOSED, ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.

LOADING
 THIS DECK HAS BEEN DESIGNED FOR
 LIVE LOAD 40 LBS./SQFT
 DEAD LOAD 10 LBS./SQFT
 RAILING LATERAL 50 LBS./SQFT THRUST
 SOIL BEARING 3,000 LBS./SQFT (ASSUMED)

DRAWING LIST

A-1	COVER SHEET
A-2	GENERAL NOTES & DETAILS
A-3	CONSTRUCTION PLANS
A-4	ELEVATIONS & DETAILS
A-5	DETAILS
S-1	SITE PLAN

NOTES:

ALL ELECTRICAL WORK IS TO BE PERFORMED BY A LICENSED ELECTRICIAN

LIGHTING FIXTURES NOTED ARE TO BE SUPPLIED BY OWNER & INSTALLED BY G.C.

IT IS A VIOLATION FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

BASED UPON NIP FIRM MAP THE PROJECT IS IN THE "X" FLOOD ZONE

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS
TABLE R602.3(1)

DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER a, b, c, d	SPACING OF FASTENERS
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d	-
1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d 2 STAPLES, 1-3/4	-
2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	2-16d	-
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	-
STUD TO SOLE PLATE, TOE NAIL	3-8d OR 2-16d	-
DOUBLE STUDS, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10d	24" O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d	16" O.C.
DOUBLE TOP PLATES, MINIMUM 48-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	-
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d	-
RIM JOIST TO TOP PLATE, TOE NAIL	8d	6" O.C.
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d	-
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d	16" O.C. ALONG EACH EDGE
CONTINUED HEADER, TWO PIECES	16d	16" O.C. ALONG EACH EDGE
CEILING JOISTS TO PLATE, TOE NAIL	3-8d	-
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d	-
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3-10d	-
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	3-10d	-
RAFTER TO PLATE, TOE NAIL	2-16d	-
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d 2 STAPLES, 1-3/4	-
1"x6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d 2 STAPLES, 1-3/4	-
1"x8" SHEATHING TO EACH BEARING, FACE NAIL	2-8d 3 STAPLES, 1-3/4	-
WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d 4 STAPLES, 1-3/4	-
BUILT-UP CORNER STUDS	10d	24" O.C.
BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE.
2" PLANKS	2-16d	AT EACH BEARING
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL FACE NAIL	4-16d 3-16d	- -
RAFTER TIES TO RAFTERS, FACE	3-8d	-
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING, AND PARTICLEBOARD WALL SHEATHING TO FRAMING		
5/8" - 1/2"	6d COMMON NAIL (SUBFLOOR, WALL) 8d COMMON NAIL (ROOF)*	6 12g
3/4" - 1"	8d COMMON NAIL	6 12g
1 1/8" - 1 1/4"	10d COMMON NAIL OR 8d DEFORMED NAIL	6 12

1 FASTENER SCHEDULE
SCALE: N.T.S.

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS
TABLE R602.3(1) continued

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENERS b, c, d, e	SPACING OF FASTENERS	
		EDGES (INCHES) i	INTERMEDIATE SUPPORTS (INCHES) c, e
OTHER WALL SHEATHING h			
1/2" REGULAR CELLULOSIC FIBERBOARD SHEATHING	1 1/2 GALVANIZED ROOFING NAIL 6d COMMON NAIL STAPLE 16 GA., 1 1/2 LONG	3	6
1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2 GALVANIZED ROOFING NAIL 8d COMMON NAIL STAPLE 16 GA., 1 1/2 LONG	3	6
5/8" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2 GALVANIZED ROOFING NAIL 8d COMMON NAIL STAPLE 16 GA., 1 1/2 LONG	3	6
1/2" GYPSUM SHEATHING	1 1/2 GALVANIZED ROOFING NAIL; 6d COMMON NAIL; STAPLE GALVANIZED, 1 1/2 LONG; 1 1/2 SCREWS, TYPE W OR S	4	8
5/8" GYPSUM SHEATHING	1 1/2 GALVANIZED ROOFING NAIL; 8d COMMON NAIL; STAPLE GALVANIZED, 1 1/2 LONG; 1 1/2 SCREWS, TYPE W OR S	4	8
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
3/4" AND LESS	6d DEFORMED NAIL OR 8d COMMON NAIL	6	12
7/8" - 1"	8d COMMON NAIL OR 8d DEFORMED NAIL	6	12
1 1/8" - 1 1/4"	10d COMMON NAIL OR 8d DEFORMED NAIL	6	12

FOR SIK: 1 INCH = 25.4mm, 1 FOOT = 304.8mm, 1 MILE PER HOUR = 1.609km/h

- ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS FOLLOWS: 80ksi (551Mpa) FOR SHANK DIAMETER OF 0.192" (20d COMMON NAIL), 90ksi (620Mpa) FOR SHANK DIAMETERS LARGER THAN 0.142" BUT NOT LARGER THAN 0.177", AND 100ksi (689Mpa) FOR SHANK DIAMETERS OF 0.142" OR LESS.
- STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/16 INCH ON DIAMETER CROWN WIDTH.
- NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
- 4-FOOT-BY-8-FOOT OR 4-FOOT-BY-9-FOOT PANELS SHALL BE APPLIED VERTICALLY.
- SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(1).
- FOR REGIONS HAVING BASIC WIND SPEED OF 110mph OR GREATER, 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MINIMUM 48 INCH DISTANCE FROM GABLE END WALLS, IF MEAN ROOF HEIGHT IS MORE THAN 25 FEET, UP TO 35 FEET MAXIMUM.
- FOR REGIONS HAVING BASIC WIND SPEED OF 110mph OR LESS, NAILS FOR ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE SPACED 6 INCHES ON CENTER. WHEN BASIC WIND SPEED IS GREATER THAN 100mph, NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MINIMUM 48 INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING.
- GYPSUM SHEATHING SHALL CONFORM TO ASTM C 79 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.
- SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL ROOF PLANE PERIMETERS. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS SHALL NOT BE REQUIRED EXCEPT AT INTERSECTION OF ADJACENT ROOF PLANES. FLOOR AND ROOF PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.

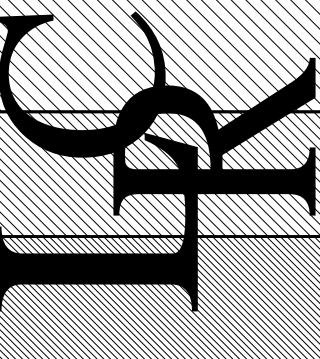
GENERAL NOTES

- GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND VERIFY LOCAL REQUIREMENTS WITH LOCAL BUILDING OFFICIALS.
- ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MATERIALS.
- RECORD ARCHITECT / ENGINEER OR DESIGN CONSULTANTS ARE NOT TO FIELD SUPERVISE OR INSPECT THIS PROJECT.
- ALL CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE LATEST A.C.I. 3000 PSI MIN. AT 28 DAY TEST (A.C.I. 319-63).
- ALL FOUNDATIONS AND FOOTINGS SIZED FOR BEARING ON UNDISTURBED SOIL AT MINIMUM BEARING CAPACITY OF (2) TONS PER SQ. FT. MINIMUM OF 3" COVER.
- ALL WOOD FRAMING, INCLUDING JOISTS, BEAMS, POSTS, STUDS ETC. TO BE DOUGLAS FIR CONSTRUCTION GRADE OR BETTER @ fd1200 PSI.
- WOOD SILLS ON SLAB TO BE (2) 2x6 CCA WOLMINIZED LUMBER W/ 1/2" DIA. ANCHOR BOLTS 8' O.C.
- ALL HEADERS TO BE SUPPORTED BY 4x4 POST TYPICAL (U.O.N.)
- PROVIDE DOUBLE HEADER AND TRIMMERS AT ALL STAIR AND FLOOR OPENINGS AND UNDER ALL POSTS AND PARTITIONS RUNNING PARALLEL TO SAME.
- BRIDGING TO BE EITHER SOLID OR 18 GA. CROSS BRIDGING NOT EXCEEDING 8' O.C.
- ALL HEADERS TO BE (2) 2x10 U.O.N. ON PLAN.
- THE TOP AND BOTTOM OF JOISTS MAY BE NOTCHED. NOT TO EXCEED 2". NO NOTCHING AT MIDDLE 1/3 OF SPAN.
- ALL STRUCTURAL WOOD TO BE KEPT BACK 2" FROM CHIMNEY.
- JOIST HANGERS AND OTHER METAL FASTENERS TO BE "TECO" OR EQUAL.
- ALL CONCRETE HAUNCH FOOTINGS TO HAVE (2) #5 REBAR REINFORCING RODS (U.O.N.).
- THE EXTERIOR SURFACE OF ALL FOUNDATION WALLS BELOW GRADE (EXCLUDING SUBS) SHALL BE DAMPROOFED W/ AN ELASTIC COAL TAR BASE.
- FIREPLACE FOOTINGS SHALL EXTEND 6" FROM FOUNDATION ON ALL SIDES.
- PROVIDE COMBUSTION AIR VENTS AS PER N.Y.S. ENERGY CODE.
- FOR ALL 4" POURED CONCRETE SLABS, PROVIDE 6x6 10/10 WWF OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 6" WELL COMPACTED FILL.
- AT LEAST (1) SINGLE STATION SMOKE DETECTING ALARM DEVICE INSTALLED IN CONFORMITY W/ SECTION R317 IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING ROOM AREA AND ON EACH STORY - INTERCONNECTED.
- REGARDLESS OF WINDOWS INDICATED ON PLAN, PROVIDE AT LEAST (1) EGRESS WINDOW IN EACH ROOM, EXCEPT KITCHENS, BATHS, AND BOILER ROOMS WITH A MINIMUM OPERABLE AREA OF 5 SQ. FT. ON GRADE LEVEL AND 5.7 SQ. FT. ON UPPER LEVELS WITH A MIN. OPENING HEIGHT OF 24" AND A MIN. WIDTH OF 20". A SILL OF NOT MORE THAN 44" ABOVE FLOOR AREA OF WINDOWS AND SKYLITES SHALL BE 8% OF EXTERIOR WALL AREA.
- GLAZING IN DOORS, SHOWER DOORS AND ENCLOSURES SHALL BE SIZED AND CONSTRUCTED OF MATERIALS AS TO MINIMIZE THE POSSIBILITY OF INJURY TO PERSONS IN THE EVENT THAT THE GLAZING IS BROKEN OR DAMAGED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE W/ THE 2020 NYS RESIDENTIAL BUILDING CODE AND THE N.Y.S. ENERGY CODE.
- ALL PLUMBING FIXTURES SHALL BE INDIVIDUALLY TRAPPED AND VENTED AS REQUIRED BY THE N.Y.S. CODE. CAST IRON PIPE SHALL CONFORM W/ LOCAL CODE REQUIREMENTS AND HAVE APPROVED CLEAN OUTS AN JOINTS.
- ALL HEATING AND COOLING DESIGNS SHALL CONFORM W/ A.S.H.R.A.E.
- ELECTRIC WORK TO BE IN ACCORDANCE W/ N.E.C. AND TO BE CERTIFIED BY THE BOARD OF FIRE UNDERWRITERS.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ROOF RAFTERS AND CRAWL SPACES TO BE VENTED AS PER N.Y.S. CODE.
- ALL STAIRS SHALL HAVE HANDRAILS IN ACCORDANCE W/ 2020 NYS RESIDENTIAL BUILDING CODE
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE AND COMPLY WITH 2020 NYS RESIDENTIAL BUILDING CODE
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FILE FOR AND OBTAIN ALL REQUIRED APPROVALS AND PERMITS FROM ANY AND ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE CODES, LAWS, RULES AND REGULATIONS IN THE CONSTRUCTION OF THIS PROJECT.
- ALL PLUMBING WORK SHALL COMPLY WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE CODES, LAWS, RULES AND REGULATIONS AND HEALTH DEPARTMENT REQUIREMENTS.
- HEATING AND AIR CONDITIONING REQUIREMENTS SHALL BE COORDINATED WITH THE OWNER'S H.V.A.C. CONTRACTOR PRIOR TO COMMENCING ANY WORK.
- ALL ELECTRICAL OUTLETS, SWITCHES, LIGHTS AND WIRING SHALL BE U.I. CERTIFIED AND INSTALLED IN COMPLIANCE WITH WITH ALL APPLICABLE ELECTRICAL CODES.
- THE CONTRACTOR SHALL RELOCATE ALL EXISTING ELECTRIC, TELEPHONE, ANTENNA AND CABLE T.V. SERVICE WIRING AS REQUIRED.
- ALLOW A MINIMUM OF 18" BETWEEN BOTTOM OF FLOOR JOIST AND TOP OF SCREED COAT OR PROVIDE CCA LUMBER.
- FLOOR JOISTS SHALL BE DOUBLED BENEATH ALL PARALLEL PARTITIONS.
- ALL INTERIOR DOORS ARE TO COMPLY WITH THE 2020 NYS RESIDENTIAL BUILDING CODE

2 GENERAL NOTES
SCALE: N.T.S.

- WINDOWS AND DOORS SHALL BE PROPERLY FLASHED AT HEADS AND PROPERLY SEALED AND WEATHER-STRIPPED.
- ALL GYPSUM SHALL BE TAPED AND SPACKLED (3) COATS READY FOR PAINT. 1/2" INCH SHEETROCK FOR ALL WALLS AND CEILINGS. 5/8" INCH TYPE "X" FOR ALL GARAGE AND MECHANICAL ROOMS. 1/2" INCH M/R GREENBOARD FOR ALL BATHROOMS.
- ALL FINISHES SHALL BE AS DIRECTED BY OWNER.
- ALL MICROLAM LUMBER IS TO BE MANUFACTURED BY "TRU JOIST CORP." P.O. BOX 60 BOISE IDAHO 83707 OR APPROVED EQUAL.
- ALL CONCRETE TO BE 3000 PSI. 28 DAY TEST. PROVIDE 1/2" INCH DIAMETER ANCHOR BOLTS SPACED A MAXIMUM OF 6'-0" O.C. ANCHOR BOLTS SHALL ALSO BE LOCATED WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION EXCEPT FOUNDATION ANCHOR STRAPS, SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" INCH DIAMETER ANCHOR BOLTS.
- NO CONSTRUCTION OR DEMOLITION SHALL COMMENCE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE AND INSURANCE CERTIFICATES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFE GUARD THE EXISTING RESIDENCE AND CONTENTS AGAINST DAMAGE FROM THE ELEMENTS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REPAIR ALL EXISTING CONDITIONS DAMAGED DUE TO THE EXECUTION OF THIS WORK TO ITS ORIGINAL CONDITION.
- THE DRAWINGS ARE NOT TO BE SCALED - FOLLOW DIMENSIONS ONLY.
- NO CHANGE WILL BE PERMITTED WITHOUT PRIOR WRITTEN NOTIFICATION OF AND APPROVAL OF THE ARCHITECT/ENGINEER OF RECORD.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF OCCUPANCY AND AN ELECTRICAL CERTIFICATE FROM AN APPROVED AGENCY UPON COMPLETION OF THIS PROJECT.
- "TECO" DETAILS SHOWN TO COMPLY WITH THE 2020 NYS RESIDENTIAL BUILDING CODE

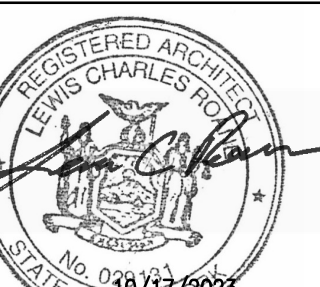
LEWIS C ROANE
ARCHITECT
3 WINDSOR ROAD
CROTON-ON-HUDSON, NEW YORK
TEL (914) 330-1802
LEWISROANEDESIGN@GMAIL.COM



