

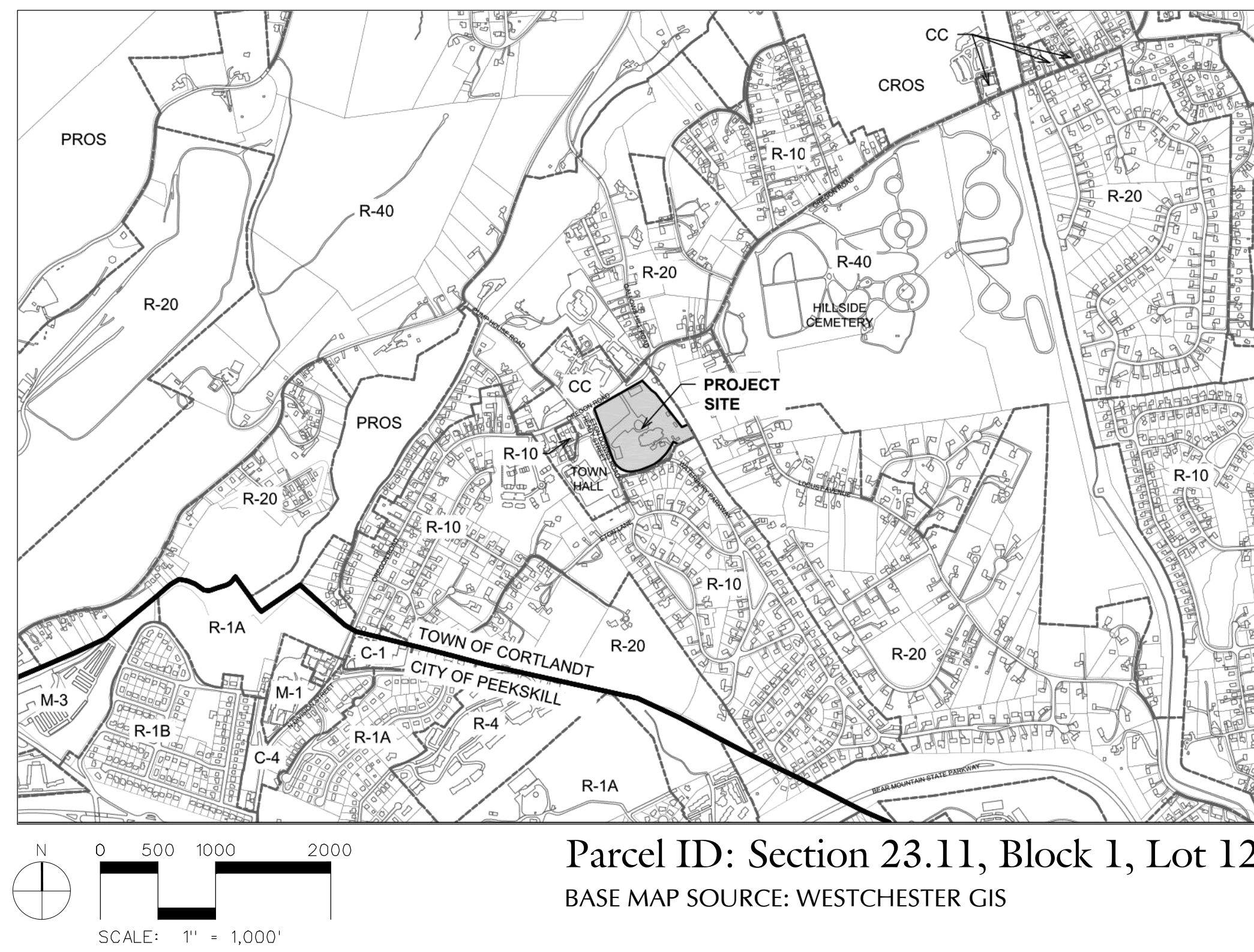
# OVERLOOK TERRACE

119 OREGON ROAD  
TOWN OF CORTLANDT, NEW YORK

## SITE PLAN APPLICATION DRAWINGS

05/19/21  
REVISED 06/23/21; 09/22/21

### SITE LOCATION MAP



### REFERENCE INFORMATION:

1. Base survey information obtained from topographic survey prepared by Gallas Surveying Group dated last revised 12/23/20.
2. Elevation based on North American Vertical Datum 88.
3. Existing utilities shown herein taken from field data prepared by Control Point Associates on 04/04/18 and 04/25/18.

### TOWN NOTES:

- No deviation to the plans as approved is permitted without written authorization by the Town of Cortlandt. Violation of this provision shall be means to issue an immediate "Stop Work Order".
- Prior to the any site work, a clearing and grading stakeout sketch prepared by a licensed professional land surveyor shall be submitted to the Director of Technical Services for approval. The stakeout sketch shall be used to clearly identify the limits of disturbance and to establish all erosion controls.
- An owner or operator of a regulated construction project, with some exceptions, shall have a Qualified Inspector conduct specific site inspections. Certain Qualified Inspectors who work on these sites (i.e., individuals working under direct supervision of, and at the same company as, a licensed Professional Engineer or Registered Landscape Architect of NYS) are required to complete 4 hours of E&SC training under the General Permit.
- At the completion of construction (not prior to final stabilization including pavement restoration) all catch basins, drain inlets, manholes, storm water infrastructure and hydrodynamic separators shall be flushed, vacuumed and cleaned of all debris.
- A comprehensive as-built survey shall be submitted upon completion of the project. The survey shall conform to ALTA standards. All easements, utilities, rims, inverts, surface improvements (including striping) shall be submitted to the satisfaction of the Director of the Department of Technical Services.

### LIST OF DRAWINGS

		SCALE	REVISED
	COVER SHEET	—	09/22/21
SP-0.1	GENERAL NOTES	—	09/22/21
SP-1	SITE LAYOUT PLAN	1"=30'	09/22/21
SP-2	SITE GRADING & DRAINAGE PLAN	1"=30'	09/22/21
SP-3	SITE UTILITY PLAN	1"=30'	09/22/21
SP-4.1	CONCEPTUAL LANDSCAPE PLAN	1"=30'	09/22/21
SP-4.2	LANDSCAPE DETAILS	AS SHOWN	09/22/21
SP-4.3	SITE SECTION	1"=30'	09/22/21
SP-5.1	SITE LIGHTING PLAN	1"=30'	09/22/21
SP-5.2	SITE LIGHTING DETAILS	AS SHOWN	09/22/21
SP-6.1-6.2	SITE AND UTILITY DETAILS	AS SHOWN	09/22/21
SP-6.3	RETAINING WALL DETAILS	AS SHOWN	09/22/21
SP-6.4	DRIVEWAY PART PLANS AND PROFILE	AS SHOWN	09/22/21
SP-6.5	WATER MAIN DETAILS	AS SHOWN	05/19/21
SP-6.6	SEWER DETAILS	AS SHOWN	05/19/21
SP-7.1	SITE DEMOLITION PLAN	1"=30'	09/22/21
SP-7.2	TREE REMOVAL AND PRESERVATION PLAN	1"=30'	09/22/21
SP-8.1	EROSION AND SEDIMENT CONTROL PLAN	1"=30'	09/22/21
SP-8.2	EROSION AND SEDIMENT CONTROL DETAILS	AS SHOWN	06/23/21
	ALTA/NSPS LAND TITLE SURVEY (SHEET 1 OF 2)	1"=30'	12/23/20
	ALTA/NSPS LAND TITLE SURVEY (SHEET 2 OF 2)	1"=30'	12/23/20

### LIST OF APPROVALS

Agency	Status	Approval Date	Proposed/Approved Activities
<b>Town of Cortlandt</b>			
Town Board	Pending	Pending	Zoning Ordinance Amendment
Planning Board	Pending	Pending	Site Development Plan; Special Permit; Steep Slope Permit, Tree Removal Permit
DOTS Code Enforcement Division	Pending	Pending	Demolition and Building Permits
DOTS Engineering Division	Pending	Pending	Sanitary Sewer Connection; MS4 SWPPP Approval
DES Water Division	Pending	Pending	Water Main Relocation (onsite); Water Backflow (fire and domestic)
<b>Westchester County Department of Health (DOH)</b>	Pending	Pending	Sanitary Sewer and Water Connection Permits
<b>NYS Department of Environmental Conservation (DEC)</b>	Pending	Pending	SPDES Permit for Stormwater Discharge During Construction
<b>NYS Housing and Community Renewal (HCR)</b>	Pending	Pending	Funding
<b>NYS Historic Preservation Office (SHPO)</b>	Complete	4/14/2021	Letter of No Effect Issued

### SITE DEMOGRAPHIC INFORMATION

School District	Lakeland Central School District
Police Protection	Westchester County Police, Cortlandt Town Hall, 1 Heady Street, Cortlandt Manor New York State Police, Cortlandt Station, 1 Memorial Drive, Croton on Hudson
Fire Protection	Mohegan Fire District, Hollowbrook Fire Station, 1130 Oregon Road, Cortlandt Manor
Emergency Medical Services	Mohegan VFA VAC, 1975 East Main Street (Rt 6) Mohegan Lake, NY Cortlandt Regional Paramedics, 1980 Crompond Road, Cortlandt Manor
Hospital	NewYork-Presbyterian Hudson Valley Hospital, 1980 Crompond Road, Cortlandt Manor
Library	John C. Hart Memorial Library, 1130 East Main Street, Shrub Oak

### OWNER / APPLICANT

THE NRP GROUP, LLC  
1600 District Avenue, Suite 315  
Burlington, MA 01803



ST KATHERINE GROUP  
181 Westchester Avenue, Suite 310A  
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### SURVEYOR