REVISION	DATE	ISSUE
	5/20/2024	ISSUED FOR FILING
	5/25/2024	REVISED PER TOWN COMMENT

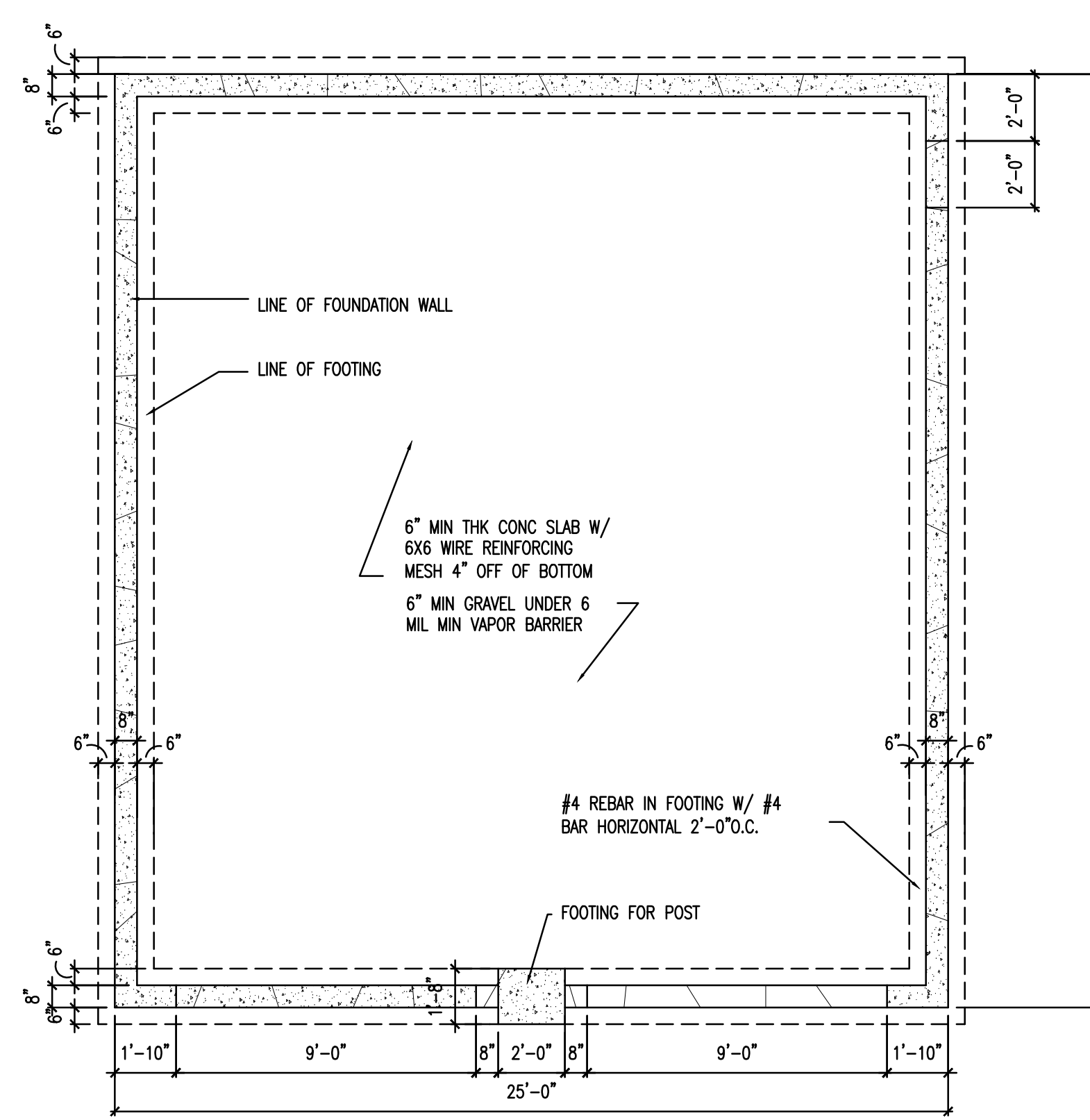
PROPOSED GARAGE FOR:
THE ROANE RESIDENCE
3 WINDSOR RD
CROTON ON HUDSON, NY 10520

GENERAL NOTES
& DETAILS

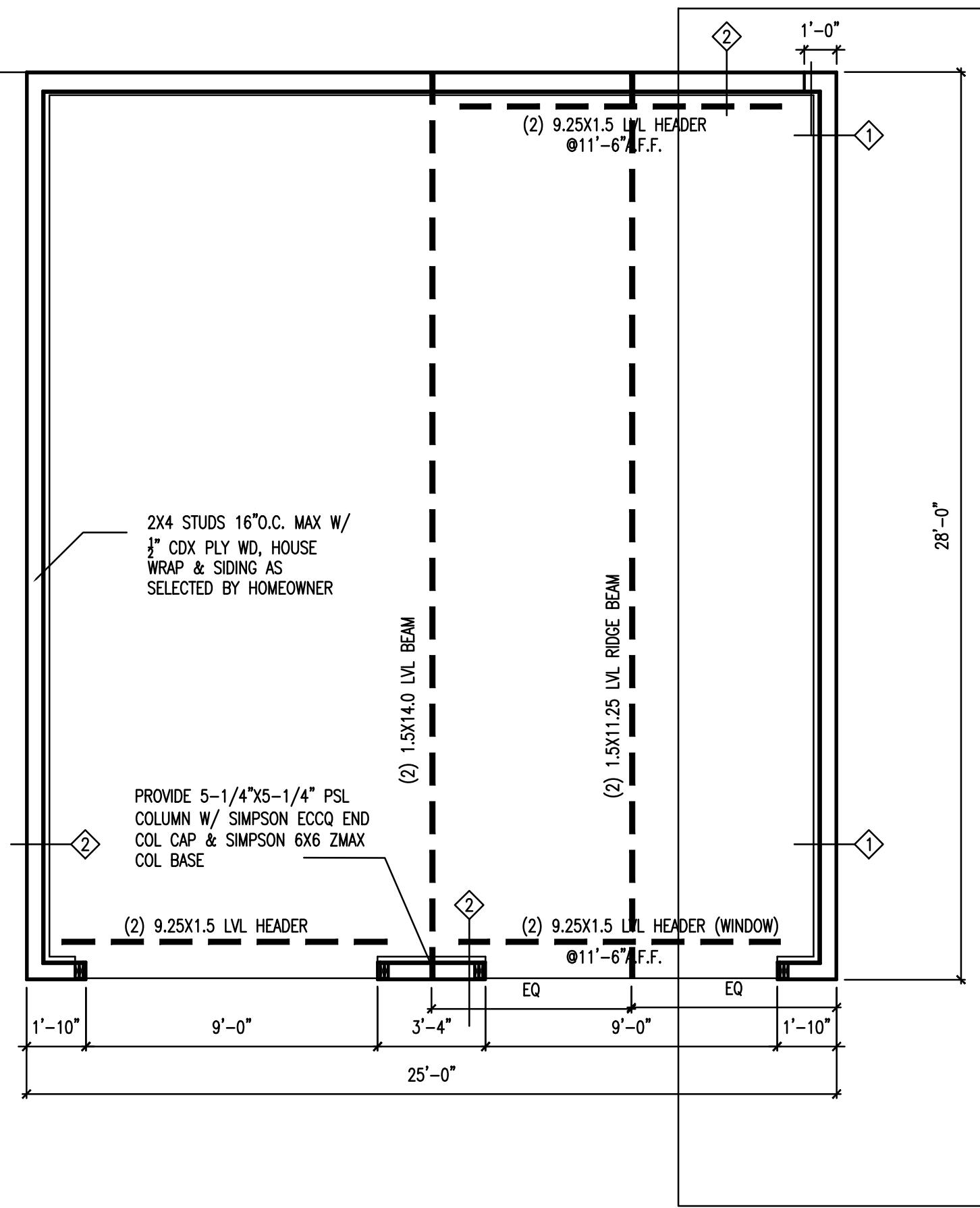


DATE: N.T.S.
SCALE: N.T.S.
DRAWING NUMBER: A-2

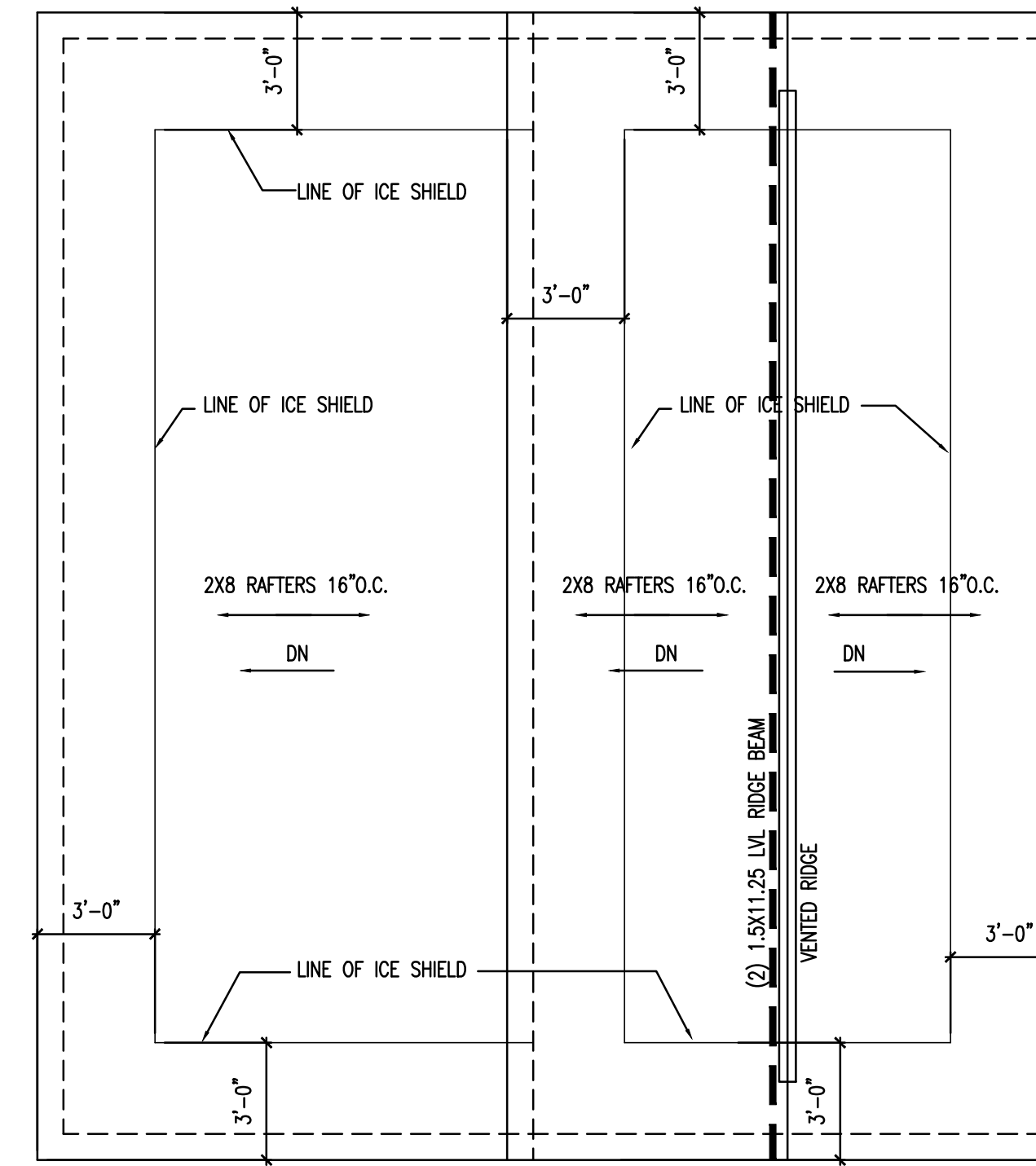
IT IS A VIOLATION FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



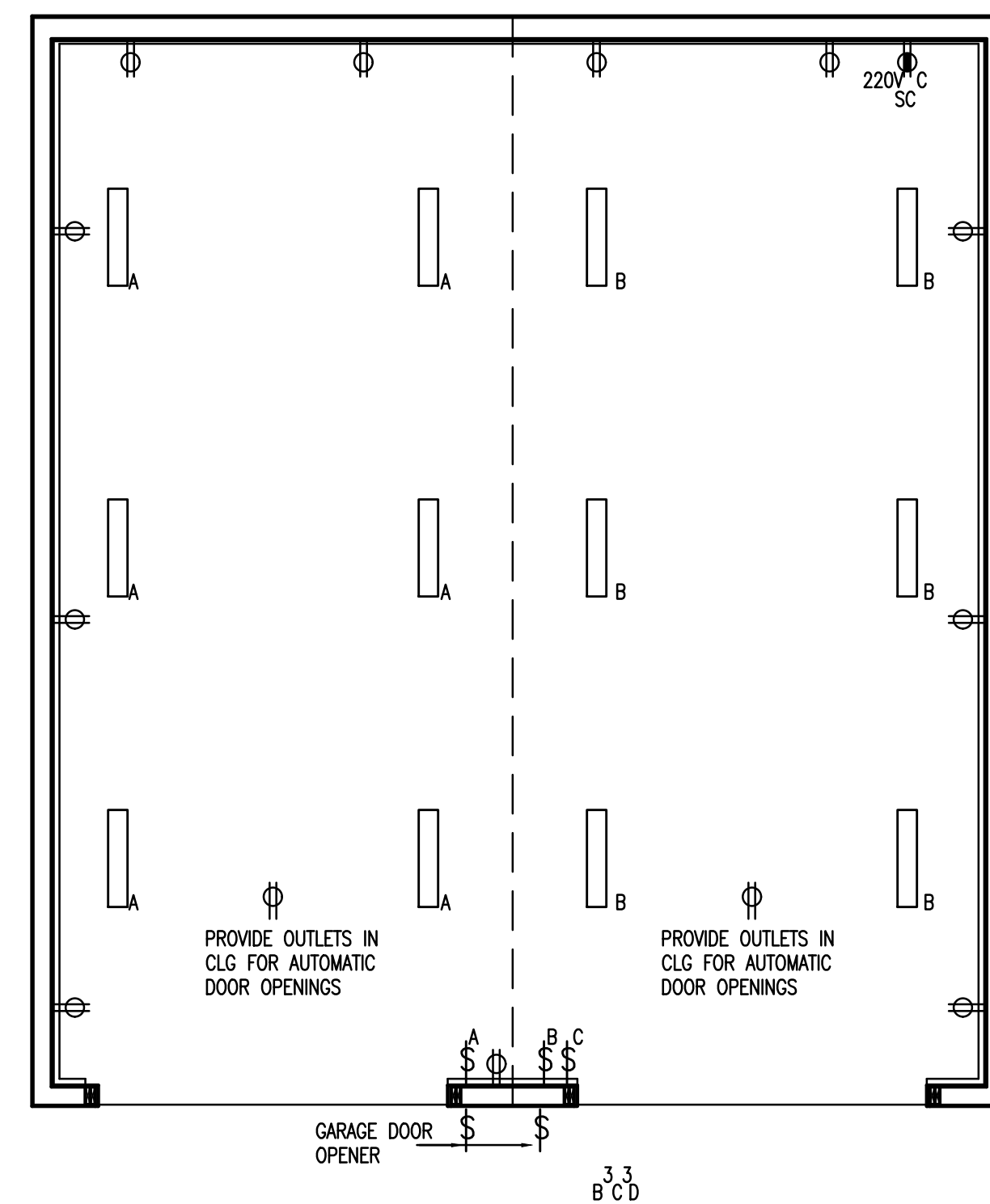
2 CONSTRUCTION PLAN
SCALE: 1/4"=1'-0"



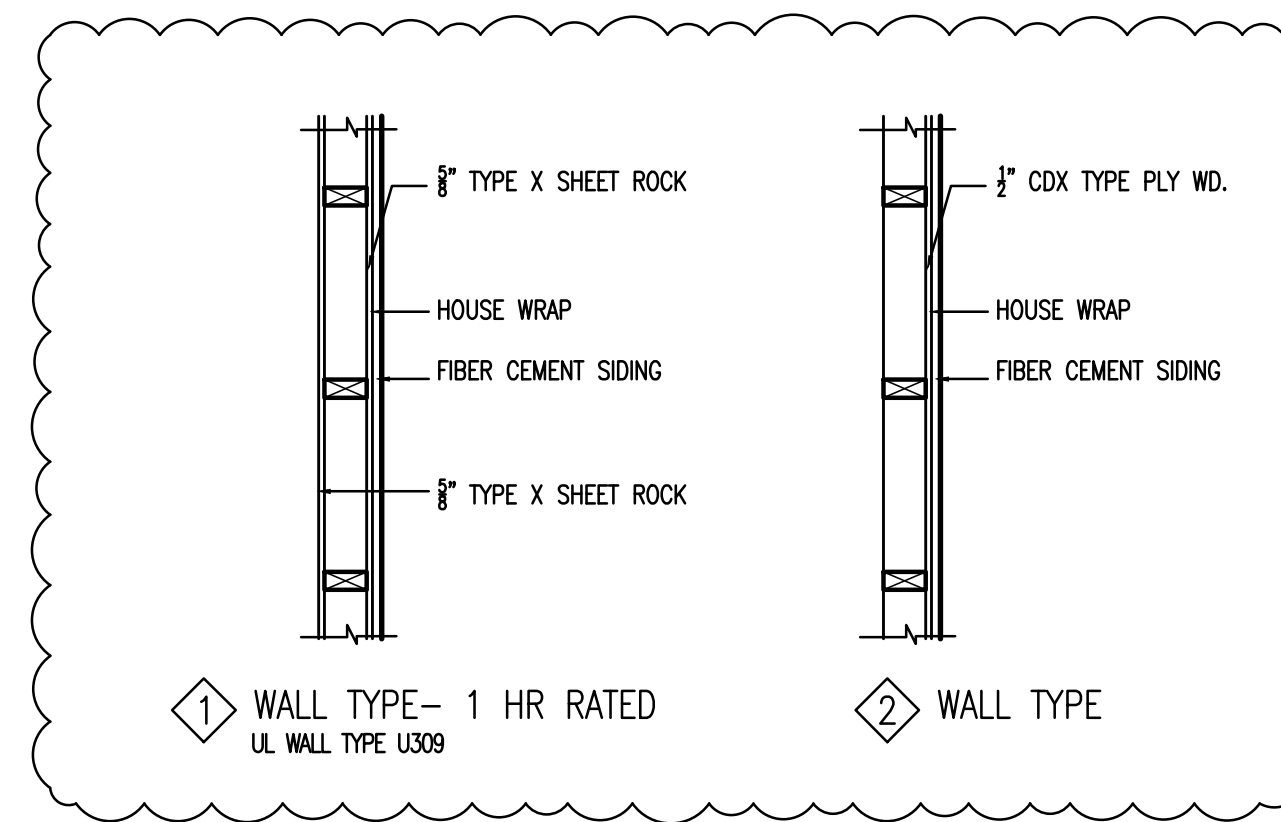
3 ROOF PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- CONTRACTOR IS TO VERIFY ALL CONDITIONS AND NOTIFY ARCHITECT & HOME OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- ALL DIMENSIONS TO BE APPROVED BY HOME OWNER
- CONTRACTOR TO REMOVE ANY STRAY PAINT, DIRT, OR STAINS INCURRED DURING THE CONSTRUCTION PROCESS. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TEMPORARY EQUIPMENT COVERINGS USED DURING CONSTRUCTION AND HE SHALL ALSO BE RESPONSIBLE FOR THE REMOVING OF HIS TRASH OFF OF THE JOB SITE DAILY
- ALL HEADERS TO BE FULLY ADHERED TOGETHER AND NAILED W/ 10P NAILS ON 6" CENTERS
- ALL WALL INFILL LOCATIONS CONSTRUCTION AS TO BE 2x CONSTRUCTION TYPE TO ALLOW FINISH SURFACES TO ALIGN W/ EXISTING FRAMING
- ALL NEW EXTERIOR WALLS TO BE 2x6 STUDS 16"O.C. MAX W/ 1/2" CDX PLY WD ON THE EXTERIOR W/ TYKEX TYPE HOUSE WRAP (ALL SEAMS TAPED), W/ HARDBOARD TYPE SIDING
- THIS PROJECT DOES NOT ADD TO THE EXISTING BEDROOM COUNT. THERE IS NO ADDITIONAL BEDROOMS CREATED BY THIS DESIGN
- ALL DOOR OPENINGS ARE TO RECEIVE (2) 2X10 HEADER UON



5 POWER & LIGHTING PLAN
SCALE: 1/4"=1'-0"



ELECTRICAL NOTES

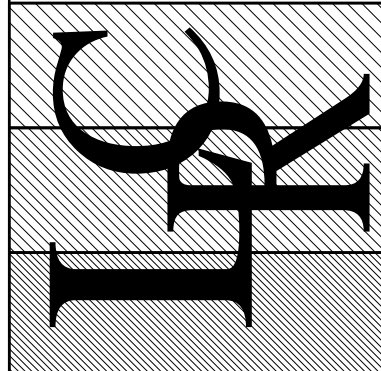
- ALL MATERIAL USED SHALL BE NEW, BEST OF THEIR RESPECTIVE KINDS, FREE FROM DEFECTS AND CONFORM TO THE REQUIREMENTS OF ALL LOCAL, STATE, AND NATIONAL AUTHORITIES HAVING JURISDICTION.
- SUBCONTRACTORS SHALL FILE ELECTRICAL PERMITS, PAY FOR ALL FEES AND HAVE THEIR WORK INSPECTED BY STATE AND LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL SECURE ANY AND ALL CERTIFICATES OF COMPLIANCE AND/OR INSPECTION ISSUED BY SAID AGENCIES. ANY MODIFICATION OR CHANGE CALLED FOR BY AUTHORITIES HAVING JURISDICTION SHALL BE MADE WITHOUT ADDITIONAL CHARGE.
- ARCHITECTURAL DRAWINGS FOR ELECTRICAL ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF THE WORK REQUIRED. EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES AS REQUIRED TO AVOID INTERFERENCES AND INSURE PROPER INSTALLATION.
- ALL SUBCONTRACTORS SHALL LAY OUT THEIR WORK IN ADVANCE SO ALL NECESSARY ACCOMMODATIONS FOR IT CAN BE MADE AS REQUIRED. UNNECESSARY CUTTING OF THE STRUCTURE IS TO BE AVOIDED. SHOULD A CONTRACTOR REQUIRE CUTTING FOR THE INSTALLATION OF HIS WORK HE SHALL COORDINATE HIS REQUIREMENTS WITH OTHER CONTRACTORS AND THE ARCHITECT AND PAY ALL COSTS FOR SAID CUTTING, STRENGTHENING, AND ANY PATCHING THAT MAY RESULT.
- ANY RIGGING AND HOISTING REQUIRED BY ANY CONTRACTOR SHALL BE DONE BY HIM AS A NORMAL PART OF HIS INSTALLATION PROCEDURES.
- ACCESSORIES NEEDED TO MAKE THE INSTALLATION OF EACH SUBCONTRACTOR PERFECT AND COMPLETE IN ALL RESPECTS AND READY FOR OPERATION, EVEN IF NOT PARTICULARLY CALLED FOR, SHALL BE FURNISHED, DELIVERED AND INSTALLED HEREIN WITHOUT ADDITIONAL COST. INCLUDED HERE UNDER SHALL BE, BUT NOT LIMITED TO, THE INCIDENTAL OR MINOR ITEMS THAT ARE NOT SHOWN OR SPECIFIED, BUT WHICH ARE CONSIDERED AS NECESSARY FOR THE PROPER FUNCTIONING OF THE INSTALLATION BY TRADE CUSTOM AND/OR STANDARD PRACTICE, OR SPECIAL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- ALL WORK SHALL BE INSTALLED READILY ACCESSIBLE FOR OPERATION, MAINTENANCE, AND REPAIRS. EQUIPMENT INSTALLED AS A PART HEREOF IS TO BE FULLY GUARANTEED FOR ONE (1) YEAR AGAINST FAULTY PARTS AND WORKMANSHIP FROM THE DATE OF ACCEPTANCE OR FINAL PAYMENT, WHICHEVER COMES LATER.
- UNLESS OTHERWISE NOTED, ALL WALL SWITCHES SHALL BE MOUNTED 3'-0" .F.F. TO CENTER AND ALIGN WITH DOOR HARDWARE AT 3'-0" A.F.F.
- ALL MULTI-GANG FACE PLATES SHALL BE ONE PIECE.
- ALL MATERIAL, EQUIPMENT, AND FIXTURES, INCLUDING THOSE SUPPLIED BY OWNER AND INSTALLED BY G.C., MUST BE IN COMPLIANCE WITH U.I.
- ALL ELECTRICAL WORK IS TO BE PERFORMED BY A LICENSED ELECTRICIAN
- ALL FIXTURES AND FINISHES ARE TO BE SUPPLIED BY OWNER & INSTALLED BY G.C. U.O.N.
- NO BEDROOMS ARE ADDED AS PART OF THIS DESIGN

RCP / POWER LEGEND

- WALL MTD. DUPLEX ELEC. OUTLET
- HARDWIRED BATTERY BACKED UP WALL MTD. CARBON MONOXIDE DETECTOR PER NYS CODE
- HARDWIRED BATTERY BACKED -UP SMOKE DETECTOR. ALL ARE TO BE INTERCONNECTED
- INSULATION CONTACT DOWN LIGHT
- WALL MTD. LIGHT SWITCH
- WALL MTD. LIGHT SCONCE

PROPOSED PROJECT SHALL COMPLY WITH THE NEW YORK STATE BUILDING CODE FOR RESIDENTIAL (2020 NYS RESIDENTIAL CODE, 2020 PLUMBING CODE OF NYS, NATIONAL ELECTRIC CODE 2017 OF NYS)