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GENERAL NOTES

1. WORK UNDER THIS CONTRACT CONSISTS OF: DEMOLITION, CLEARING AND GRUBBING, SOIL EROSION & SEDIMENT CONTROL, EARTH EXCAVATION, ROCK EXCAVATION, GRADING, REMOVAL OF EXCESS MATERIAL, EARTH RETENTION, STORM DRAINAGE AND STORMWATER MANAGEMENT FACILITIES, SANITARY SEWER UTILITIES, DOMESTIC WATER AND FIRE SERVICE CONNECTIONS, SITE LIGHTING, UTILITY TRENCHING AND INSTALLATION, CONCRETE CURB & WALKS, GRANITE CURBING, INSTALLATION OF UNIT PAVERS, CONCRETE APRONS, BITUMINOUS CONCRETE PAVING, POROUS PAVEMENT, MAINTENANCE & PROTECTION OF TRAFFIC, SIGNAGE, PAVEMENT MARKING, RETAINING WALL CONSTRUCTION, FENCING, BUMPER RAILS AND GUIDERAILS, TOPSOILING, SEEDING AND LANDSCAPING.
2. THE TITLE AND TOPOGRAPHIC SURVEY AND THE INFORMATION THEREBY OBTAINED ARE NOT GUARANTEED TO BE ACCURATE OR CORRECT BY THE OWNER, THE ARCHITECT, THE ENGINEER OR ANY OF THEIR AGENTS OR CONTRACTORS. ALTHOUGH REASONABLE CARE WAS USED IN THE DETERMINATION OF THIS INFORMATION, NO LIABILITY SHALL BE IMPOSED, NOR SHALL ANY CLAIM BY THE CONTRACTOR OR HIS SUB-CONTRACTORS BE ALLOWED FOR DAMAGES OR FOR EXTRA WORK BY REASON OF ANY INCORRECT INFORMATION OR INACCURACIES CONTAINED OR CONVEYED BY SUCH, OR BY REASON OF ANY CONDITIONS ON THE SITE WHICH ARE NOT DISCLOSED THEREBY.
3. THE CONTRACTOR ACKNOWLEDGES THAT THEY ASSUME ALL RISKS CONTINGENT UPON THE NATURE OF THE SUBSURFACE CONDITIONS ACTUALLY ENCOUNTERED IN PERFORMING THE WORK COVERED BY THE CONTRACT. SHOULD THE CONTRACTOR WISH TO PERFORM THEIR OWN SITE INVESTIGATIONS PRIOR TO SUBMITTING THEIR BID, ARRANGEMENTS MUST BE MADE WITH THE OWNER.
4. ALL WORK OF THIS CONTRACT SHALL CONFORM TO THESE CONTRACT DRAWINGS AND SPECIFICATIONS AS WELL AS TO THE APPLICABLE REQUIREMENTS OF THE TOWN OF CORTLANDT, BUILDING, PUBLIC WORKS, AND FIRE DEPARTMENTS, AS WELL AS THE COGNIZANT PUBLIC UTILITY COMPANIES.
5. ALL PAVEMENT MARKINGS AND ALL TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH THE NYS DOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. SEE PROJECT SPECIFICATIONS FOR MORE DETAIL.
6. ALL PROJECT RELATED LINES AND GRADES ARE TO BE ESTABLISHED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF NEW YORK. THE OWNER WILL PROVIDE (2) HORIZONTAL AND VERTICAL BENCH MARKS.
7. LOCATIONS, ELEVATIONS, INVERTS AND SIZES OF EXISTING UTILITY LINES SHOWN ON THE PLANS ARE TO BE VERIFIED IN THE FIELD BY CAREFUL TEST EXCAVATIONS BY THE CONTRACTOR PRIOR TO STARTING THE WORK. ANY SUBSTANTIVE VARIATIONS FROM THE SURVEY DATA PROVIDED ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER SO THAT APPROPRIATE DESIGN MODIFICATIONS MAY BE MADE. OTHER UTILITIES NOT SHOWN ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL AT HIS OWN EXPENSE REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT IS DAMAGED DURING THE COURSE OF CONSTRUCTION AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE DAMAGE TO THE UTILITY AND POTENTIAL INTERRUPTION OF SERVICE.
8. EXISTING DRAINAGE AND UTILITY SYSTEMS ARE TO REMAIN IN SERVICE AT ALL TIMES. THEREFORE, THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING DRAINAGE OR UTILITY SYSTEMS WITHIN OR ADJACENT TO THE WORK SHOWN ON THESE DRAWINGS TO REMAIN. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL IMMEDIATELY BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE AND TO THE SATISFACTION OF THE OWNER OR UTILITY COMPANY INVOLVED.
9. IF TEMPORARY UTILITY SERVICES ARE REQUIRED, THE CONTRACTOR SHALL SEE TO IT THAT THEY ARE PROVIDED AT NO ADDITIONAL COST TO THE OWNER, AND SHALL BE RESPONSIBLE FOR MAINTAINING SUCH TEMPORARY FACILITIES FOR THE DURATION OF THE CONTRACT WORK.
10. THE CONTRACTOR SHALL VERIFY IN THE FIELD, IN THE PRESENCE OF THE ARCHITECT, ENGINEER, OR OWNER'S REPRESENTATIVE THE LOCATION OF ALL WORK COVERED BY THIS CONTRACT PRIOR TO THE START OF CONSTRUCTION IN ORDER TO ASSURE THAT UNNECESSARY PAVEMENT, TREE OR VEGETATION REMOVAL ARE AVOIDED. WORK SHALL NOT START UNTIL THIS FIELD VERIFICATION HAS BEEN MADE AND APPROVAL TO COMMENCE HAS BEEN OBTAINED FROM THE ARCHITECT, ENGINEER, OR OWNER'S REPRESENTATIVE.
11. IF REQUIRED, PRIOR TO INITIATING ROCK BLASTING OPERATIONS A PRE-BLAST SURVEY OF ALL ADJACENT STRUCTURES SHALL BE UNDERTAKEN AND A REPORT PROVIDED TO THE OWNER AND TOWN OF CORTLANDT. THE CONTRACTOR SHALL FURTHER BE REQUIRED TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS IN THE CONDUCT OF THE WORK. THE EXPLOSIVE LOADING LIMITS AND SCALED DISTANCES SET FORTH IN THE NYS DOT STANDARD SPECIFICATIONS SHALL BE ADHERED TO.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES REQUIRED BY THE CONTRACT WORK AND SHALL OBTAIN ALL REQUIRED BONDS, PERMITS, ETC. REQUIRED FOR THE EXECUTION OF THE WORK AND CONFORM THE WORK WITH ALL APPLICABLE CODES, RULES AND REGULATIONS OF THE GOVERNING AGENCIES. THE CONTRACTOR IN ACCORDANCE WITH NEW YORK STATE LAW (CODE RULE 53) SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO COMMENCING ANY EXCAVATION WORK AND SHALL NOTIFY THE "CALL BEFORE YOU DIG" HOTLINE @ 1-800-962-7962 PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES. AGENCIES SHALL BE GIVEN SEVENTY-TWO (72) HOURS ADVANCE NOTIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
13. ALL UNPAVED AREAS WITHIN THE WORK AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE STABILIZED IN ACCORDANCE WITH THE NYS DEC APPROVED STORMWATER POLLUTION PREVENTION PLAN. UNLESS OTHERWISE DIRECTED BY THE OWNER, TURFED AREAS, DISTURBED BY REGRADING AND OTHER WORK OF CONTRACTOR, SHALL BE BROUGHT TO THE PROPER SUBGRADE ELEVATION, TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES SHALL BE PLACED AND, LIMING, FERTILIZING AND SEEDING ACCOMPLISHED, AS SPECIFIED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE SEEDED AREAS UNTIL THEY HAVE BECOME WELL ESTABLISHED.
14. THE CONTRACTOR SHALL ARRANGE FOR DISPOSAL OF ALL DEMOLITION DEBRIS, CLEARED AND GRUBBED MATERIAL, DEMOLISHED PAVEMENT AND MISCELLANEOUS UNSUITABLE MATERIAL RESULTING FROM THE OPERATIONS OF THIS CONTRACT, AT OFFSITE LOCATIONS, OR AS OTHERWISE DIRECTED BY THE OWNER. NO TREE STUMPS OR OTHER ORGANIC MATTER SHALL BE BURIED ON THE SITE.
15. UNLESS SPECIFICALLY SHOWN OR DIRECTED TO BE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AGAINST DAMAGE TO ANY EXISTING TREES 4 INCH CALIPER AND GREATER IN THE AREA OF HIS CONSTRUCTION OPERATIONS. ANY SUCH PLANT MATERIAL NOT SO PROTECTED AND MAINTAINED SHALL BE REPLACED WITH NEW PLANT MATERIAL OF SIMILAR CALIPER OR AS DIRECTED BY THE OWNER AT THE BEGINNING OF THE FIRST GROWING SEASON WHICH FOLLOWS. EXISTING TREES IN AREAS TO BE GRADED SHALL BE RELOCATED AND MAINTAINED, TEMPORARILY, AND TRANSPLANTED UPON COMPLETION OF THE WORK AS DIRECTED THE OWNER. DAMAGE TO OTHER PLANTS SHALL BE REPLACED AT THE DISCRETION OF THE OWNER. ANY ADDITIONAL PERMITS THAT MAY BE REQUIRED FROM THE TOWN OF CORTLANDT TO COMPLETE THE WORK SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. AT NO TIME SHALL ANY EXCAVATED AREAS BE LEFT UNATTENDED UNLESS APPROPRIATE MARKING AND BARRICADING IS EMPLOYED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING UTILITY VALVES, MANHOLE FRAMES, COVERS, RIMS, INVERTS AND HYDRANTS TO MEET NEW FINISH GRADE OR AS OTHERWISE REQUIRED TO FUNCTION PROPERLY.
18. DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ANY AND ALL CHANGES RELATED TO FIELD CONDITIONS, INCLUDING AREAS OF ROCK EXCAVATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS PREPARED BY A NYS LICENSED LAND SURVEYOR SHOWING AND LOCATING ALL FEATURES OF THE WORK AS INSTALLED.

19. TOPSOIL SHALL BE PLACED AND AREAS SHALL BE SEEDED AS SOON AS FINAL GRADES ARE ESTABLISHED ON PERMANENT SLOPES. SLOPES SHALL ALSO BE MULCHED.

20. PRIOR TO ANY SITE WORK, A CLEARING AND GRADING STAKEOUT SKETCH PREPARED BY A LICENSED PROFESSIONAL LAND SURVEYOR SHALL BE SUBMITTED TO THE DIRECTOR OF TECHNICAL SERVICES FOR APPROVAL. THE STAKEOUT SKETCH SHALL BE USED TO CLEARLY IDENTIFY THE LIMITS OF DISTURBANCE AND TO ESTABLISH ALL EROSION CONTROLS.

21. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AN OWNER OR OPERATOR SHALL HAVE EACH CONTRACTOR AND SUBCONTRACTOR THAT HAS BEEN IDENTIFIED AS BEING RESPONSIBLE FOR IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IDENTIFY AT LEAST ONE EMPLOYEE FROM THEIR COMPANY (TRAINED CONTRACTOR) THAT HAS RECEIVED 4 HOURS OF ENDORSED E&SC TRAINING. THE TRAINED CONTRACTOR MUST BE ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED AND WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE PRACTICES INCLUDED IN THE SWPPP.

22. AN OWNER OR OPERATOR OF A REGULATED CONSTRUCTION PROJECT, WITH SOME EXCEPTIONS, SHALL HAVE A QUALIFIED INSPECTOR CONDUCT SPECIFIC SITE INSPECTIONS. CERTAIN QUALIFIED INSPECTORS WHO WORK ON THESE SITES (I.E., INDIVIDUALS WORKING UNDER DIRECT SUPERVISION OF, AND AT THE SAME COMPANY AS, A LICENSED PROFESSIONAL ENGINEER OR REGISTERED LANDSCAPE ARCHITECT OF NYS) ARE REQUIRED TO COMPLETE 4 HOURS OF E&SC TRAINING UNDER THE GENERAL PERMIT.

23. PRIOR TO BACKFILLING ANY INFILTRATION OR STORMWATER RETENTION/DETENTION AREAS, THE TOWN OF CORTLANDT AND ITS INSPECTOR SHALL BE NOTIFIED FOR INSPECTION.

24. AT THE COMPLETION OF CONSTRUCTION (NOT PRIOR TO FINAL STABILIZATION INCLUDING PAVEMENT RESTORATION) ALL CATCH BASINS, DRAIN INLETS, MANHOLES, STORMWATER INFRASTRUCTURE, AND HYDRODYNAMIC SEPARATORS SHALL BE FLUSHED, VACUUMED, AND CLEANED OF ALL DEBRIS.

25. A NOTICE OF TERMINATION SHALL BE FILED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR STORMWATER DISCHARGES AUTHORIZED UNDER THE SPDES GENERAL PERMIT FOR CONSTRUCTION ACTIVITY. THE OWNER WILL HAVE A MECHANISM IN PLACE THAT REQUIRES THE OPERATION AND MAINTENANCE OF THE PRACTICE(S) IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE PLAN, SUCH AS A DEED COVENANT IN THE OWNER OR OPERATOR'S DEED OF RECORD.

26. A COMPREHENSIVE AS-BUILT SURVEY SHALL BE SUBMITTED UPON COMPLETION OF THE PROJECT. THE SURVEY SHALL CONFORM TO ALTA STANDARDS. ALL EASEMENTS, UTILITIES, RIMS, INVERTS, SURFACE IMPROVEMENTS (INCLUDING STRIPING) SHALL BE SUBMITTED TO THE DIRECTOR OF THE DEPARTMENT OF TECHNICAL SERVICES. A DIGITAL COPY IN BOTH .PDF AND .DWG FORMAT IN THE NYS STATE PLANE NAD-83 AND NAVD-88 DATUM SHALL BE SUBMITTED.

27. A CERTIFICATION THAT ALL STORMWATER INFRASTRUCTURE INCLUDING A SUMMARY AND COMPARISON OF PROPOSED VERSUS AS-BUILT HYDRAULIC AND HYDROLOGICAL CONDITIONS SHALL BE SUBMITTED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER. THE ENGINEER SHALL CERTIFY THAT AS-BUILT CONDITIONS MEET OR EXCEED THE APPROVED DESIGN MITIGATING STORMWATER IMPACTS.

STEEP SLOPES NOTES:

1. DISTURBANCE OF STEEP SLOPES SHALL BE UNDERTAKEN IN WORKABLE UNITS IN WHICH THE DISTURBANCE CAN BE COMPLETED AND STABILIZED IN ONE CONSTRUCTION SEASON SO THAT AREAS ARE NOT LEFT BARE AND EXPOSED DURING THE WINTER AND SPRING THAW PERIODS (DECEMBER 15 THROUGH APRIL 15).
2. DISTURBANCE OF EXISTING VEGETATIVE GROUND COVER SHALL NOT TAKE PLACE MORE THAN 15 DAYS PRIOR TO GRADING AND CONSTRUCTION.
3. TEMPORARY SOIL STABILIZATION, INCLUDING, IF APPROPRIATE, TEMPORARY STABILIZATION MEASURES SUCH AS NETTING OR MULCHING TO SECURE SOIL DURING THE GROW-IN PERIOD, MUST BE APPLIED TO AN AREA OF DISTURBANCE WITHIN TWO DAYS OF ESTABLISHING THE FINAL GRADE, AND PERMANENT STABILIZATION MUST BE APPLIED WITHIN 15 DAYS OF ESTABLISHING THE FINAL GRADE.
4. SOIL STABILIZATION MUST BE APPLIED WITHIN TWO DAYS OF DISTURBANCE IF THE FINAL GRADE IS NOT EXPECTED TO BE ESTABLISHED WITHIN 60 DAYS.
5. MEASURES FOR THE CONTROL OF EROSION AND SEDIMENTATION SHALL BE UNDERTAKEN CONSISTENT WITH THE WESTCHESTER COUNTY SOIL AND WATER CONSERVATION DISTRICT'S BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL AND NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, AS AMENDED, OR THEIR EQUIVALENTS SATISFACTORY TO THE APPROVAL AUTHORITY.