LEWIS C ROANE
ARCHITECT
3 WINDSOR ROAD
CROTON-ON-HUDSON, NEW YORK
TEL (914) 394-1802
LEWISROANEDESIGN@GMAIL.COM



REVISION	DATE	ISSUE
	5/20/2024	ISSUED FOR FILING
	5/25/2024	REVISED PER TOWN COMMENT

PROPOSED GARAGE FOR:
THE ROANE RESIDENCE
3 WINDSOR RD
CROTON ON HUDSON, NY 10520

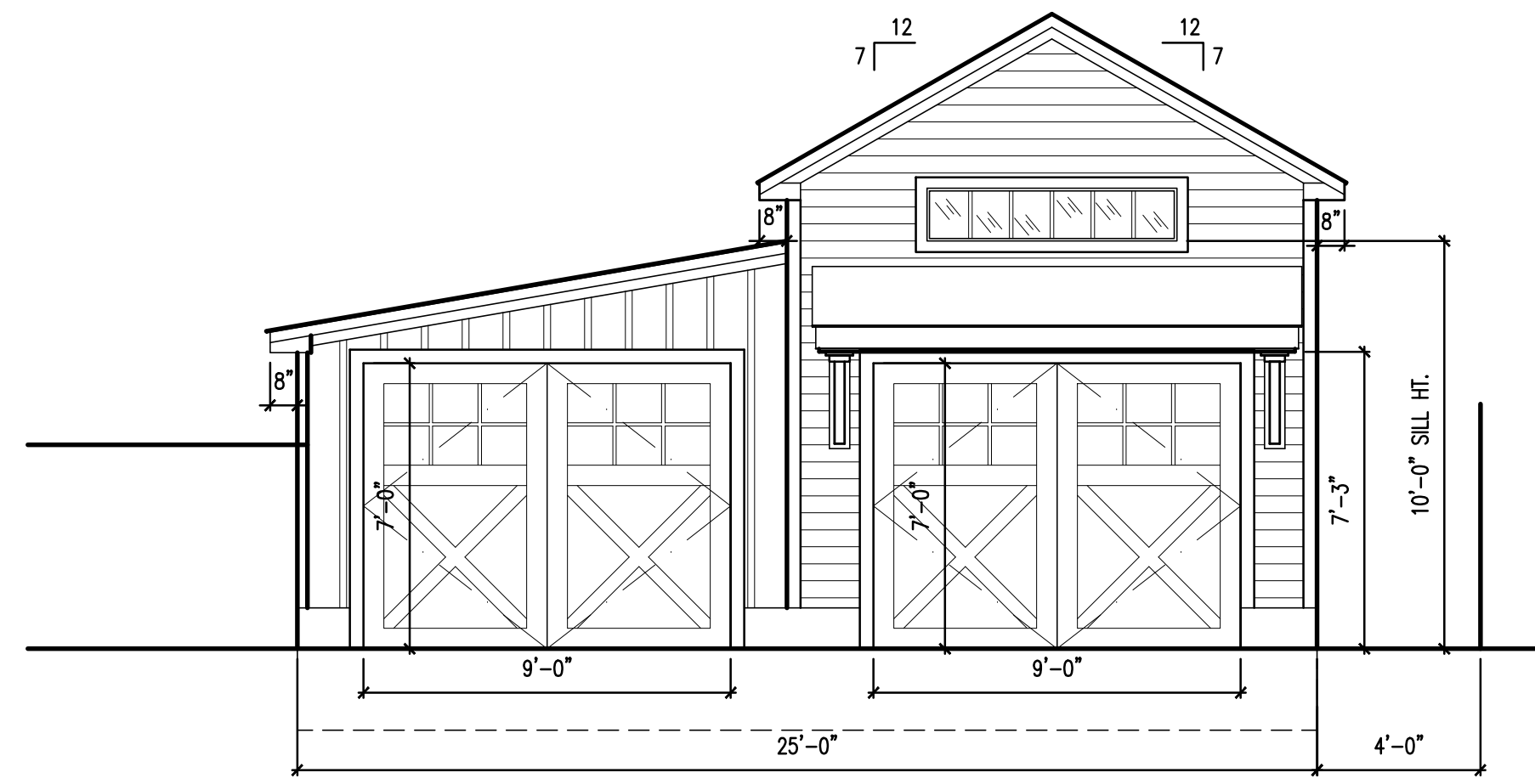
CONSTRUCTION PLANS



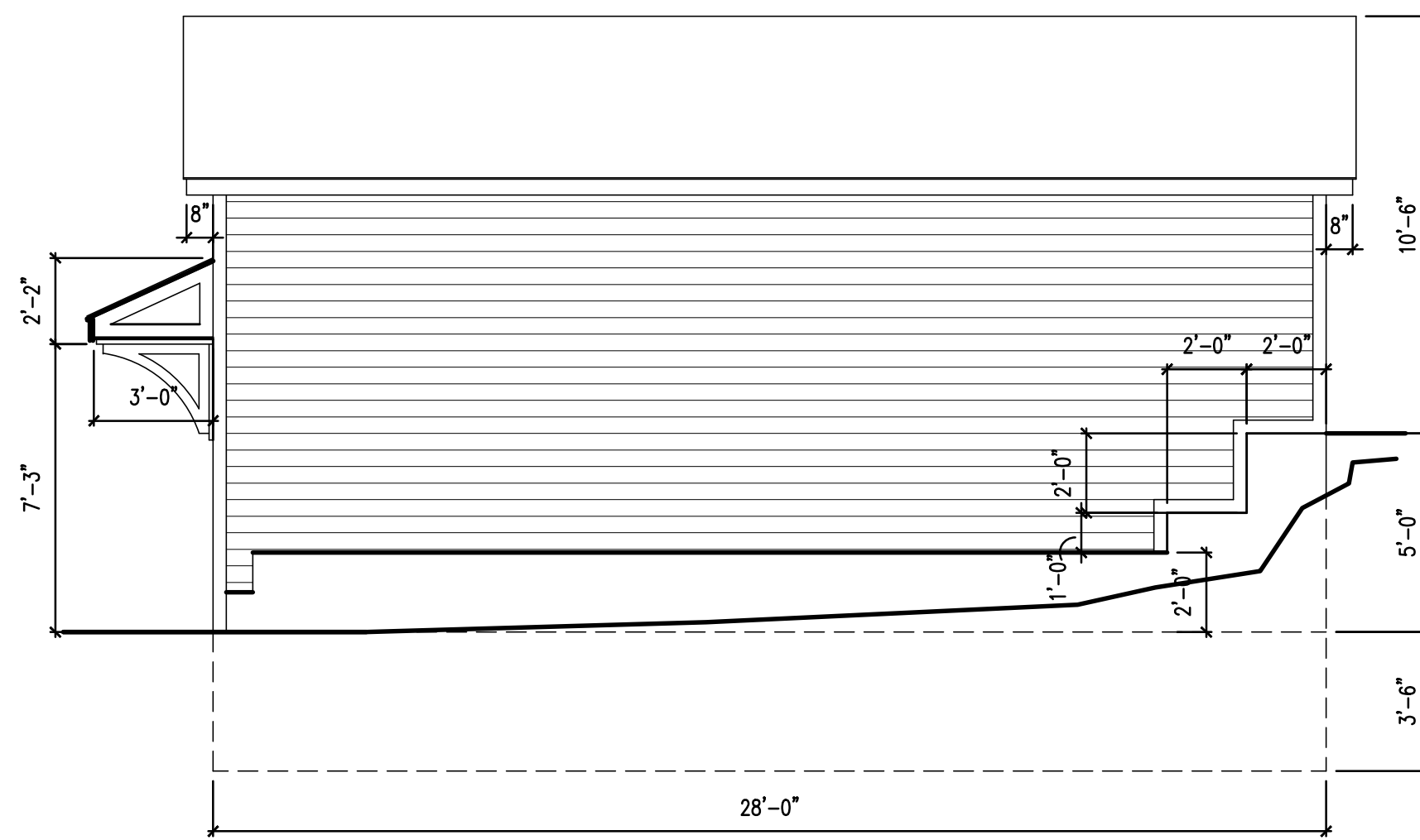
DATE 5/07/2024
SCALE AS NOTED

DRAWING NUMBER
A-3

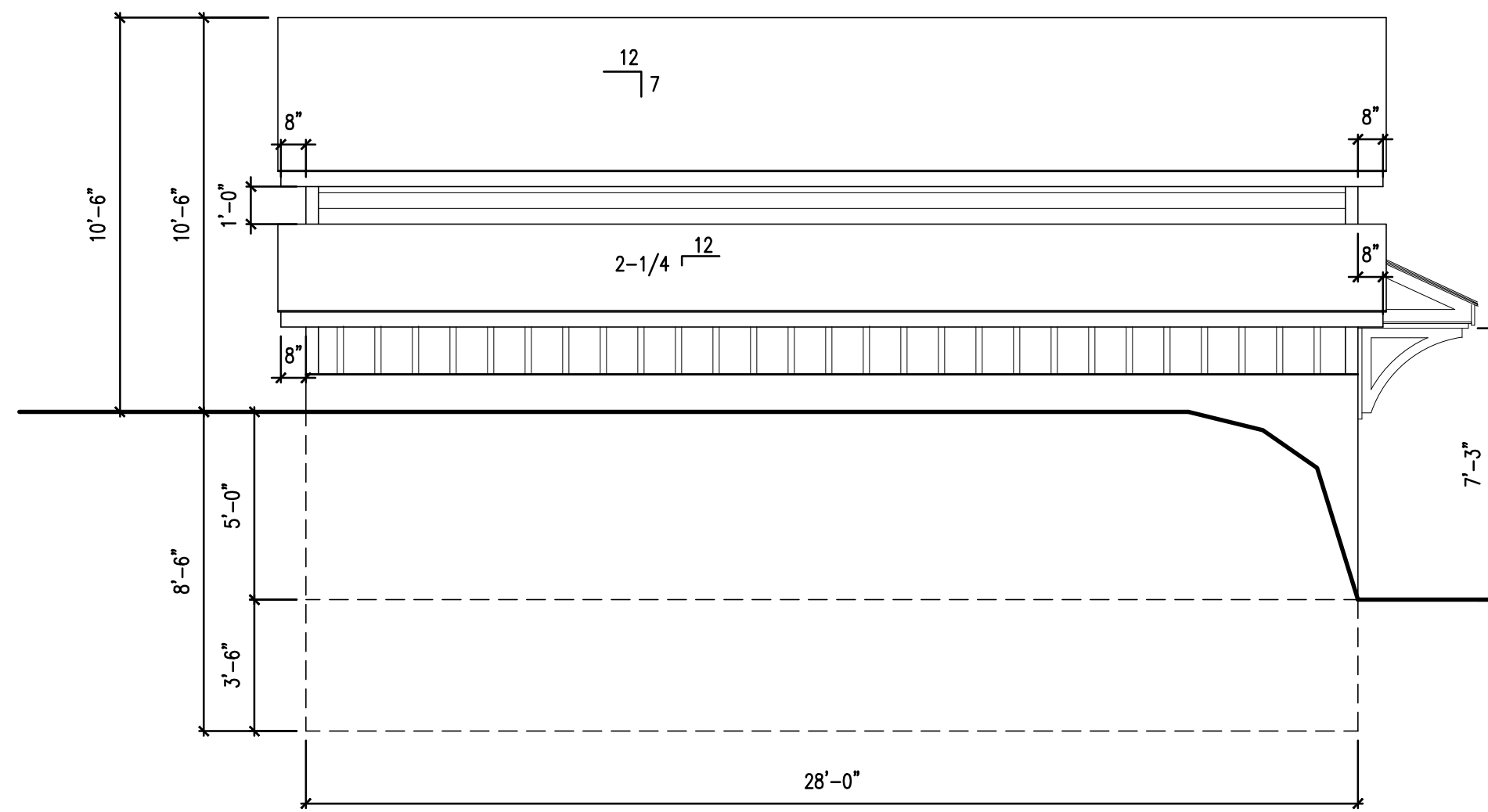
IT IS A VIOLATION FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



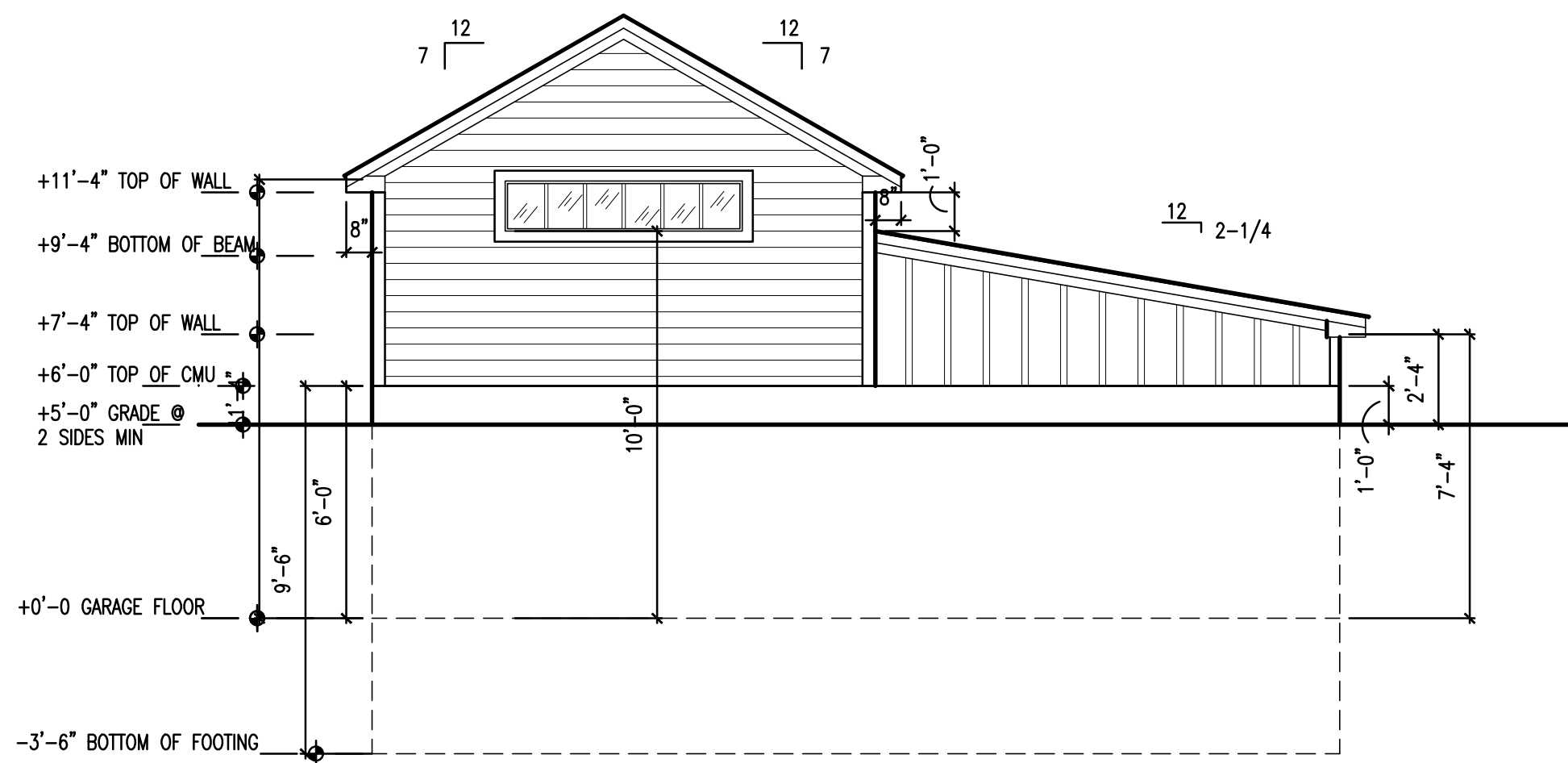
1 EAST ELEVATION
SCALE: 1/4"=1'-0"



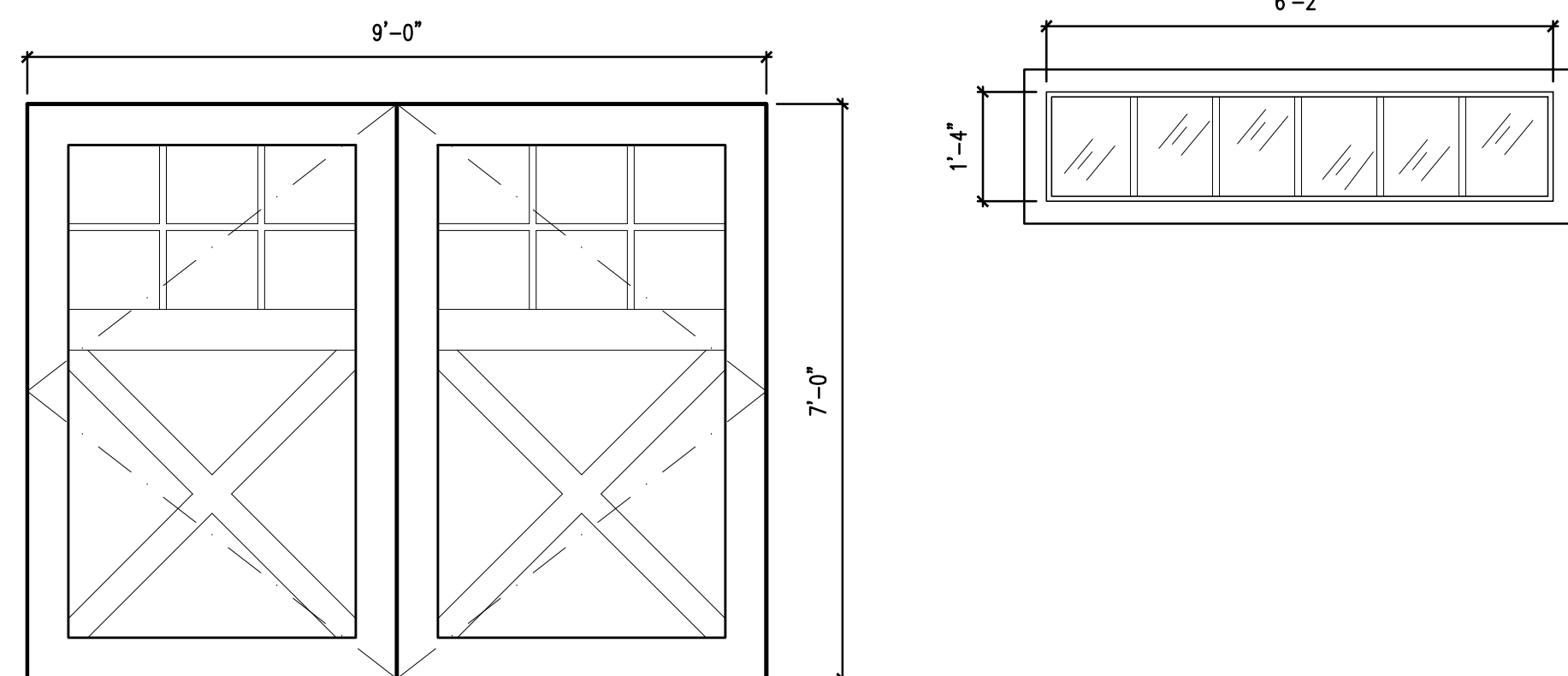
2 NORTH ELEVATION
SCALE: 1/4"=1'-0"



3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



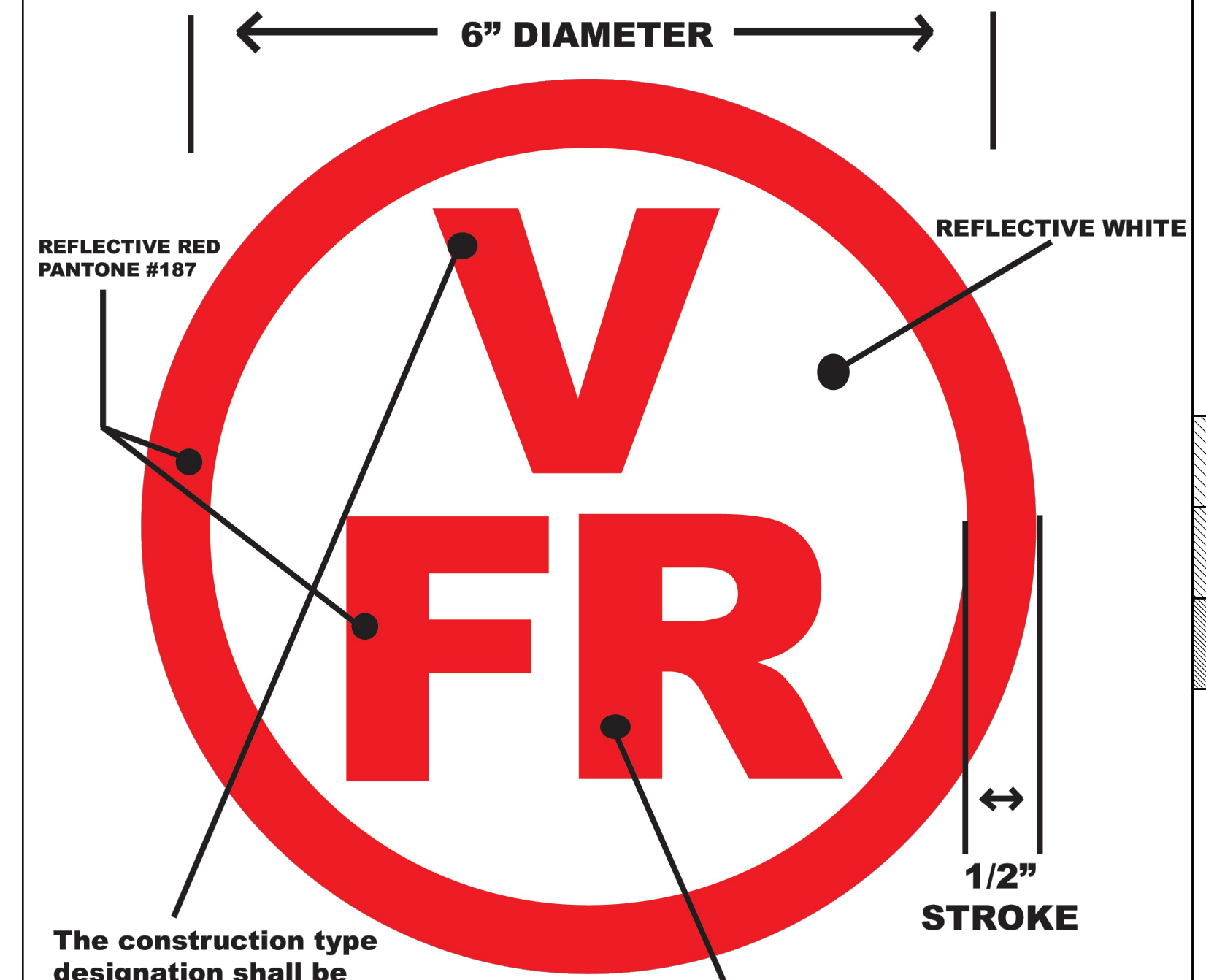
4 WEST ELEVATION
SCALE: 1/4"=1'-0"