OVERLOOK TERRACE

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Town of Cortlandt, NY

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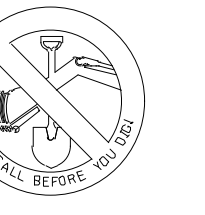
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THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.  
1 800 962 7962 OR 811

NOTE: ALL SITE DESIGN CONCEPTS AND INFORMATION INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF DIVNEY TUNG SCHWALBE, LLP. THIS DRAWING WAS CREATED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT INDICATED HEREON AND SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON OR ENTITY WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF DIVNEY TUNG SCHWALBE, LLP.  
WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED MEASUREMENTS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

LEGAL NOTICE: IT IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALTER THIS DOCUMENT IN ANY WAY EXCEPT AS PROVIDED IN SECTION 7509 (2), ARTICLE 145, NEW YORK STATE EDUCATION LAW.

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REVISIONS / ISSUANCES

NO.	DATE	ISSUE
06/23/21	PLANNING BOARD SUBMISSION	
09/22/21	REVISED PER TOWN AND CONSULTANT COMMENTS	

DRAWING TITLE:

GENERAL NOTES

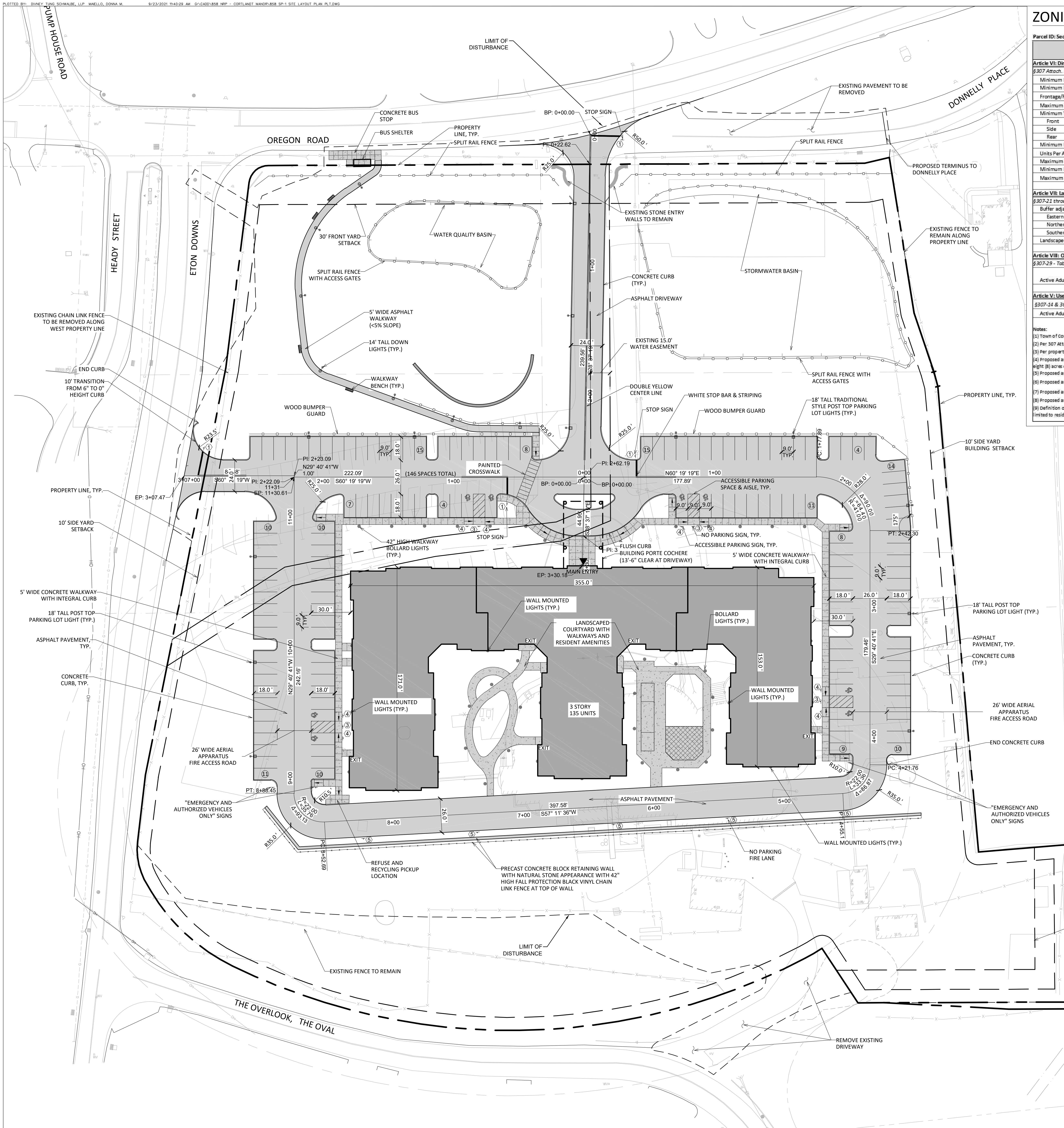
	DRAWN BY: RCC/DMM	CHECKED BY: GMS
	PROJECT NO. 858	DATE: 06/23/21
DRAWING NO.		<b>SP-0.1</b>

### ZONING COMPLIANCE TABLE

Code Section <sup>(1)</sup>	Existing Required/Permitted Community Commercial (CQ)	Proposed Required/Permitted Community Commercial (CC)	Proposed Development 119 Oregon Road
<b>Article VI: Dimensional Regulations</b>			
§307 Attach. 3 & 307 Attach. 5 - Tables of Dimensional Regulations			
Minimum Lot Area (sf or acres)	7,500 sf	8 acres <sup>(2)</sup>	8.7 acres <sup>(2)</sup>
Minimum Lot Width (ft)	60	100	815
Frontage/Primary Access on State Rd or Oregon Rd <sup>(4)</sup>	N/A	Oregon Road	Oregon Road
Maximum Height (stories/ft)	2 1/2 / 35	3 / 50 <sup>(5)</sup>	3 / 50 <sup>(5)</sup>
Minimum Yards (ft)	--	--	--
Front	30	30	300
Side	10	10	100
Rear	10	10	140
Minimum Lot Area per Dwelling Units (sf)	5,000	--	--
Units Per Acre <sup>(6)</sup>	--	17 <sup>(6)</sup>	17 <sup>(6)</sup>
Maximum Building Coverage (%)	25%	25%	11%
Minimum Landscape Coverage (%)	30%	30%	>50%
Maximum Building Floor Area (sf)	12,000 <sup>(7)</sup>	135,000 <sup>(7)</sup>	±125,000 <sup>(7)</sup>
<b>Article VII: Landscaping, Screening, &amp; Buffering Regulations</b>			
§307-21 through 307-23			
Buffer adjacent to residential district (ft)	25	25	25
Eastern Property Line	>200 (existing building to R-20)	--	>200 (existing building to R-20)
Northern Property Line	N/A	--	N/A
Southern Property Line	>120 (existing building to R-10)	--	>140 (existing building to R-10)
Landscape areas in parking lots (%)	5%	5%	25%
<b>Article VIII: Off-Street Parking Requirements</b>			
§307-29 - Table of Required Off-Street Parking Spaces			
Active Adult Residential Community	N/A	1 space per Dwelling Unit <sup>(8)</sup>	135 spaces required <sup>(8)</sup> 146 spaces proposed
<b>Article V: Use Regulations</b>			
§307-14 & 307-15 - Tables of Permitted Uses <sup>(9)</sup>			
Active Adult Residential Community	Not Permitted	Pursuant to Special Permit <sup>(4)</sup>	Pursuant to Special Permit <sup>(4)</sup>

**Notes:**  
 (1) Town of Cortland Town Code Chapter 307: Zoning, November 9, 1993, as amended.  
 (2) Per 307 Attachment 5, No single use, other than a food store, shall occupy more than 4,000 square feet. Existing Colonial Terrace facility exceeds 12,000 square feet.  
 (3) Per property survey last dated 1/12/21 prepared by Galles Surveying Group.  
 (4) Proposed amendment to Table of Permitted Uses to provide that Active Adult Residential Community pursuant to Special Permit issued by the Town Board, and only on lot that is eight (8) acres or larger, fronts and has primary access on a state road or Oregon Road, and which will connect to public water and sewer systems.  
 (5) Proposed amendment to Table of Dimensional Requirements - Nonresidential Districts (§307-17, 307 Attachment 5); maximum height of 50 feet with no more than 3 stories.  
 (6) Proposed amendment to Table of Dimensional Requirements - Nonresidential Districts (§307-17, 307 Attachment 5); up to 17 units per acre. 135 units proposed.  
 (7) Proposed amendment to Table of Dimensional Requirements - Nonresidential Districts (§307-17, 307 Attachment 5); maximum floor area of no more than 135,000 square feet.  
 (8) Proposed amendment to §307-29(C) Table of Required Off-Street Parking Spaces to add the Active Adult Residential Community use and parking standard.  
 (9) Definition of "Active Adult Residential Community" per proposed amendment to §307-4, "Definitions": A building or buildings containing dwelling units specifically design for and limited to residents, at least one of whom is aged 55 and older. No full-time medical care shall be provided on the Property.

- NOTES:**  
 1. ALL STRIPING EXCEPT FOR PARKING STALL STRIPING SHALL INCLUDE REFLECTIVE GLASS BEADS. SEE PAVEMENT MARKING SPECIFICATION FOR ADDITIONAL INFORMATION.  
 2. TOWN OF CORTLAND WILL NOT PICK UP REFUSE/RECYCLING FROM THE SITE.



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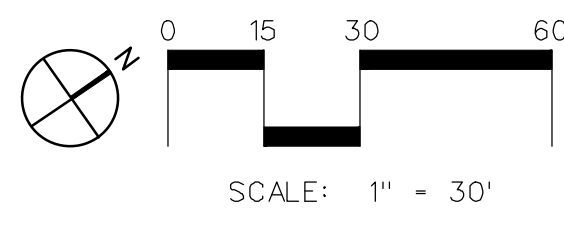
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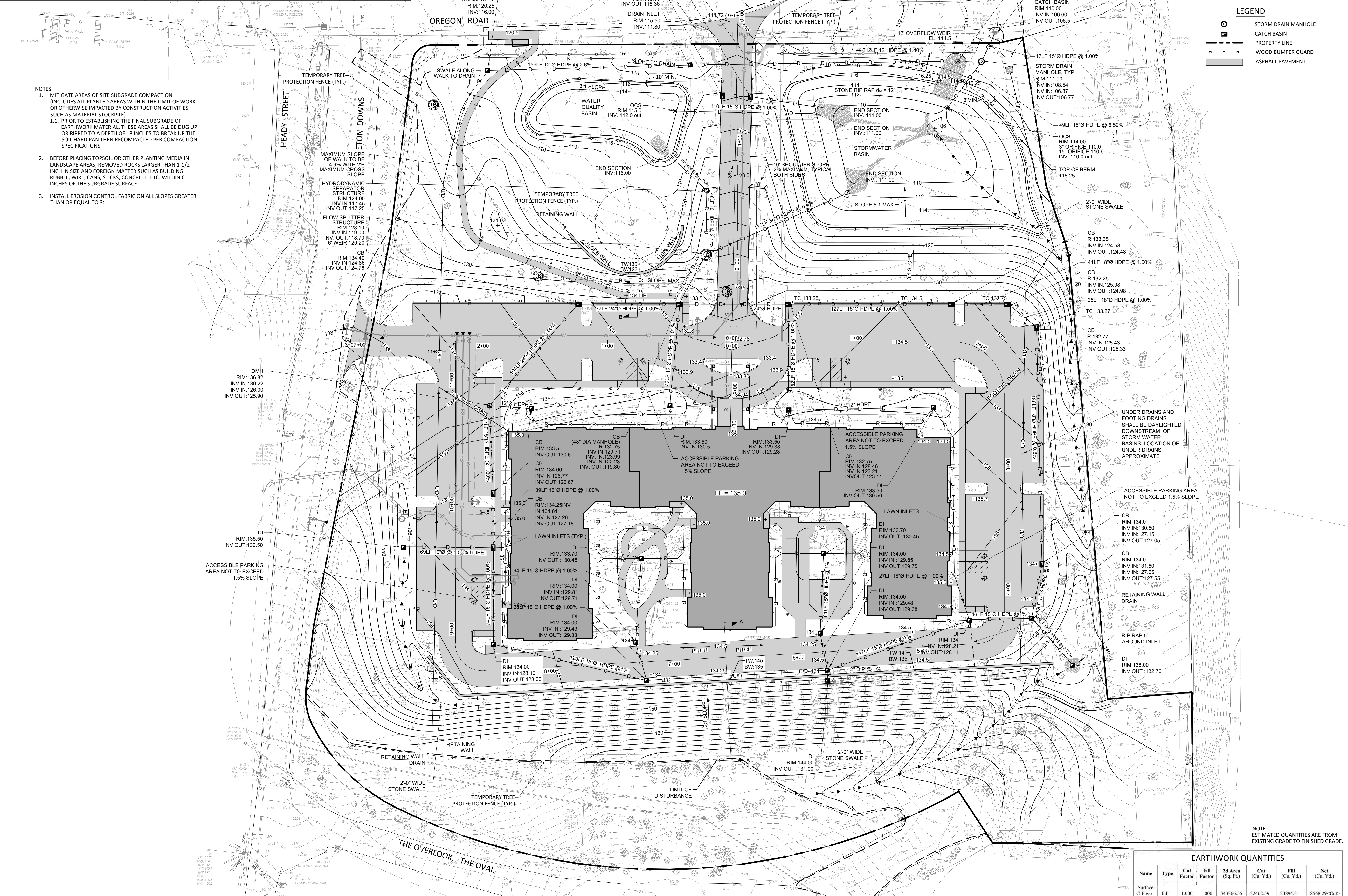
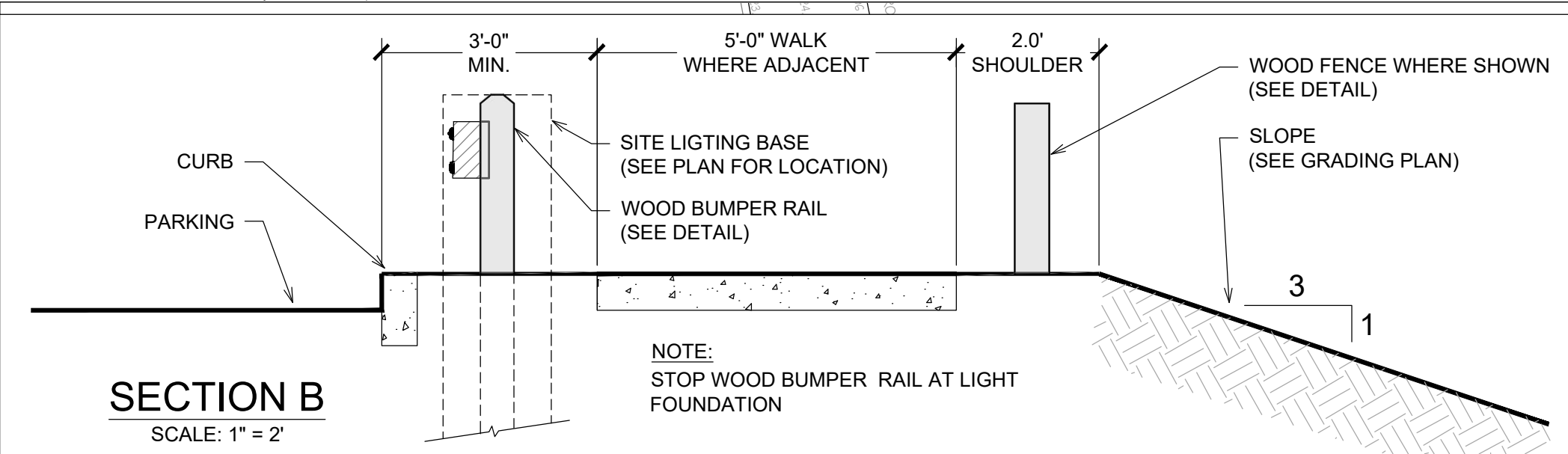
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05/19/21		PLANNING BOARD SUBMISSION
06/23/21		PLANNING BOARD SUBMISSION
09/22/21		REVISED PER TOWN AND CONSULTANT COMMENTS

### SITE LAYOUT PLAN

DRAWING TITLE: **SP-1**

DRAWN BY: RCC/DMM	CHECKED BY: GMS
PROJECT NO: 858	DATE: 05/19/21
DRAWING NO:	



**OVERLOOK TERRACE**

119 Oregon Road  
Town of Cortlandt, NY

**OWNER / APPLICANT**  
ST KATHERINE GROUP  
181 Westchester Avenue, Suite 301A  
Port Chester, NY 10573

**THE NRP GROUP LLC**  
1600 District Avenue, Suite 315  
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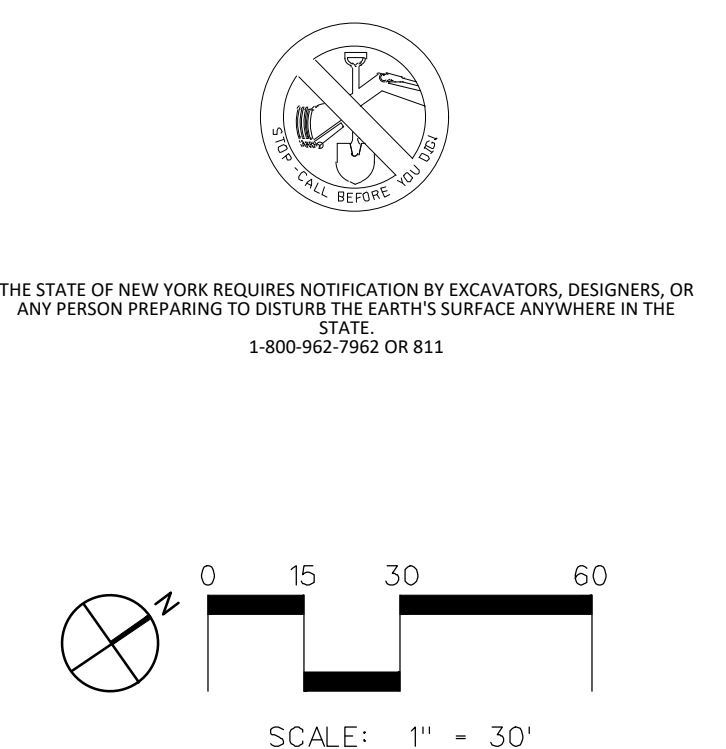
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06/23/21		PLANNING BOARD SUBMISSION
08/22/21		REVISED PER TOWN AND CONSULTANT COMMENTS

**SITE GRADING & DRAINAGE PLAN**

DRIVING TITLE:

**STATE OF NEW YORK**  
Professional Engineer  
06469

PROJECT NO. 858  
DATE: 05/19/21  
DRAWING NO. SP-2

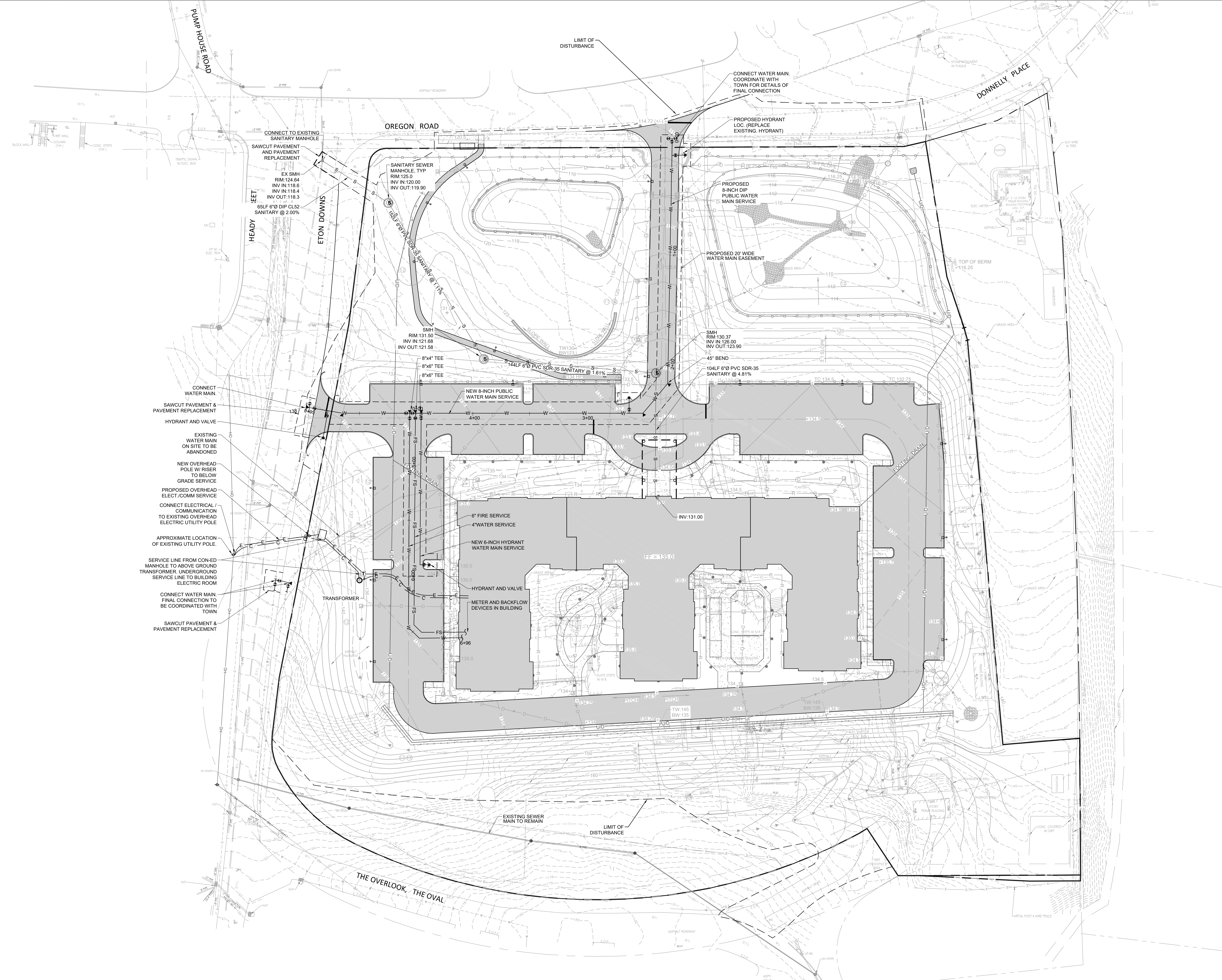
DESIGNED BY: R.C.C./D.M.M.  
CHECKED BY: G.M.S.

**EARTHWORK QUANTITIES**

Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Surface-C-F w/ Bldg	full	1.000	1.000	343366.55	32462.59	23894.31	8568.29-Cut
<b>Totals</b>							
<b>Total</b>				343366.55	32462.59	23894.31	8568.29-Cut

\* Value adjusted by cut or fill factor other than 1.0

NOTE: ESTIMATED QUANTITIES ARE FROM EXISTING GRADE TO FINISHED GRADE.



CONNECT TO EXISTING SANITARY MANHOLE  
SAWCUT PAVEMENT AND PAVEMENT REPLACEMENT  
EX SMH  
RIM: 124.64  
INV IN: 118.6  
INV IN: 118.4  
INV OUT: 118.3  
145LF 6" DIP CL52  
SANITARY @ 2.00%

CONNECT WATER MAIN  
SAWCUT PAVEMENT & PAVEMENT REPLACEMENT  
HYDRANT AND VALVE  
EXISTING WATER MAIN ON SITE TO BE ABANDONED  
NEW OVERHEAD POLE W/ RISER TO BELOW GRADE SERVICE  
PROPOSED OVERHEAD ELECT. COMM SERVICE  
CONNECT ELECTRICAL / COMMUNICATION TO EXISTING OVERHEAD ELECTRIC UTILITY POLE  
APPROXIMATE LOCATION OF EXISTING UTILITY POLE.  
SERVICE LINE FROM CON-ED MANHOLE TO ABOVE GROUND TRANSFORMER. UNDERGROUND SERVICE LINE TO BUILDING ELECTRIC ROOM  
CONNECT WATER MAIN FINAL CONNECTION TO BE COORDINATED WITH TOWN  
SAWCUT PAVEMENT & PAVEMENT REPLACEMENT