GARAGE DOOR AS SELECTED BY HOMEOWNER

CUSTOM WINDOW AS SELECTED BY HOMEOWNER

5 WINDOW SCHEDULE
SCALE: 1/2"=1'-0"



The construction type designation shall be "F", "R", "FR" or "VFR" to indicate the construction classification of the structure under section 602 of the BCNYS

DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS TYPE CONSTRUCTION

"F"	FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR AND ROOF FRAMING



NOTICE OF UTILIZATION OF TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION IN RESIDENTIAL STRUCTURES
(In accordance with Title 19 NYCRR PART 1265)

OWNER OF PROPERTY: LEWIS & PAGE ROANE

SUBJECT PROPERTY (ADDRESS AND TAX MAP NUMBER): 3 WINDSOR ROAD, CROTON ON HUDSON, NY 10520

PLEASE TAKE NOTICE THAT THE (CHECK ALL THAT APPLY):

- New Residential Structure
- Addition to Existing Residential Structure
- Rehabilitation to Existing Residential Structure

TO BE CONSTRUCTED OR PERFORMED AT THE SUBJECT PROPERTY REFERENCE ABOVE WILL UTILIZE (check each applicable line):

- Truss Type Construction (TT)
- Pre-Engineered Wood Construction (PW)
- Timber Construction (TC)

IN THE FOLLOWING LOCATION(S) (CHECK APPLICABLE LINE):

- Floor Framing, Including Girders and Beams (F)
- Roof Framing (R)
- Floor Framing and Roof Framing (FR)

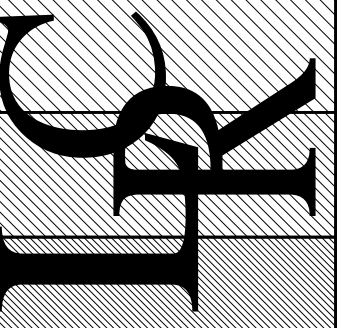
SIGNATURE: *Lewis C Roane* DATE: MAY 5, 2024

PRINT NAME: LEWIS C ROANE

CAPACITY (Check One): Owner Owner's Representative

OWNER'S REPRESENTATIVE: UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

LEWIS C ROANE
ARCHITECT
3 WINDSOR ROAD
CROTON-ON-HUDSON, NEW YORK
TEL (914) 330-1802
LEWISROANEDESIGN@GMAIL.COM



REVISION	DATE	ISSUE
	5/20/2024	ISSUED FOR FILING
	5/25/2024	REVISED PER TOWN COMMENT

PROPOSED GARAGE FOR:
THE ROANE RESIDENCE
3 WINDSOR RD
CROTON ON HUDSON, NY 10520

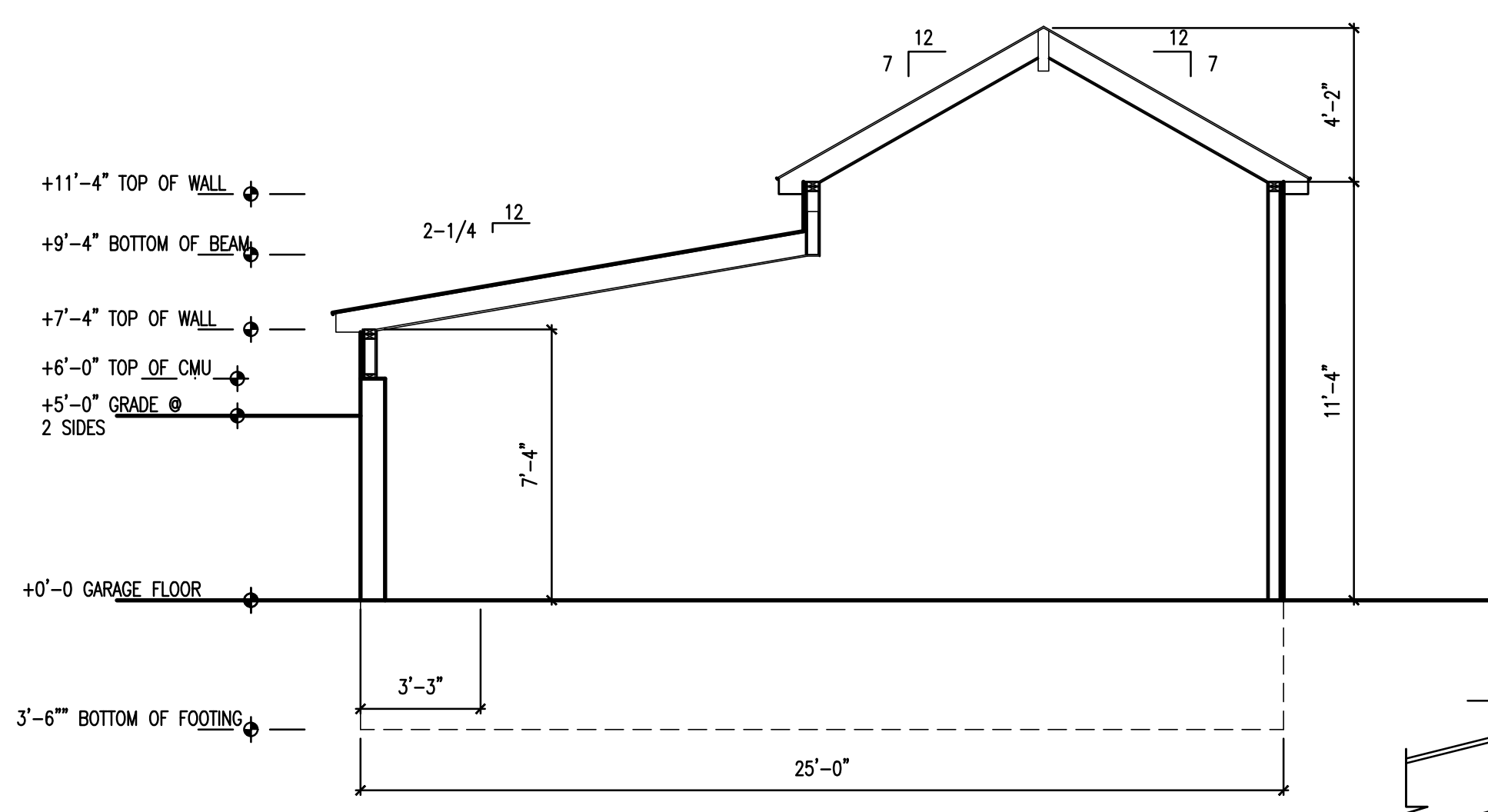
DRAWING TITLE
ELEVATIONS & DETAILS



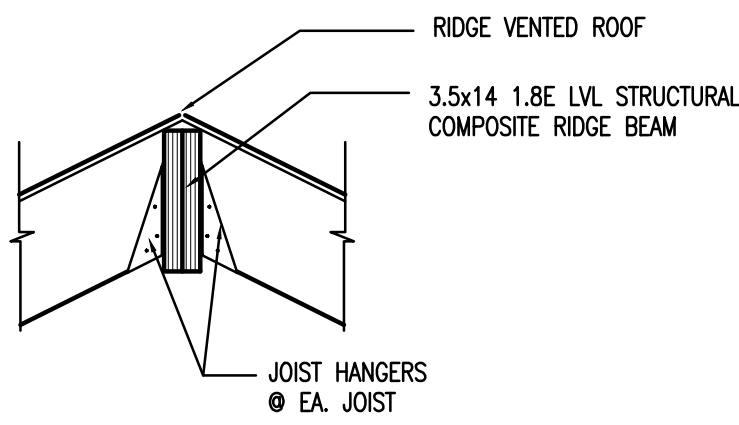
DATE: 5/05/2024

SCALE: AS NOTED

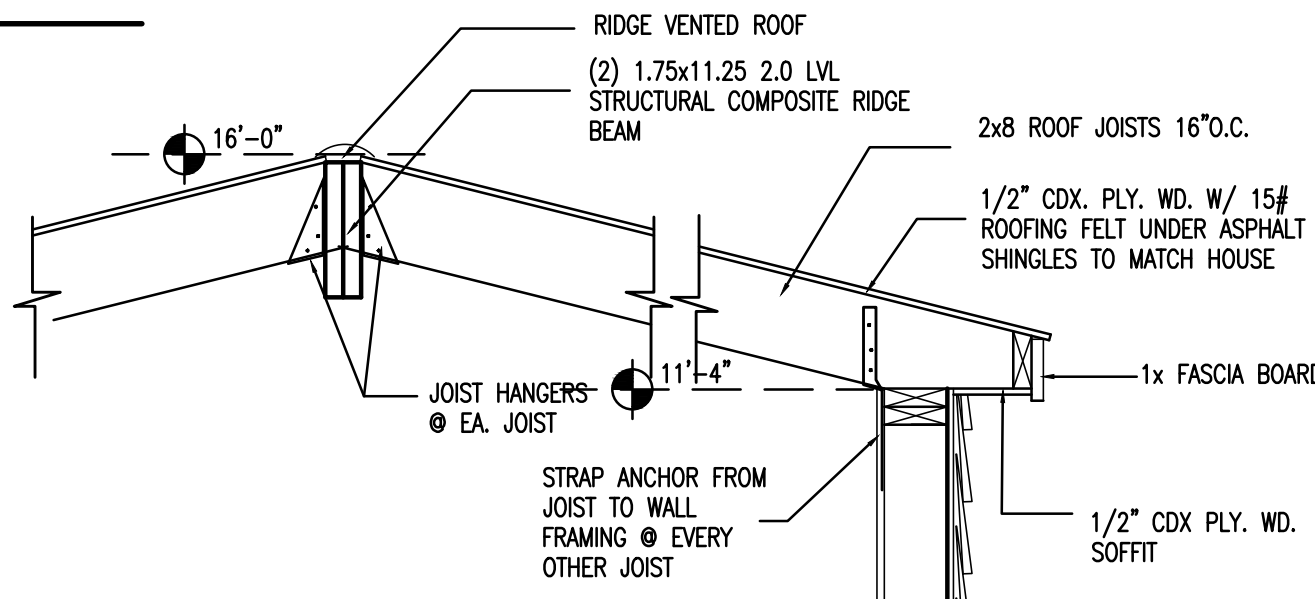
DRAWING NUMBER
A-4



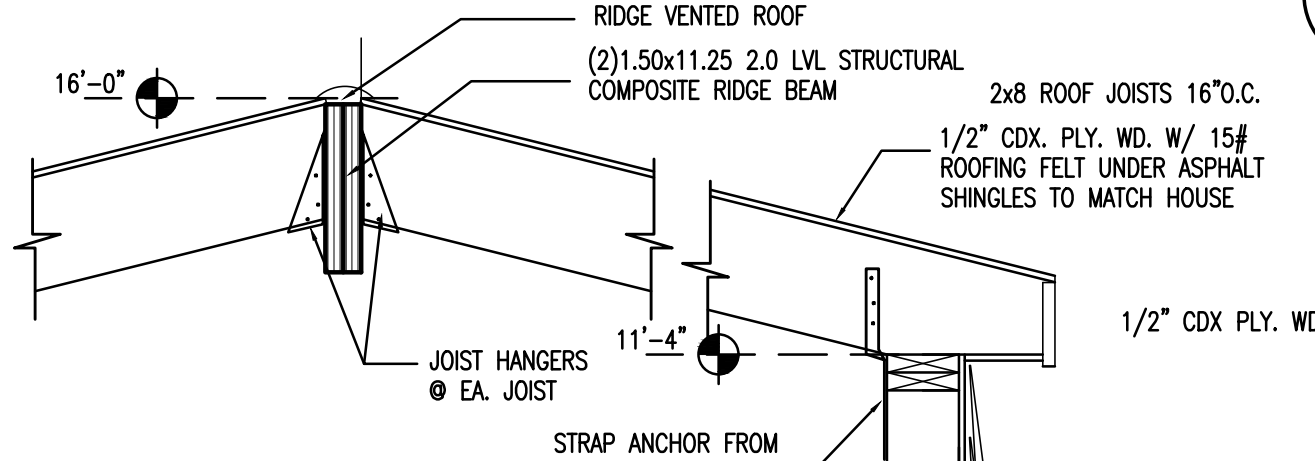
1 BUILDING SECTION
SCALE: 1/4"=1'-0"



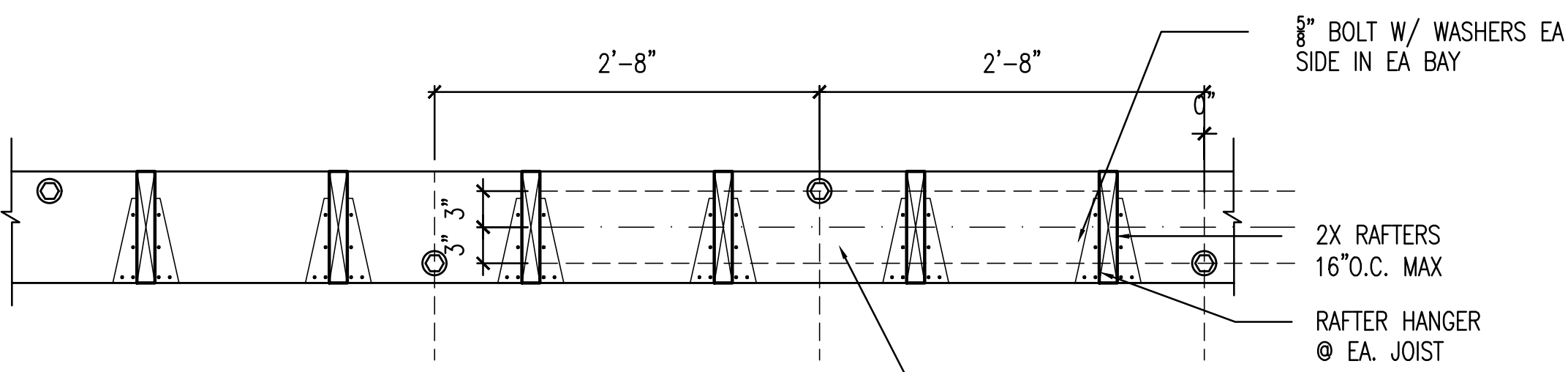
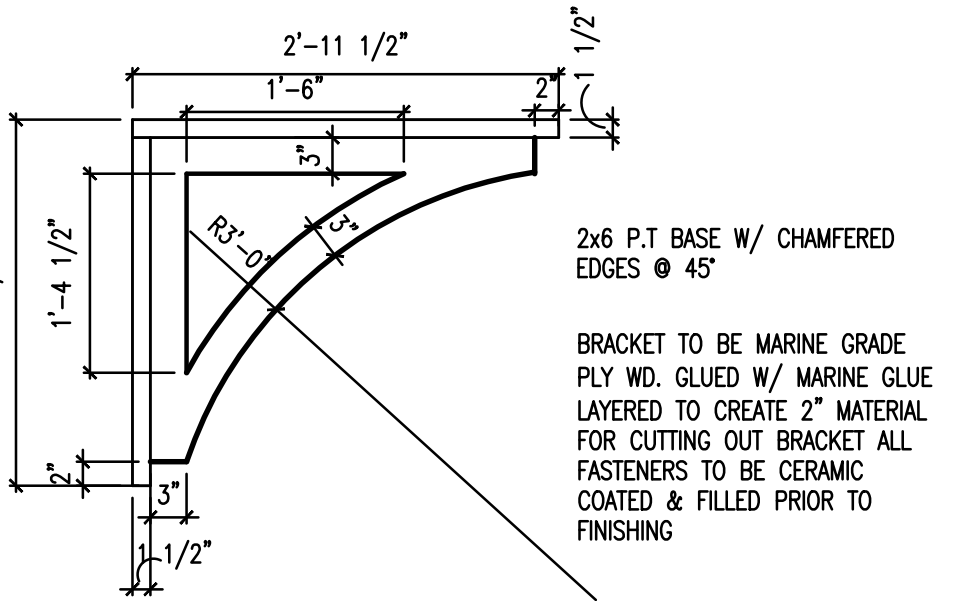
2 RIDGE DETAIL
SCALE: 1-1/2"=1'-0"