**OVERLOOK TERRACE**

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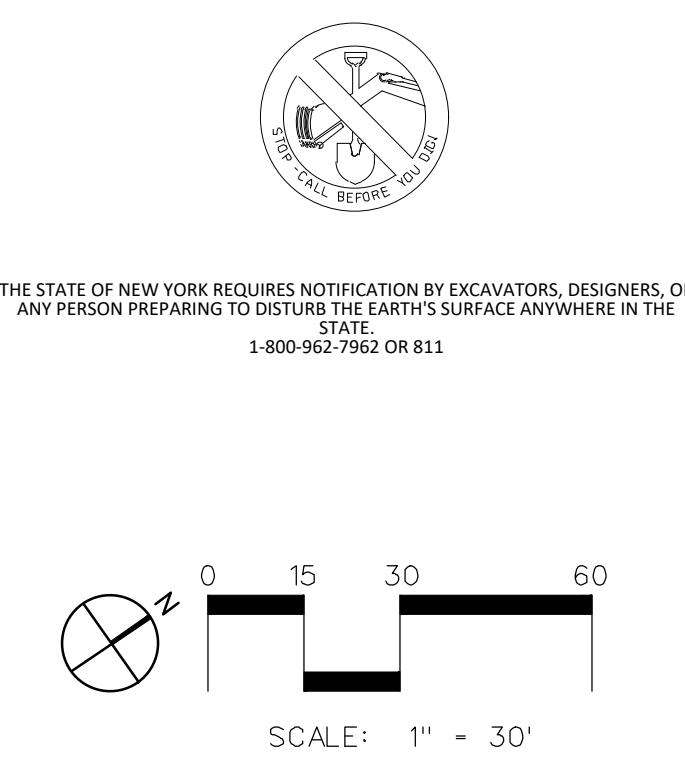
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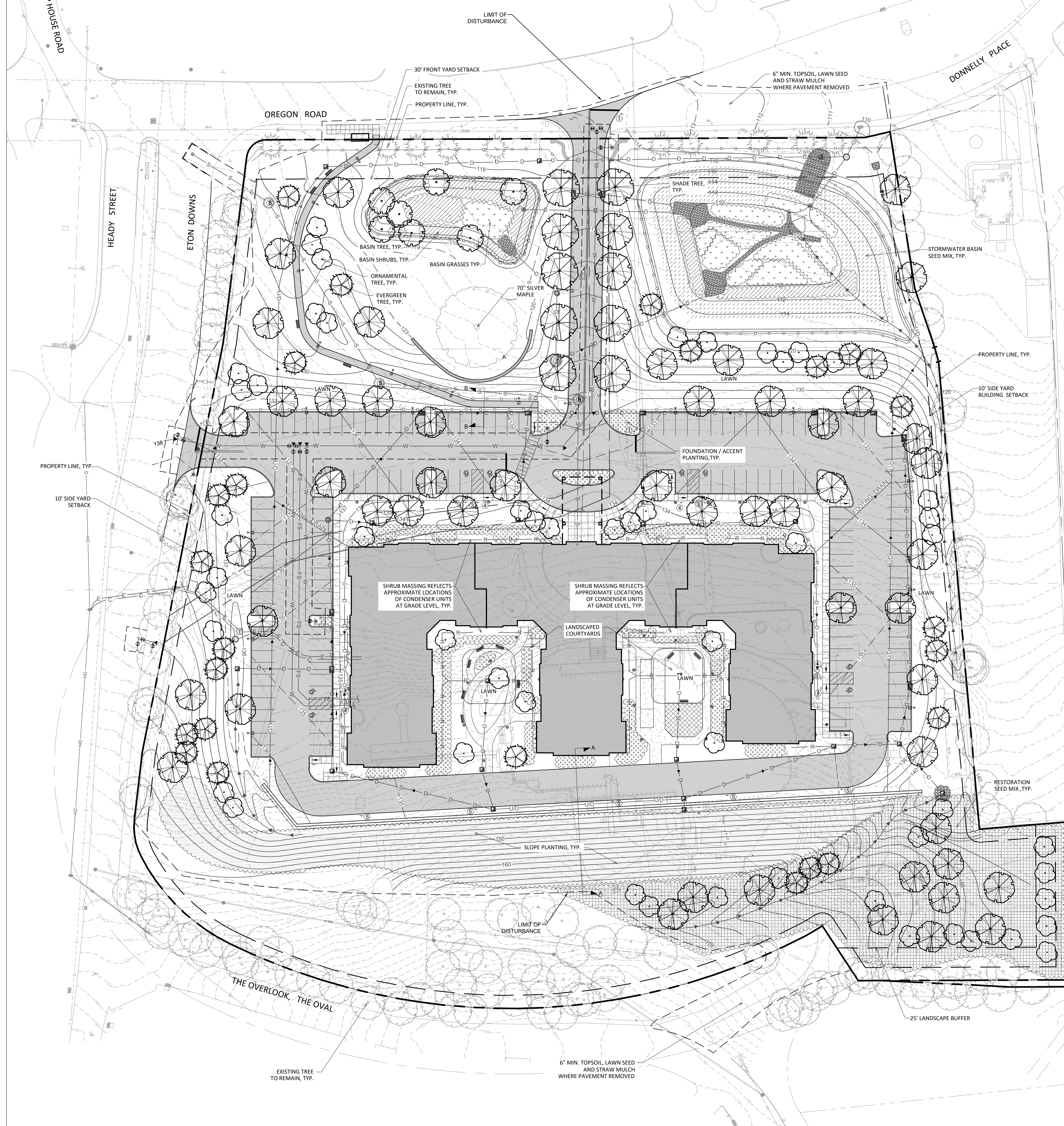
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06/23/21		PLANNING BOARD SUBMISSION
09/22/21		REVISED PER TOWN AND CONSULTANT COMMENTS

DRAWING TITLE:  
**SITE UTILITY PLAN**

DRAWN BY: RCC/DMW  
PROJECT NO.: 858  
DRAWING NO.: SP-3

CHECKED BY: GMS  
DATE: 05/19/21

STATE OF NEW YORK  
DIVISION OF PROFESSIONAL ENGINEERING AND SURVEYING  
04689



- NOTES:**
1. ALL NEW AND DISTURBED LAWN AREAS NOT OTHERWISE PLANTED TO BE TILLED, TOPSOILED (4" MIN. DEPTH FOR RESTORED AREAS), SEEDED WITH LAWN SEED MIX, AND STRAW MULCHED.
  2. INSTALL EROSION CONTROL FABRIC ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1 PRIOR TO SEEDING OR PLANTING.
  3. ALL PLANT BEDS (INCLUDING WITHIN BIORETENTION AREAS) SHALL RECEIVE 3" OF DOUBLE SHREDDED HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED WITHIN 3" TO 6" OF TREE TRUNKS. SEE TREE PLANTING DETAILS FOR PROPER PLANTING SAUCER.
  4. QUANTITIES LISTED IN PLANT LIST ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON LIST AND SHALL BE RESPONSIBLE FOR FURNISHING ALL PLANTS INDICATED ON PLAN.
  5. ALL SPECIALTY SEED MIXES (NON-LAWN MIXES) SHALL BE SEEDED ANNUALLY FOR A PERIOD OF 3 YEARS.

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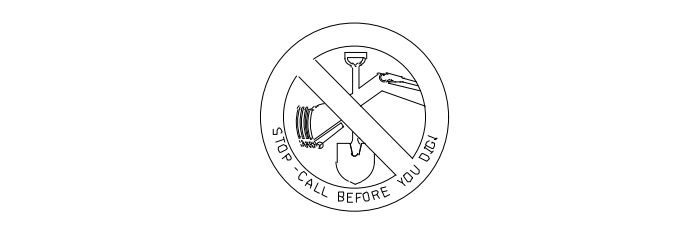
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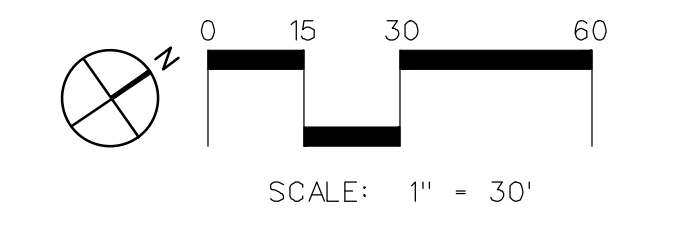
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**CONCEPT PLANT SCHEDULE**

	SHADE TREES ENTRY DRIVE (4 1/2" - 5" CAL.) ACER RUBRUM 'RED SUNSET' / RED SUNSET RED MAPLE	10
	SHADE TREES (2 1/2" - 3" CAL. 3 - 3 1/2" CAL.) ACER RUBRUM / RED MAPLE ACER SACCHARUM / SUGAR MAPLE CARYA OVATA / SHAGBARK HICKORY GLEDITSIA TRIACANTHOS INERMIS / SHADEMASTER / SHADEMASTER HONEY LOCUST LIQUIDAMBAR STYRACIFLUA / ROTUNDOLOBA™ / ROUND-LOBED SWEET GUM LIRIODENDRON TULIPIFERA / TULIP POPLAR QUERCUS SPP. / OAK SPECIES TILIA AMERICANA / AMERICAN LINDEN	52
	BASIN TREES (2" - 2 1/2" CAL. 6" - 8" HGT.) AMELANCHIER CANADENSIS / CANADIAN SERVICEBERRY BETULA NIGRA / RIVER BIRCH CELTIS OCCIDENTALIS / COMMON HACKBERRY NYSSA SYLVATICA / TUPELO	7
	EVERGREEN TREES (6" - 8" HGT.) ILEX OPACA / AMERICAN HOLLY JUNIPERUS VIRGINIANA / EASTERN RED CEDAR PICEA GLAUCO / WHITE SPRUCE PICEA PLANGENS / COLORADO SPRUCE PINUS STROBUS / WHITE PINE THUJA X 'GREEN GIANT' / GREEN GIANT ARBORVITAE	24
	ORNAMENTAL TREES (6" - 8" HGT.) (MIN. 1" CAL.) AMELANCHIER X GRANDIFLORA / APPLE SERVICEBERRY BETULA NIGRA 'BNMTP'™ / DURAE HEAT RIVER BIRCH CARPINUS CAROLINIANA / AMERICAN HORNBEAM CERCIS CANADENSIS / EASTERN REDBUD CORNUS FLORIDA 'CHEROKEE BRAVE' / CHEROKEE BRAVE DOGWOOD CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS COCKSPUR HAWTHORN	53
	FOUNDATION / ACCENT PLANTING (18" - 24" - 24" - 36") CELANOTHUS AMERICANUS / NEW JERSEY TEA CLETHRA ALNIFOLIA SPP. / SUMMERSWEET CLETHRA ILEX CRENATA SPP. / JAPANESE HOLLY ILEX GLABRA SPP. / INKBERRY HOLLY ITEA VIRGINICA SPP. / SWEETSPIRE JUNIPERUS SPP. / JUNIPER SPP. PHYSCOCARPUS OPIFOLIUS / NINEBARK POTENTILLA FRUTICOSA SPP. / BUSH CINQUEFOIL VIBURNUM DENTATUM SPP. / ARROWWOOD VIBURNUM	
	BASIN SHRUBS (24" - 36" S.S. O.C.) CEPHALANTHUS OCCIDENTALIS / BUTTONBUSH ILEX GLABRA / INKBERRY HOLLY ILEX VERTICILLATA / WINTERBERRY LINDERA BENZOIN / SPICEBUSH MYRICA PENNSYLVANICA / NORTHERN BAYBERRY VIBURNUM DENTATUM / VIBURNUM	
	BASIN GRASSES (2 GAL. 24" O.C.) ANDROPOGON GERARDII / BIG BLUESTEM CAREX SPP. / SEDGE JUNCUS EFFRUSUS / SOFT RUSH PANICUM VIRGATUM / SWITCH GRASS	
	SLOPE PLANTING SHRUBS (24" - 36" 4" O.C.) ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA' / BRILLIANT RED CHOKEBERRY CORNUS SPP. / DOGWOOD SPP. COTONEASTER APICULATUS / CRANBERRY COTONEASTER ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY ILEX GLABRA 'SHAMROCK' / SHAMROCK INKBERRY HOLLY MYRICA PENNSYLVANICA / NORTHERN BAYBERRY RHUS AROMATICA 'SRO-LW' / SRO-LW FRAGRANT SUMAC VIBURNUM DENTATUM 'ARROWWOOD' / ARROWWOOD VIBURNUM	
	RESTORATION SEED MIX RIGHT OF WAY NATIVE WOODS MIX WITH ANNUAL RYEGRASS (ERNMX-132-1) AS PRODUCED BY ERNST CONSERVATION SEEDS	
	STORMWATER BASIN SEED MIX NEW ENGLAND EROSION CONTROL RESTORATION FOR DETENTION BASINS AND MOIST SITES (NEW ENGLAND WETLAND PLANTS, INC.)	



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**CONCEPTUAL LANDSCAPE PLAN**

DRAWING TITLE:  
DRAWN BY: RCC/DMW  
PROJECT NO.: 858  
CHECKED BY: GMS  
DATE: 05/19/21  
DRAWING NO.:



**SP-4.1**

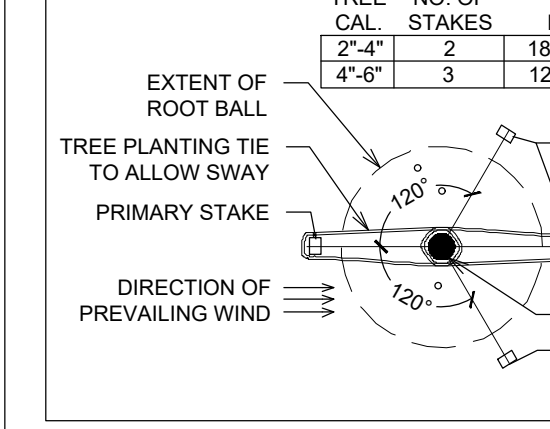
**TREE PIT DIAMETER**

BALL DIA.	MIN. PIT WIDTH
UP TO 48"	BALL DIA. +2"
48" UP	1.5X x BALL DIA.