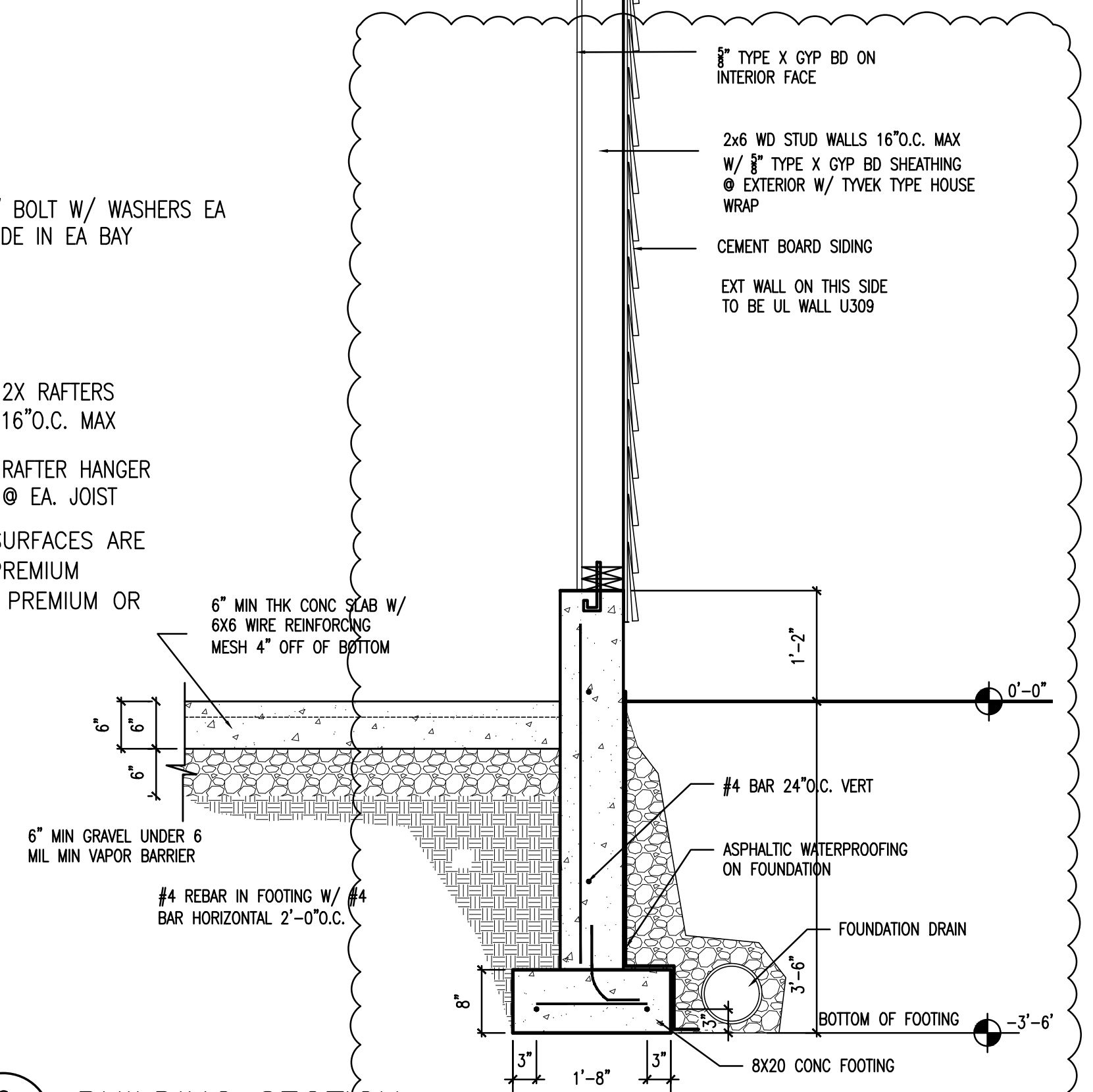
3 AWNING DETAIL
SCALE: 3/4"=1'-0"



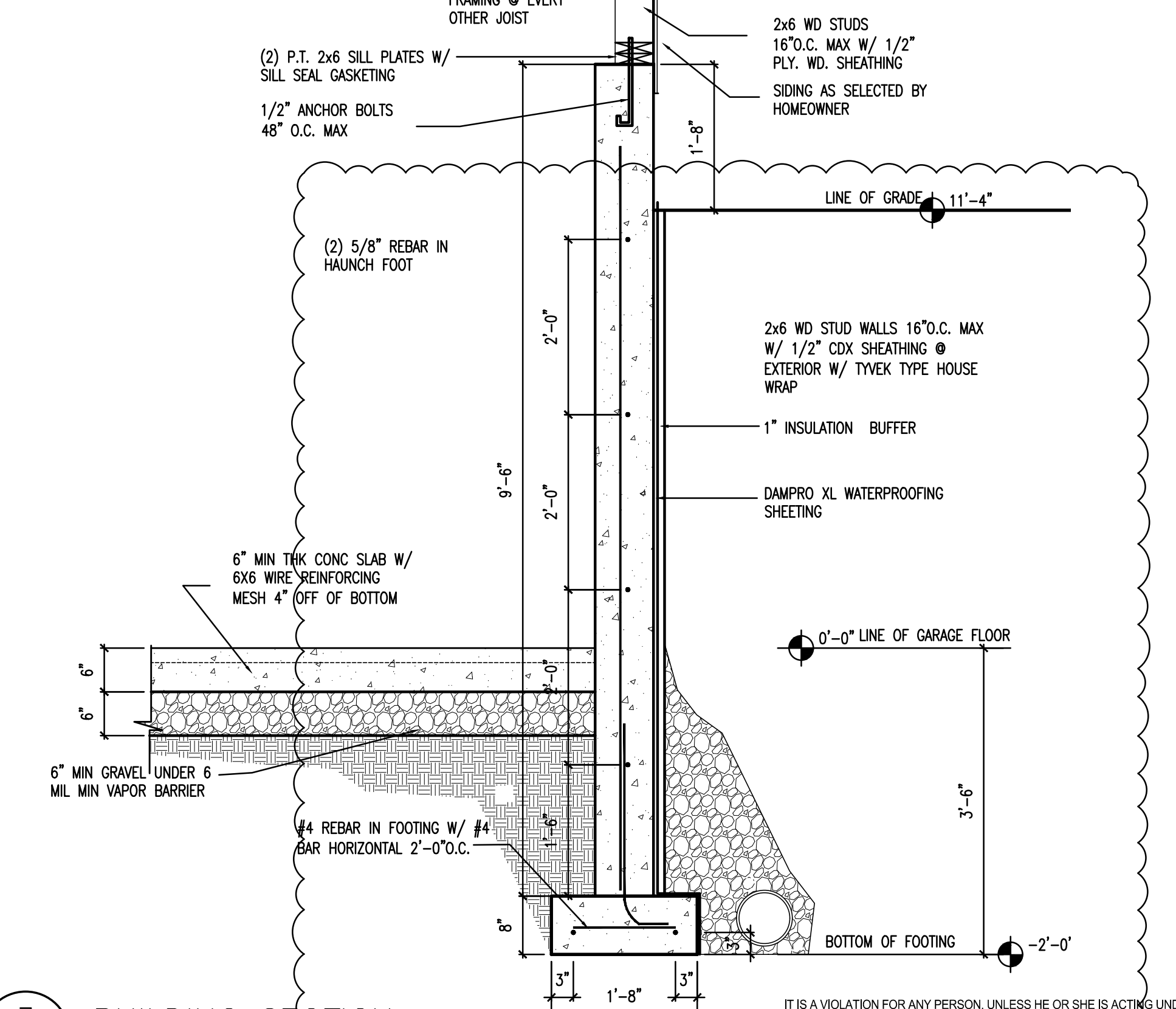
4 BRACKET DETAIL
SCALE: 3/4"=1'-0"



5 BOLTING DETAIL
SCALE: N.T.S.

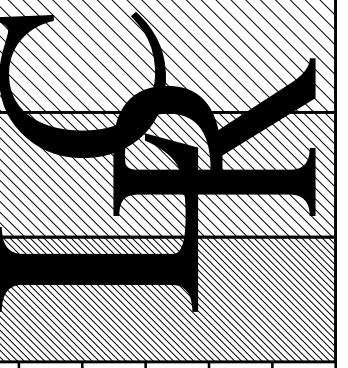


6 BUILDING SECTION
SCALE: 3/4"=1'-0"



7 BUILDING SECTION
SCALE: 3/4"=1'-0"

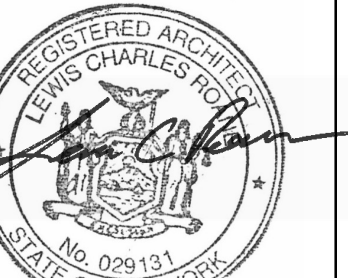
LEWIS C ROANE
ARCHITECT
3 WINDSOR ROAD
CROTON-ON-HUDSON, NEW YORK
TEL (914) 391-1802
LEWISROANEDESIGN@GMAIL.COM



REVISION	DATE	ISSUE
	5/20/2024	ISSUED FOR FILING
	5/25/2024	REVISED PER TOWN COMMENT

PROPOSED GARAGE FOR:
THE ROANE RESIDENCE
3 WINDSOR RD
CROTON ON HUDSON, NY 10520

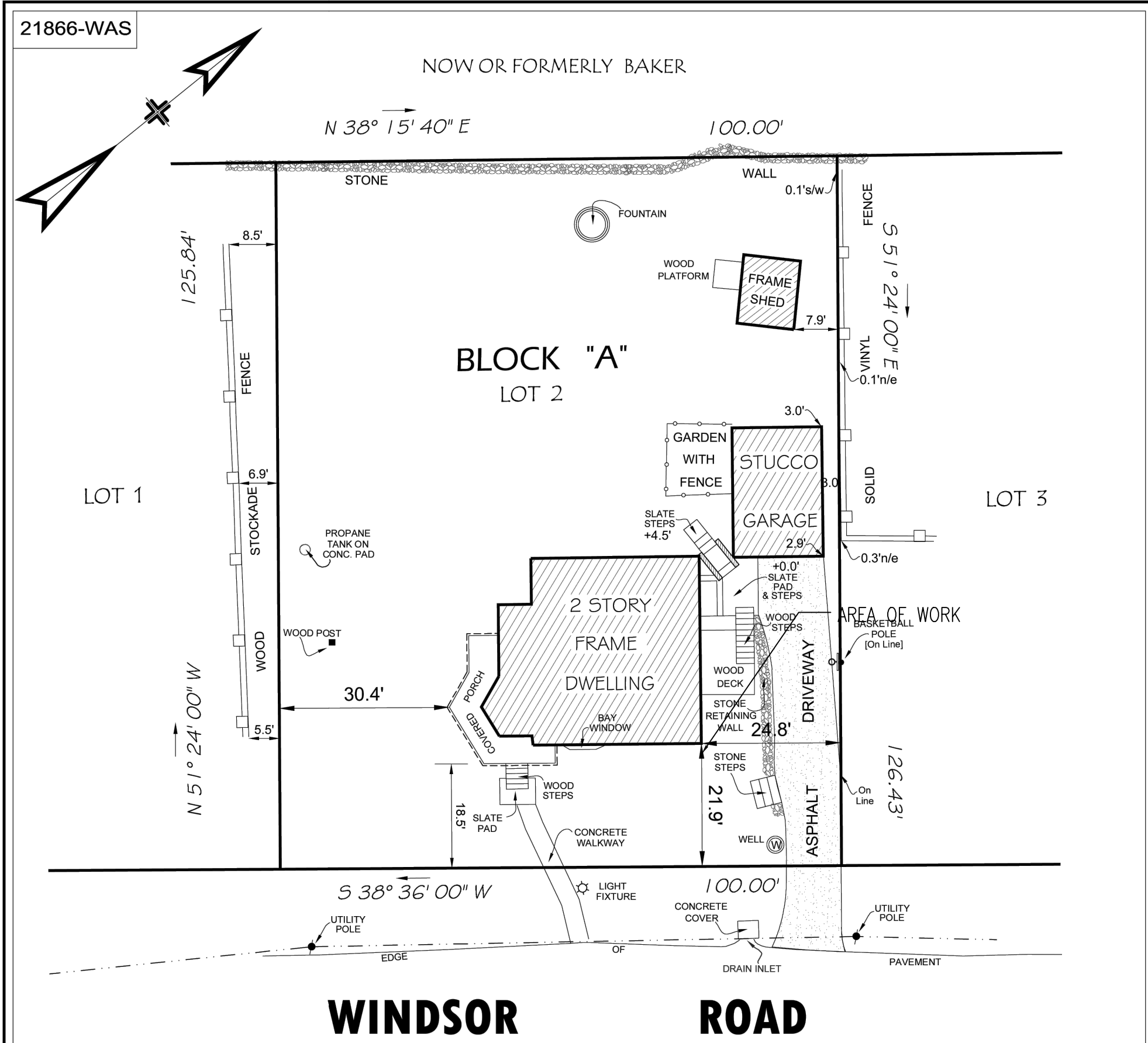
DRAWING TITLE
ELEVATIONS & DETAILS



DATE: 5/17/2024
SCALE: AS NOTED

DRAWING NUMBER
A-5

IT IS A VIOLATION FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY [NAME], [DATE], [REASON]" TO THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

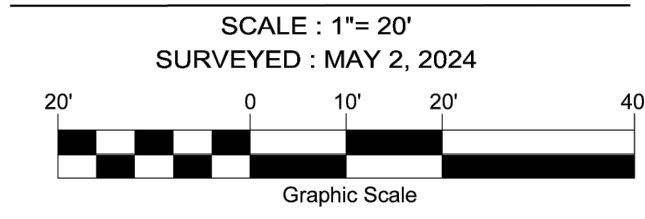


WINDSOR ROAD

- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF CORTLANDT MAP 68.05 * BLOCK 2 * LOT 38 STREET ADDRESS: 3 WINDSOR ROAD PROPERTY AREA: 12,613 Sq. Ft. / 0.2896 AC
- THE PREMISES SHOWN HEREON DESIGNATED AS LOT 2 IN BLOCK A ON A CERTAIN MAP ENTITLED, "MAP OF SECTION 1, WINDSOR ESTATES, INC., LOCATED IN THE TOWN OF CORTLANDT, WESTCHESTER CO., N.Y." MADE BY WILLIAM J. B. COGLEY, CIVIL ENGINEER AND SURVEYOR, DATED APRIL 18, 1939 AND FILED IN THE COUNTY CLERK'S OFFICE OF WESTCHESTER COUNTY DIVISION OF LAND RECORDS JUNE 19, 1939 AS MAP NO. 4963 ALSO BEING THE SAME AS DESCRIBED IN CONTROL NUMBER 402720518
- SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES. FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 2209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING "CODE OF PRACTICE FOR LAND SURVEYS" ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR:
LEWIS ROANE

SURVEY OF PROPERTY SITUATE IN THE TOWN OF CORTLANDT WESTCHESTER COUNTY NEW YORK



JRL LAND SURVEYING P.C. Malpas, N.Y. 10541

Digitally signed by JRL
DN: cn=JRL, o=JRL, email=jrl@jrlsurveying.com, c=US, serial=2024051420240514

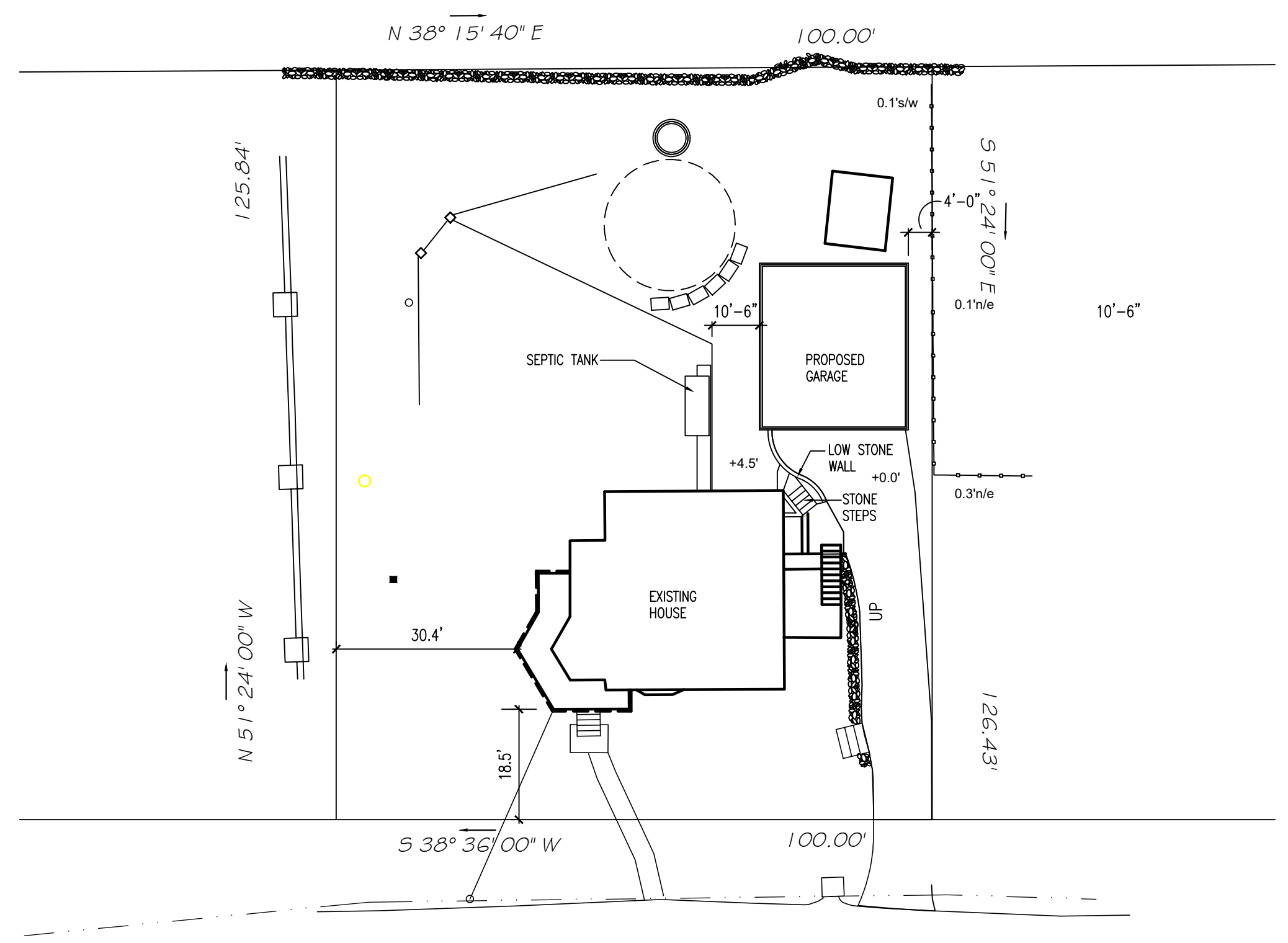
Joseph R. Link
NEW YORK STATE LICENSED LAND SURVEYOR NO. 050456

Joseph R. Link
NEW YORK STATE LICENSED LAND SURVEYOR SEAL

Phone: 914-941-1440 Web: http://jrlsurveying.com

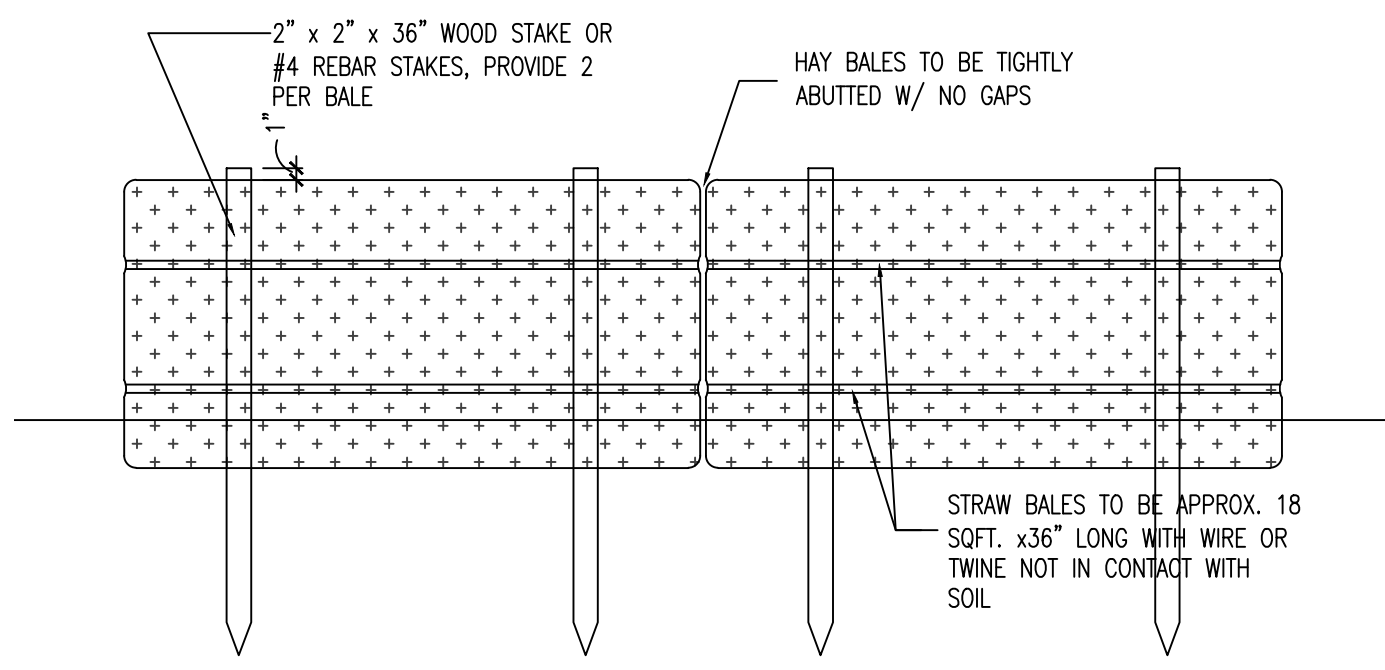
© COPYRIGHT 2024 JRL LAND SURVEYOR P.C. ALL RIGHTS RESERVED. THE UNAUTHORIZED REPRODUCTION AND DISTRIBUTION OF THIS DOCUMENT IS ILLEGAL, AND IS A VIOLATION UNDER UNITED STATES COPYRIGHT LAWS.

1 EXIST SITE
SCALE: 1"=20'-0"

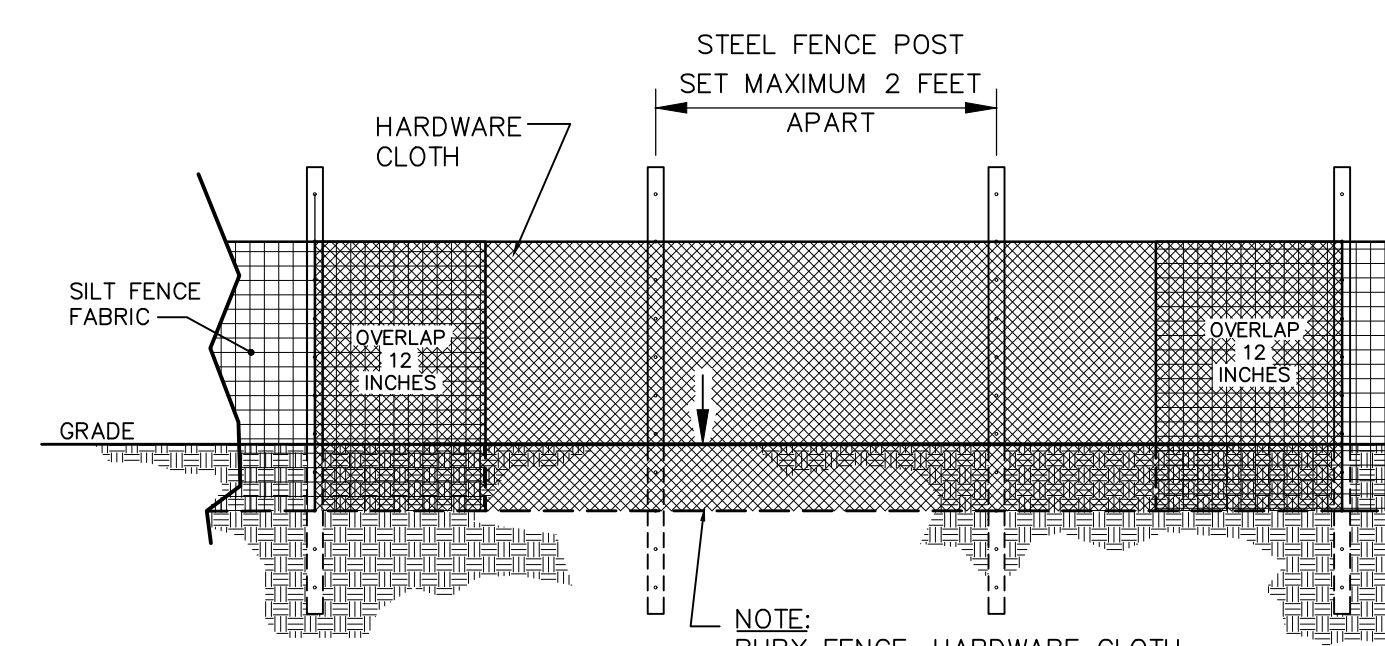


2 PROPOSED SITE
SCALE: 1"=20'-0"

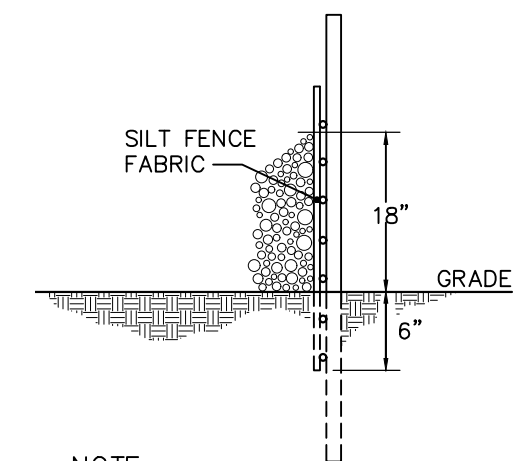
IMPERVIOUS SURFACE	AREA OF COVERAGE (SQFT)	
	EXISTING	PROPOSED
HOUSE	1440	1440
GARAGE		780
DRIVEWAY	1812	1152
PATIO	320	320
WALKWAY	270	256
GAZEBO	166	166
SHALLOW KOI POND	295	295
TOTAL	4,303	4,409
NET ADD OF IMPERVIOUS		106 SQFT



3 HAY BALE EROSION CONTROL
SCALE: N.T.S.



4 SILT FENCE EROSION CONTROL
SCALE: N.T.S.

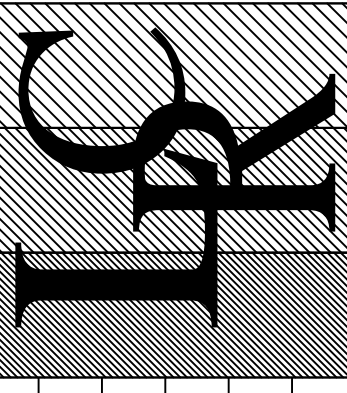


4 SILT FENCE EROSION CONTROL
SCALE: N.T.S.

NOTES

- NO CHANGE TO EXISTING SITE CONTOUR. NO SOIL TO BE IMPORTED TO THE SITE. ALL EXTRA SOIL TO BE TRUCKED OFF SITE.
- NO TREES WILL BE REMOVED AS PART OF THIS PROJECTS SITE WORK.
- THE EXISTING SANITARY SYSTEM WILL NOT BE IMPACTED BY THIS PROJECT.
- NO BEDROOMS WILL BE ADDED TO THE HOUSE AS PART OF THIS PROJECT.
- NO PORTION OF THIS PROJECT IS WITHIN 100'-0" OF A STREAM, WETLAND OR WATER COURSE.
- NO CONSTRUCTION AND DEMOLITION DEBRIS OR RECYCLED MATERIAL IS PERMITTED ANYWHERE AS FILL ON THIS SITE.

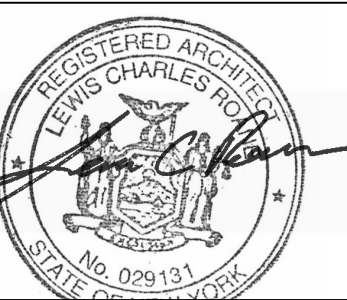
LEWIS C ROANE
ARCHITECT
3 WINDSOR ROAD
CROTON-ON-HUDSON, NEW YORK
TEL (914) 330-1802
LEWISROANEDESIGN@GMAIL.COM



REVISION	DATE	ISSUE
	5/20/2024	ISSUED FOR FILING

PROJECT NAME:
**PROPOSED GARAGE FOR:
THE ROANE RESIDENCE
3 WINDSOR RD
CROTON ON HUDSON, NY 10520**

DRAWING TITLE:
SITE PLAN



DATE: 5/25/2024
SCALE: AS NOTED

DRAWING NUMBER:
S-1

IT IS A VIOLATION FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



1



2



3

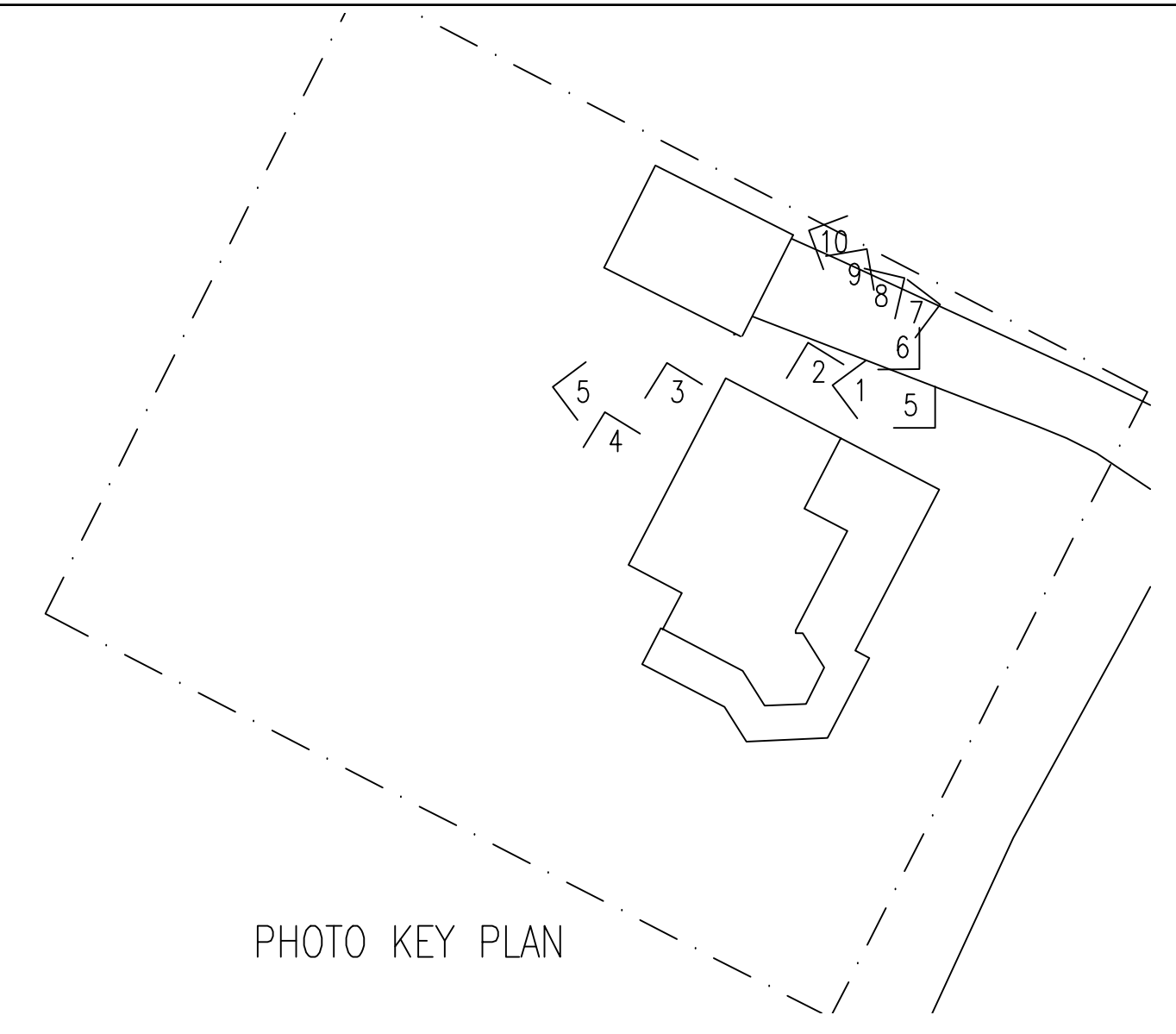
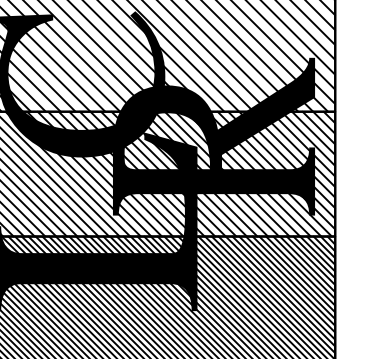