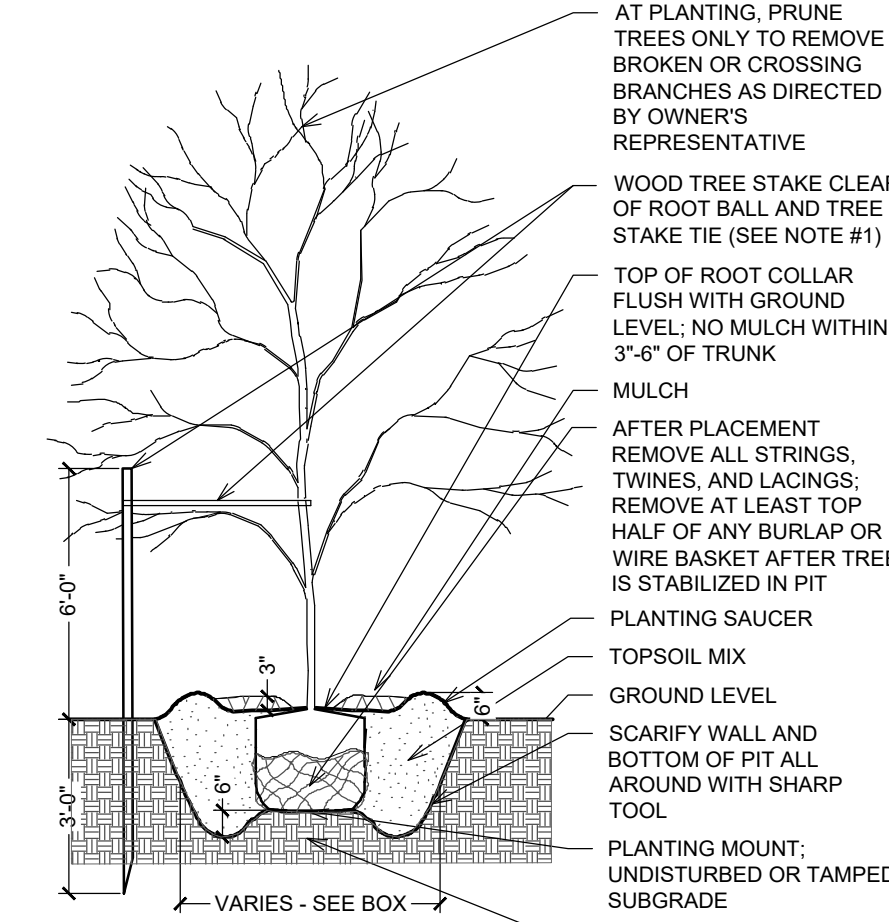
**PIT DIAMETER IN COMPACTED SOIL**

BALL DIA.	MIN. PIT WIDTH
UP TO 48"	BALL DIA. +5"
48" UP	2 x BALL DIA.

**STAKING DIAGRAM**



NOTE:  
 1. STAKE ONLY WHERE TREES ARE EXPOSED TO STRONG WINDS, PLANTED SLOPE IS GREATER THAN OR EQUAL TO 3:1 OR AS DIRECTED BY OWNER'S REPRESENTATIVE. SEE STAKING DIAGRAM.  
 2. SCARIFY ROOT BALL OF CONTAINER STOCK ALL AROUND W/ SHARP TOOL.



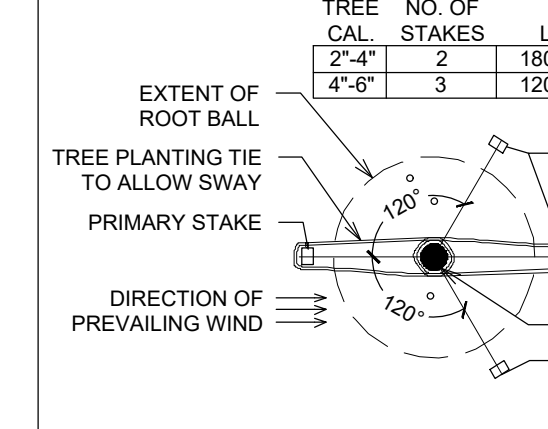
**TREE PIT DIAMETER**

BALL DIA.	MIN. PIT WIDTH
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48" UP	1.5X x BALL DIA.

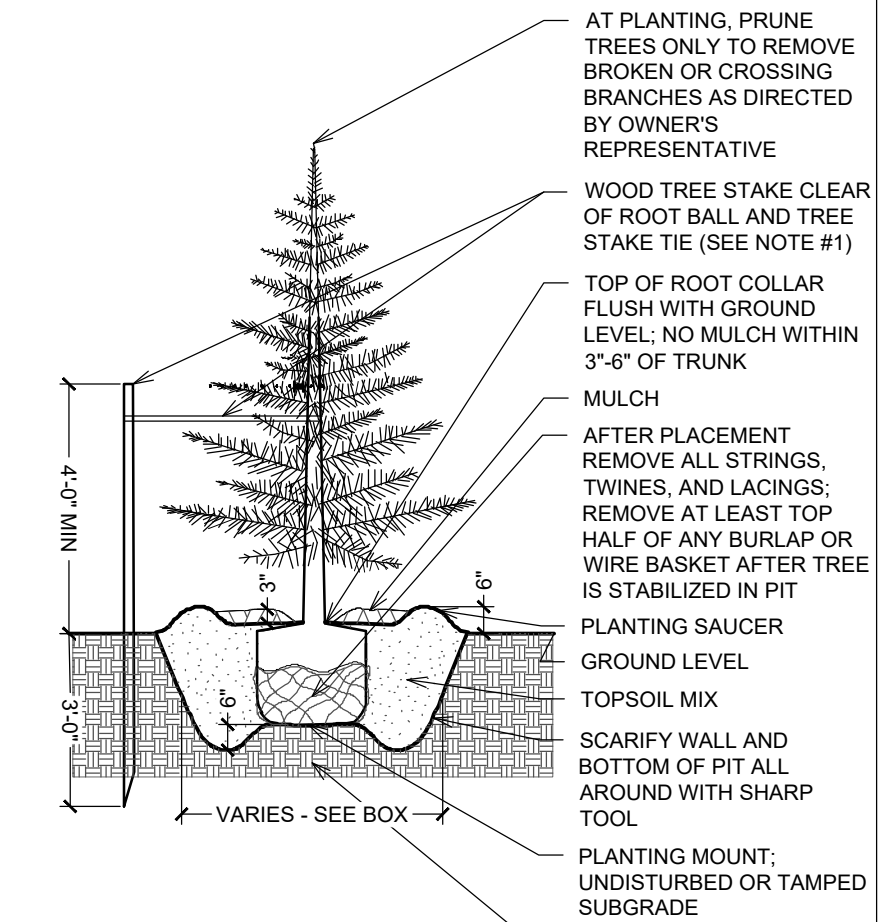
**PIT DIAMETER IN COMPACTED SOIL**

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48" UP	2 x BALL DIA.

**STAKING DIAGRAM**



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 2. SCARIFY ROOT BALL OF CONTAINER STOCK ALL AROUND W/ SHARP TOOL.



**TREE PIT DIAMETER**

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UP TO 48"	BALL DIA. +2"
48" UP	1.5X x BALL DIA.

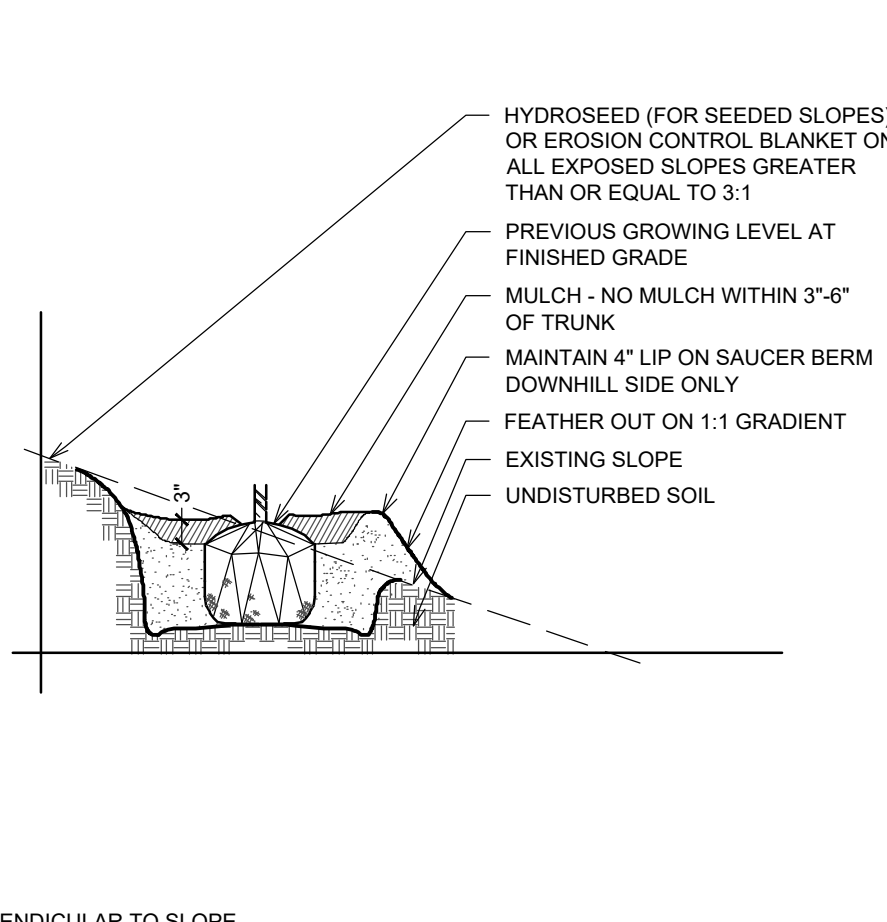
**PIT DIAMETER IN COMPACTED SOIL**

BALL DIA.	MIN. PIT WIDTH
UP TO 48"	BALL DIA. +5"
48" UP	2 x BALL DIA.

**STAKING DIAGRAM**



NOTE:  
 1. PLANTS SET VERTICALLY, NOT PERPENDICULAR TO SLOPE  
 2. EROSION CONTROL BLANKET FOR SEEDED AREAS TO BE "LANDLOK CS2" AS MANUFACTURED BY CONTECH CONSTRUCTION PRODUCTS, INC. OR APPROVED EQUAL  
 3. EROSION CONTROL BLANKET FOR PLANTED SLOPES TO BE JUTE MESH BLANKET OR APPROVED EQUAL



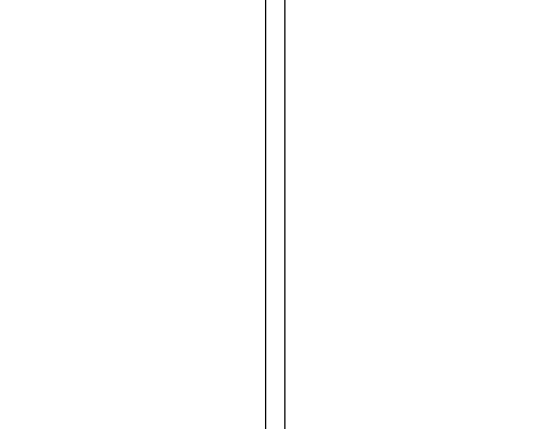
**TREE PIT DIAMETER**

BALL DIA.	MIN. PIT WIDTH
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48" UP	1.5X x BALL DIA.

**PIT DIAMETER IN COMPACTED SOIL**

BALL DIA.	MIN. PIT WIDTH
UP TO 48"	BALL DIA. +5"
48" UP	2 x BALL DIA.

**STAKING DIAGRAM**



PLANTED SLOPE NOTES:  
 1. FURNISH AND INSTALL ANTI-WASH GEOJUTE OR APPROVED EQUAL AS PER MANUFACTURER'S SPECIFICATIONS INCLUDING STAPLES.  
 2. INSTALL JUTE EROSION CONTROL FABRIC ON ALL DISTURBED AREAS OF SLOPE. STAKE FABRIC TO SOIL USING METAL STAPLES PLACED 18" TO 24" APART ALONG EDGES OR AS RECOMMENDED BY MANUFACTURER.  
 3. INSTALL 3" DEPTH OF MULCH THROUGHOUT PLANTED AREA OVER JUTE FABRIC.