PHOTO KEY PLAN

LEWIS C ROANE
ARCHITECT
3 WINDSOR ROAD
CROTON-ON-HUDSON, NEW YORK
TEL (914) 330-1802
LEWISROANEDESIGN@GMAIL.COM



REVISION	DATE	ISSUE
	5/20/2024	ISSUED FOR FILING
	5/25/2024	REVISED PER TOWN COMMENT



4



5



6



7



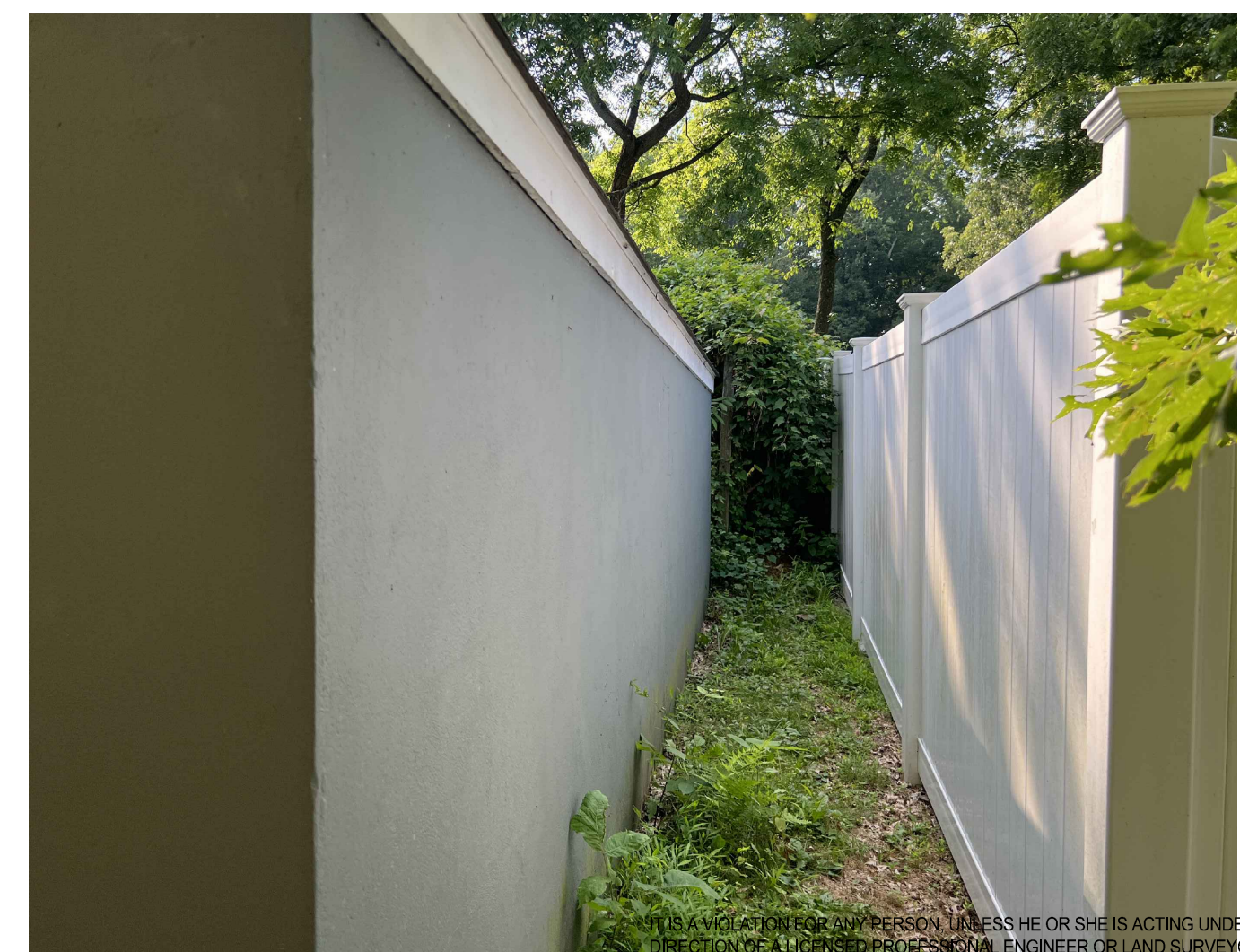
7



8



9

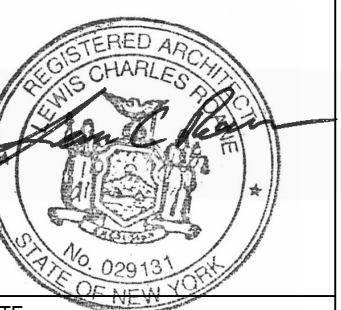


10

PROPOSED GARAGE FOR:
THE ROANE RESIDENCE
3 WINDSOR RD
CROTON ON HUDSON, NY 10520

PROJECT NAME

DRAWING TITLE
SITE PHOTOS



DATE 7/17/2024

SCALE AS NOTED

DRAWING NUMBER
ST-1

THIS DOCUMENT IS THE PROPERTY OF LEWIS C. ROANE ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR ALTERED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF LEWIS C. ROANE ARCHITECT. ANY ALTERATION TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF LEWIS C. ROANE ARCHITECT SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO LEWIS C. ROANE ARCHITECT.

ZONING BOARD OF APPEALS FACT SHEET

ZBA Member Assigned: Beloff

CASE NO.: 2024-6

Name of Applicant: Lewis Roane, R.A.

Owner: Same

Address of property: 3 Windsor Road

Section, Block, Lot: 65.08-2-38

Prior ZBA Case No.: Case # 92-02

Zone: R-10

Lot Size: 12, 613 sq. ft.

Request: An area variance under Section of the Zoning Code: 307-17 Table of Dimensional Regulations, Accessory Residential Structures; Detached Building Height, 10 feet permitted, 11.4 ft. requested, for a proposed 2-car accessory garage to replace an existing 1-car accessory garage.

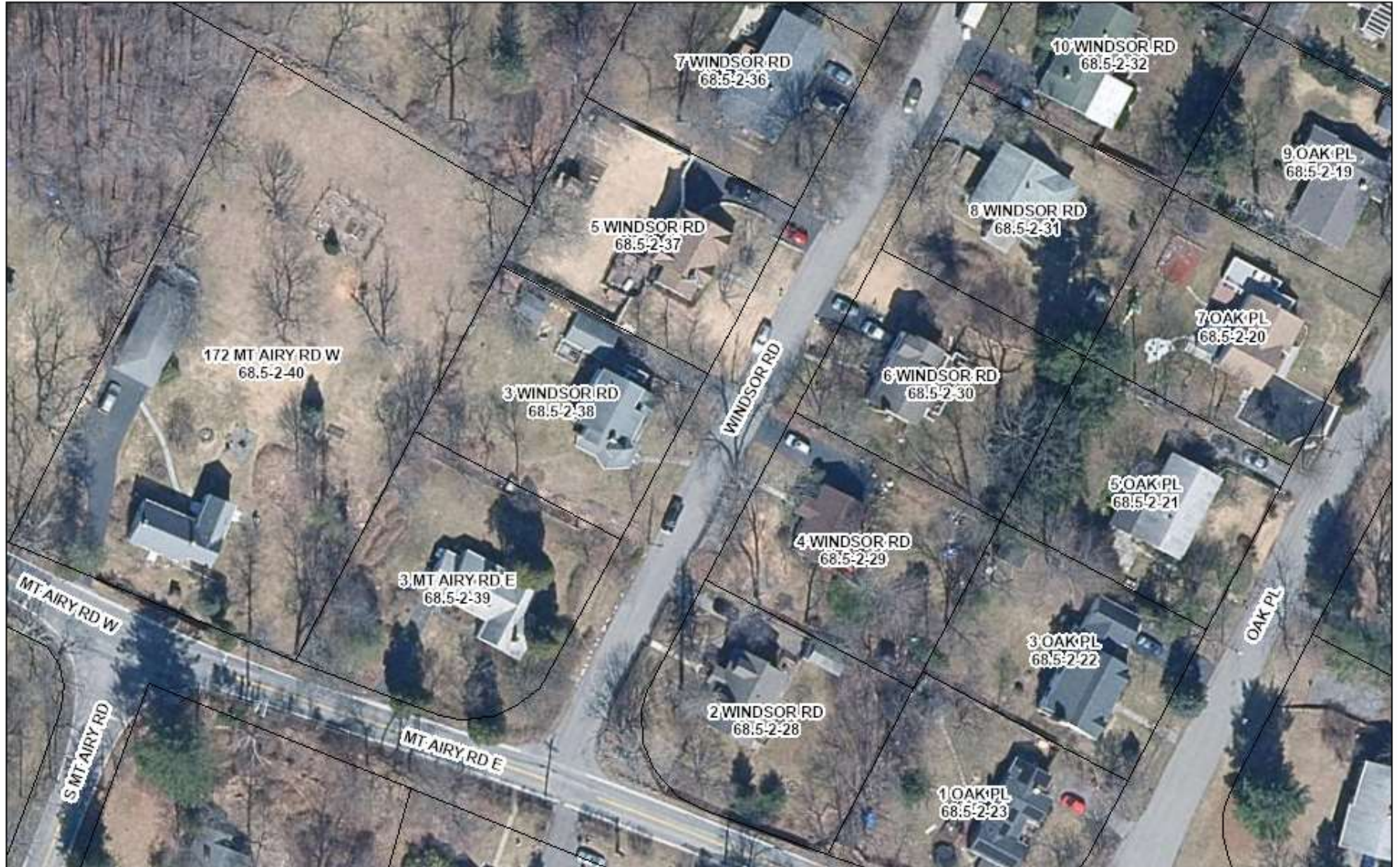
Staff Comments: The Code Enforcement office received a building permit application on May 22, 2024 for proposed 2-story accessory building, a garage, with a building height of 11.4 ft. from the finished floor to the top of exterior wall plate (eave) or underside of the ceiling joists. 10 ft. is permitted. According to the applicant the additional height is necessary for a proposed car lift needed for the applicant’s hobby of working on cars. The applicant is not proposing a retail business. The property is zoned R-10, single-family residential.

Variance(s) Requested: An area variance for an accessory residential structure for detached building height, 10 feet permitted, 11.4 ft. requested, for a proposed 2-car accessory garage

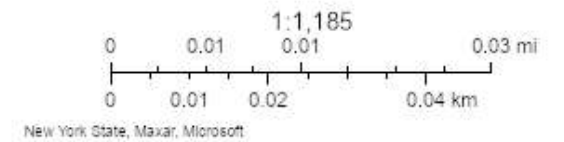
<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIANCE</u>	<u>%</u>
10 ft.	11.4 ft.	1.4 ft.	14%

SEQR: TYPE II – No further compliance required

Cortlandt



7/30/2024, 1:46:02 PM



4 Windsor Rd

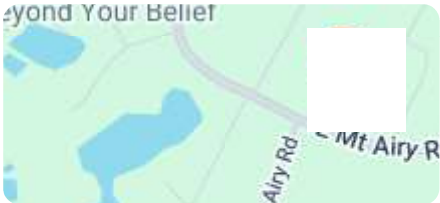
Croton-On-Hudson, New York

Google Street View

Apr 2023 [See more dates](#)



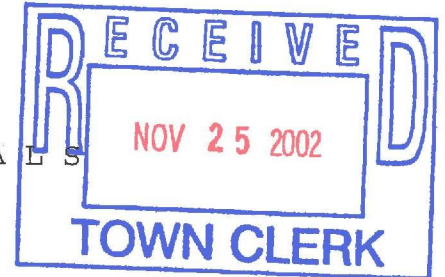
Image capture: Apr 2023 © 2024 Google



Z O N I N G B O A R D O F A P P E A L S

Town of Cortlandt
Westchester County, New York

D E C I S I O N & O R D E R



Name of Petitioner: **LEWIS & PAIGE ROANE**
Address: **3 Windsor Road**
Croton-on-Hudson NY 10520

Case No. **92-02**

Location of Property: **3 Windsor Road**
Tax Map Designation: **Section: 68.5 Block: 2 Lot: 38**
Present Zoning: **R-10**

Nature of Petition:

Use Variance Area Variance 280A Exception
 Special Permit Interpretation

Describe Specific Request: **Area Variances in the front yard for a proposed porch and front entry addition and stairway on above-referenced property.**

Board Members

Present: **Wai Man Chin**
John Mattis
Ray Reber
Carolyn Reilly
Eunice Rosenberg
James Seirmarco

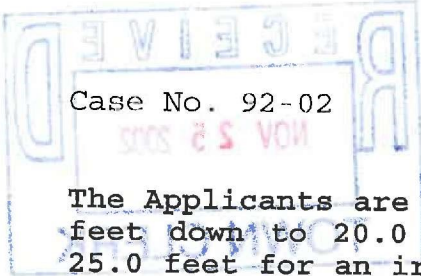
Absent: **Charles P. Heady, Jr.**

The above-referred to Petition, having been duly advertised in The Croton Cortlandt Gazette, the official newspaper of the Town of Cortlandt in the issue published on 11/14/02, Town Board Resolution No. 153-88 having been complied with and the matter having duly come to be heard before a duly convened meeting of the Board on the following date, 11/20/02, at the Town Hall, 1 Heady Street, Cortlandt Manor, New York, and all of the facts, matters and evidence produced by the Petitioner, by the administrative official and by interested parties having been duly heard, received and considered, and a site inspection of the premises having been made, and due deliberation having been had, the following Decision and Order is hereby made:

The Zoning Board of Appeals has taken into consideration the benefit to the applicant if the variance is granted as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the Board makes the following findings:

1. No undesirable change will be produced in the character of the neighborhood, and no detriment to nearby properties will be created by the granting of the area variance;
2. The benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
3. The requested area variance is not substantial;
4. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
5. The alleged difficulty is not self-created.

Continued on Page Two



Case No. 92-02

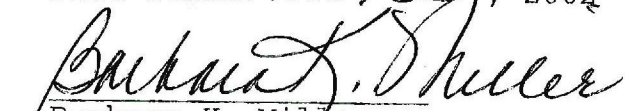
Page Two

The Applicants are GRANTED an Area Variance in the front yard from 30.0 feet down to 20.0 feet for a 3'6" wide covered entry porch; down to 25.0 feet for an irregular shaped entry addition; and down to 16.0 feet for 3'8" x 4' stairway.

This is a Type II action under SEQOR with no further compliance required.

NOW THEREFORE, Petition is granted and it is further ordered that in all other respects Petitioner comply with all of the rules, regulations and ordinances of the Town of Cortlandt and all other agencies having jurisdiction.

Adopted: November 20, 2002
Cortlandt Manor, New York
Date filed: Nov. 25, 2002


Barbara K. Miller
Acting Clerk, Zoning Board


John Mattis
Chairman, Zoning Board