SEEDED SLOPE NOTES:  
 1. HYDROSEED SLOPES 3:1 OR GREATER WITH SPECIFIED SEED MIX.  
 2. HYDROMULCH WITH TACKIFIER OR FURNISH AND INSTALL EROSION CONTROL BLANKET "LANDLOK CS2" OR APPROVED EQUAL PER MANUFACTURER'S SPECIFICATIONS INCLUDING ANCHORAGE RECOMMENDATIONS.  
 3. INSTALL EROSION CONTROL MEASURES ON ALL DISTURBED AREAS OF SLOPE.

DECIDUOUS TREE AND SHRUB PLANTING SCALE: N.T.S.

1

EVERGREEN TREE PLANTING SCALE: N.T.S.

2

SLOPE PLANTING SCALE: N.T.S.

3

SLOPE STABILIZATION SCALE: N.T.S.

4

TITLE SCALE: N.T.S.

5

TITLE SCALE: N.T.S.

6

TITLE SCALE: N.T.S.

7

TITLE SCALE: N.T.S.

8

TITLE SCALE: N.T.S.

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TITLE SCALE: N.T.S.

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TITLE SCALE: N.T.S.

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TITLE SCALE: N.T.S.

12

TITLE SCALE: N.T.S.

13

TITLE SCALE: N.T.S.

14

TITLE SCALE: N.T.S.

15

TITLE SCALE: N.T.S.

16

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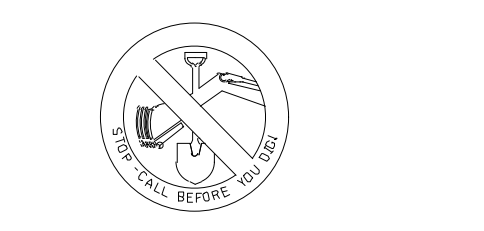
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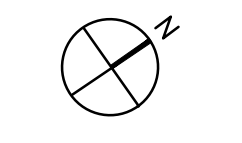
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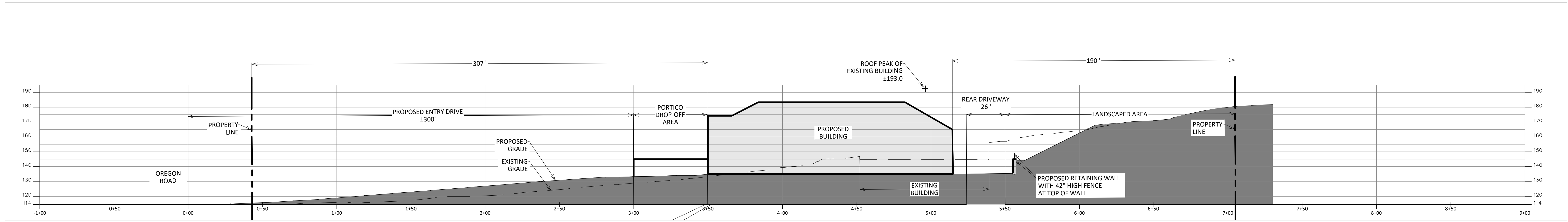
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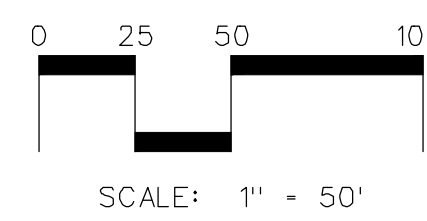
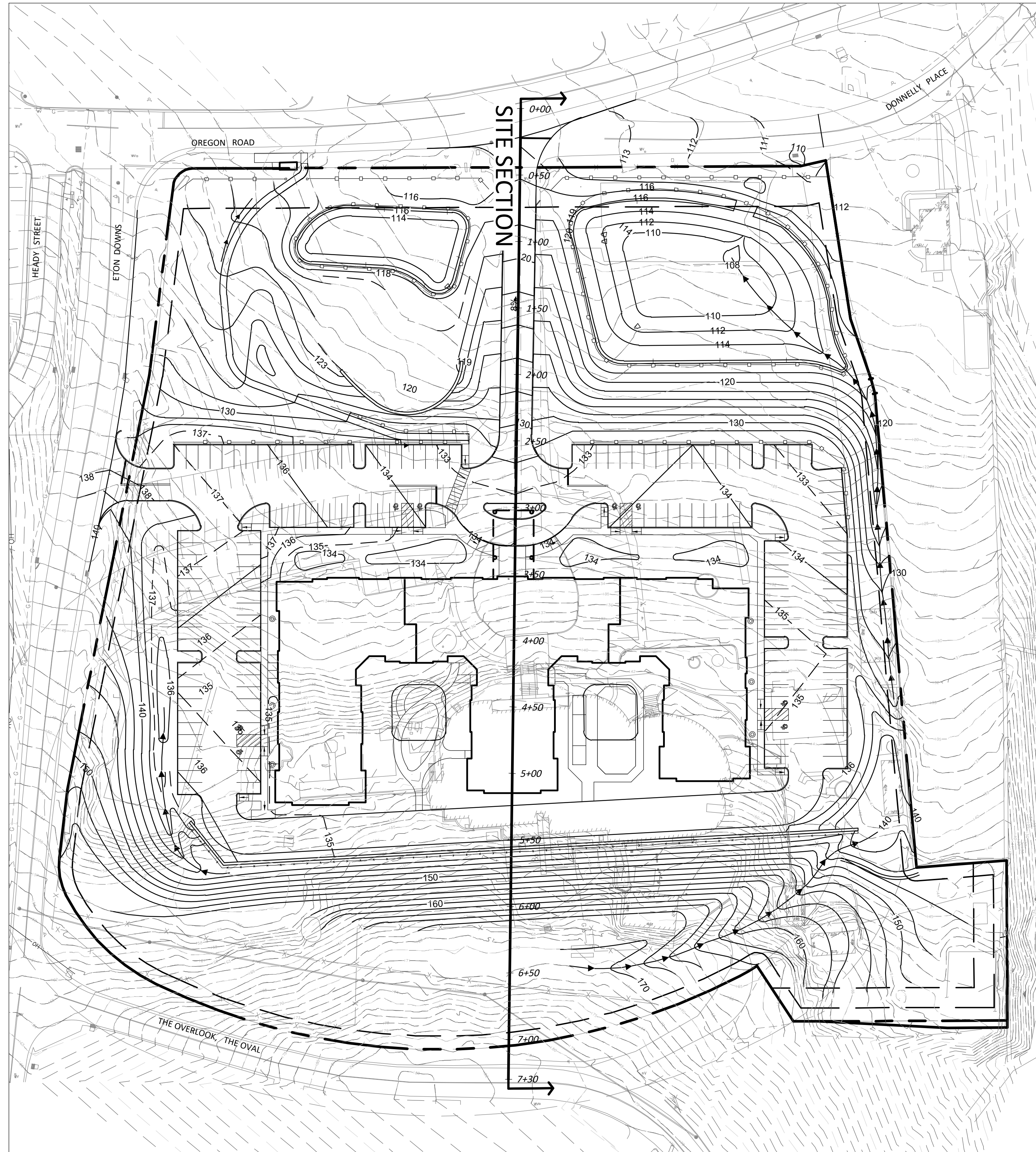
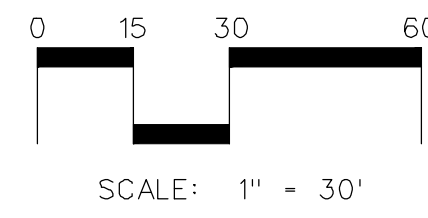
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**LANDSCAPE DETAILS**

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	PROJECT NO. 858	DATE: 05/19/21
	DRAWING NO. <b>SP-4.2</b>	



SITE SECTION



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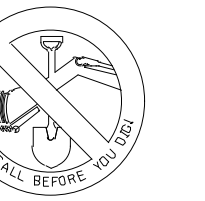
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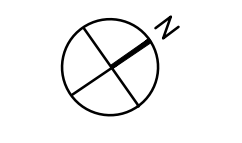
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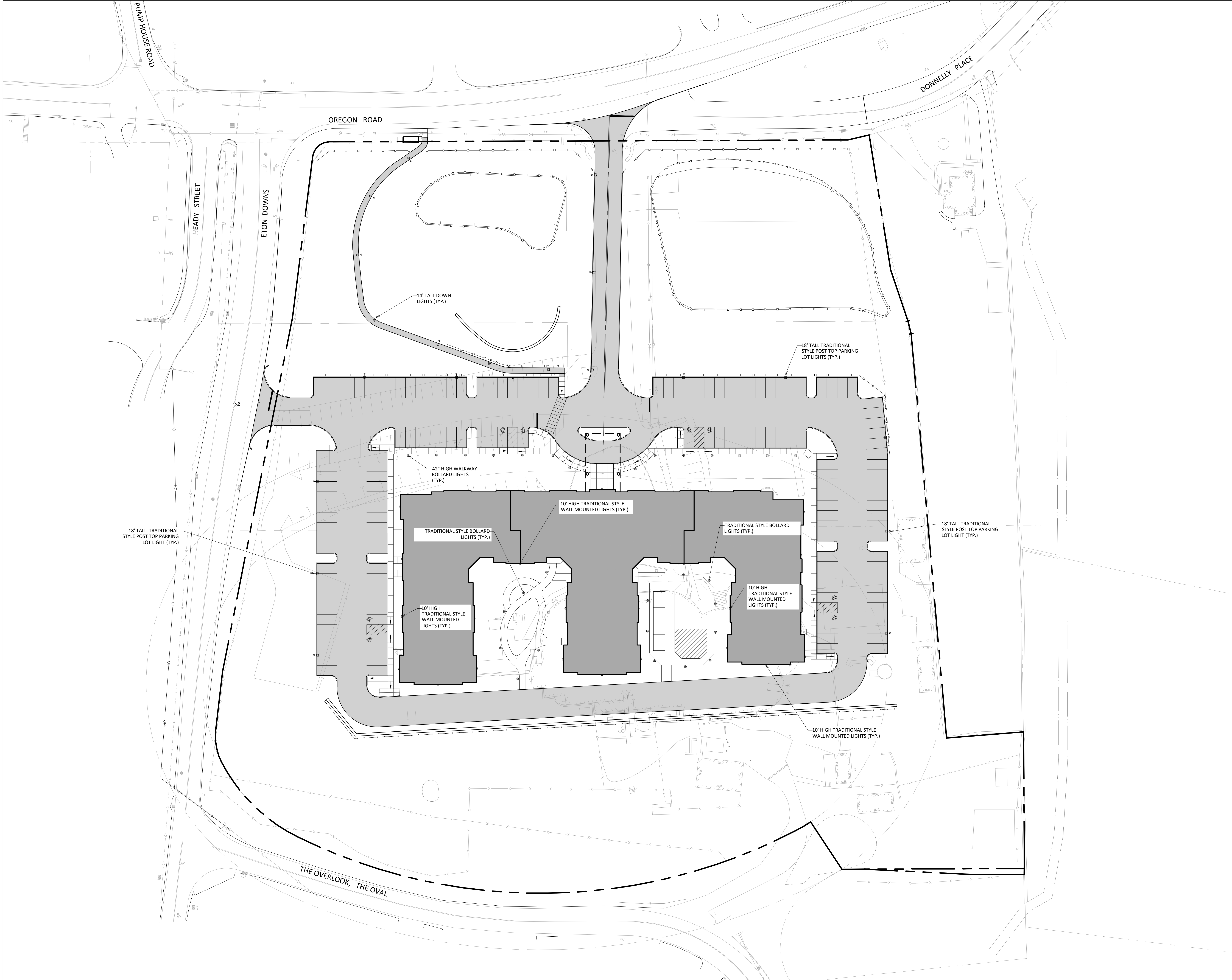
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SITE SECTION

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DRAWING NO.: <b>SP-4.3</b>		



PLOTTED BY: DIVNEY TUNG SCHWALBE, LLP MAELLO, DONNA M. 9/23/21 11:42:55 AM D:\CADD\888 MP - CORTLANDT MANOR\888 SP-5-1 SITE LIGHTING PLAN (P.T.DWG)



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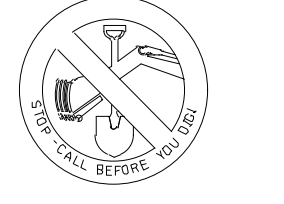
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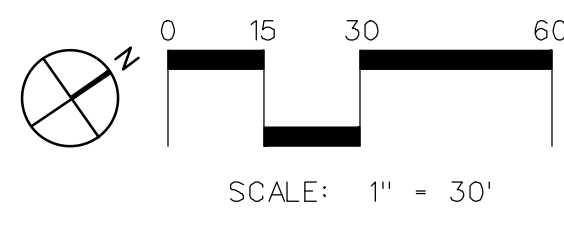
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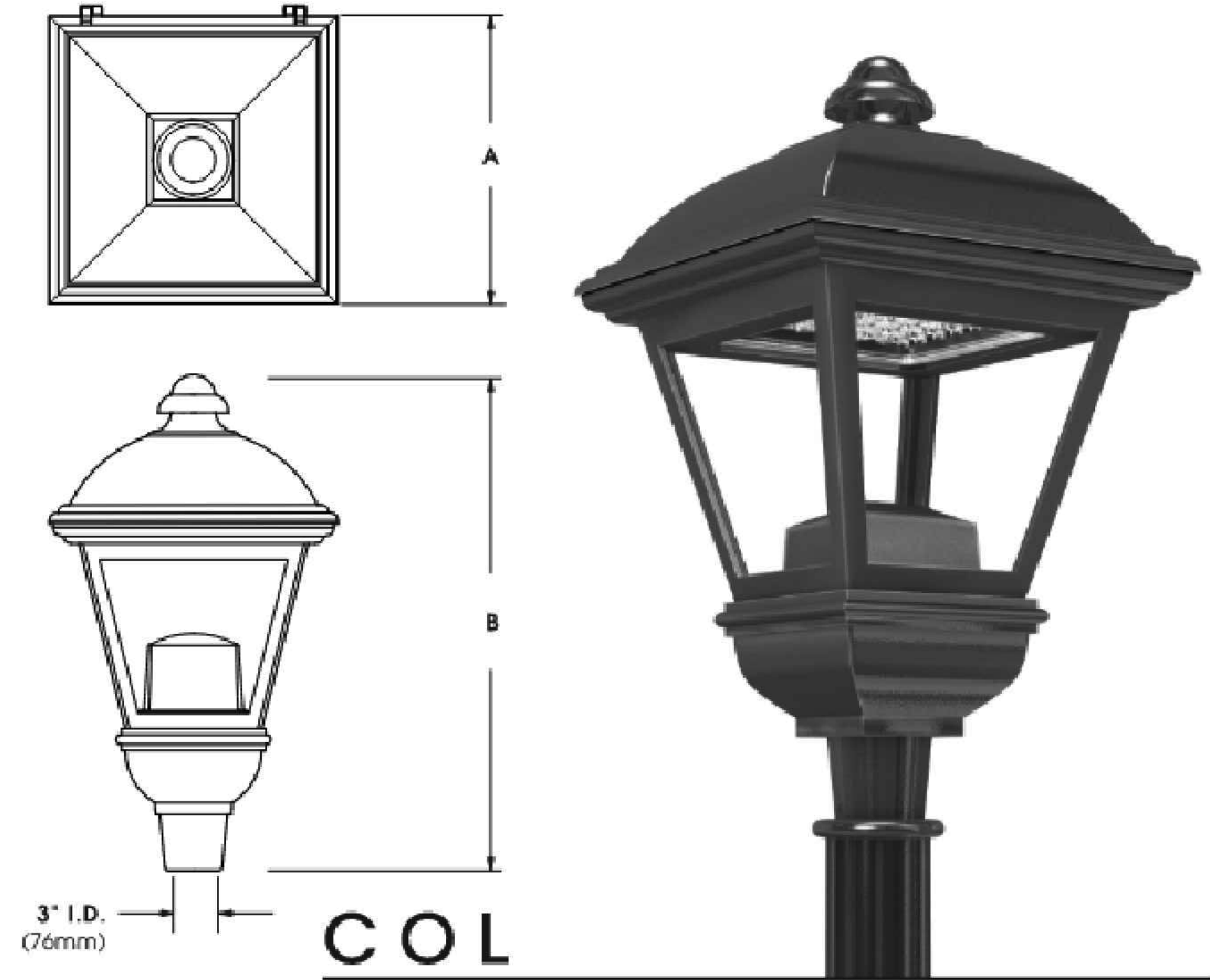
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### SITE LIGHTING PLAN

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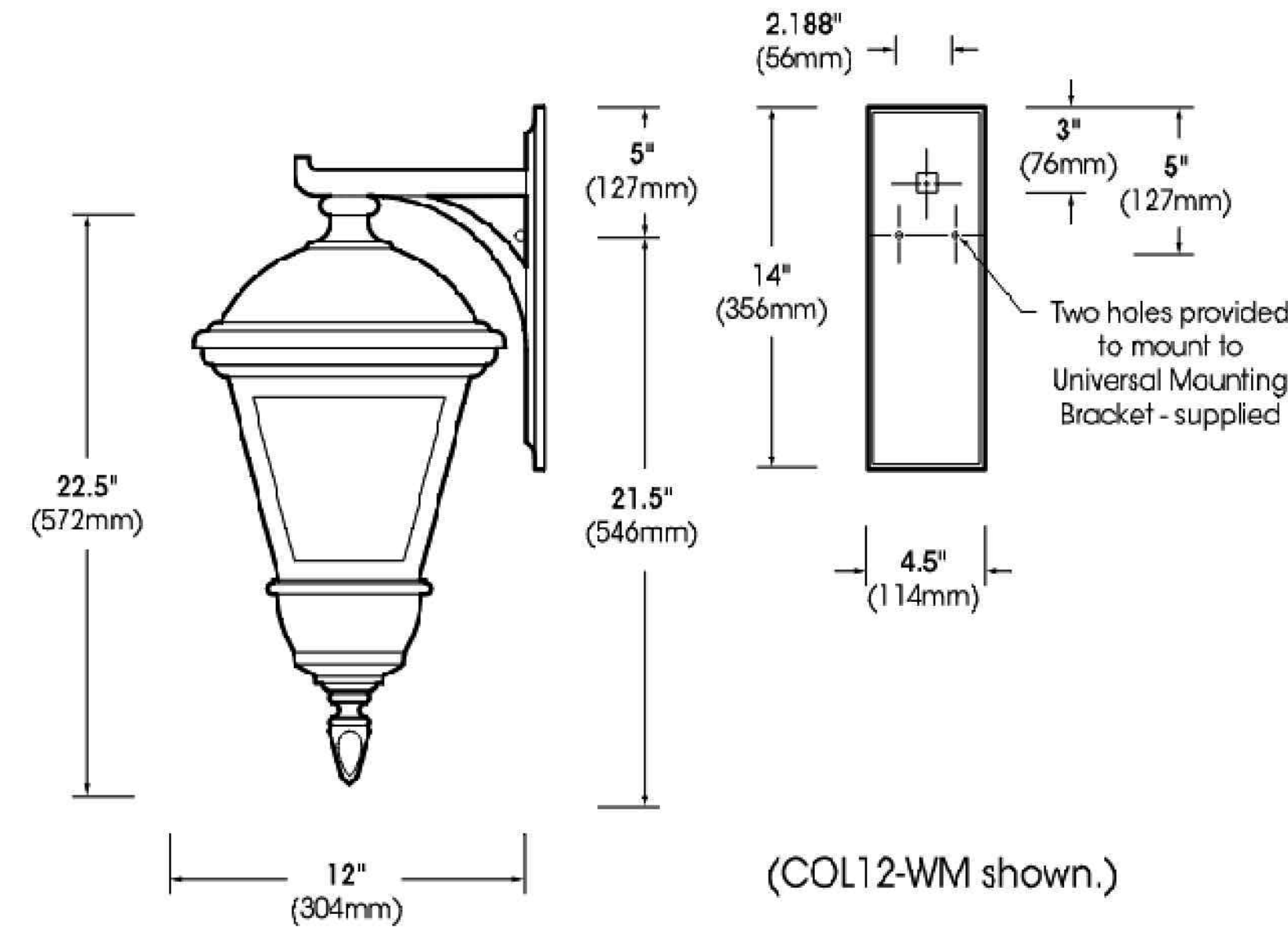
PATENT PENDING  
Fitter supplied to fit over 2 7/8" X 3" (73mm X 76mm) fannon.

FIXTURE	A	B
COL21-LED	21" (533mm)	35" (889mm)
COL18-LED	18" (457mm)	31" (787mm)
COL12-LED	12" (305mm)	22" (559mm)

TRADITIONAL STYLE, POLE TOP PARKING LOT LIGHTS (18" TALL)  
SCALE: N.T.S.

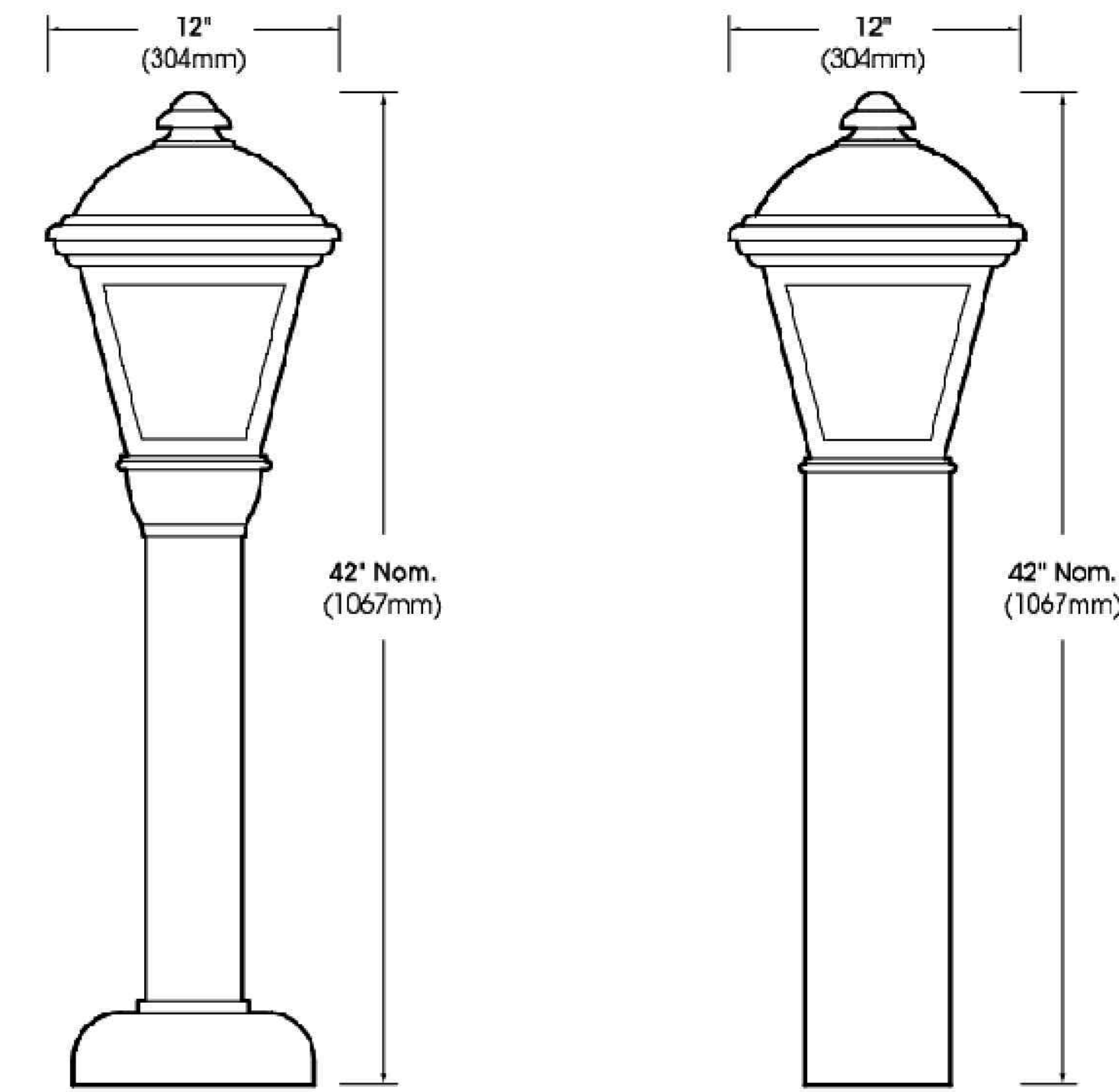
1

### Wall Mounted



TRADITIONAL STYLE, WALL MOUNTED LIGHTS (10" HIGH)  
SCALE: N.T.S.

2



TRADITIONAL STYLE COURTYARD BOLLARD LIGHTS  
SCALE: N.T.S.

3

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42" high rectangular Bollard with (1) 13 Watt (equivalent to a 150 Watt MH) LED fixture for low level lighting applications. Great for pathway lighting! IESNA Full Cutoff, Fully Shielded optics. 5-year, no-compromise warranty.

Color: Bronze Weight: 15.3 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	13W
120V	0.13A	Color Temp	3000K (Warm)
208V	0.08A	Color Accuracy	87 CRI
240V	0.07A	L70 Lifespan	100,000 Hours
277V	0.06A	Lumens	1,517
Input Watts	15.2W	Efficacy	99.8 lm/W

#### Technical Specifications

##### Compliance

##### UL Listed:

Suitable for wet locations

##### IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

##### Dark Sky Conformance:

Conforms to (allows for conformance to) the requirements for the IDA's "Fixture Seal of Approval" as of March 1, 2016.

##### Performance

##### Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

##### Construction

##### Junction Box:

Junction Box Not Included

##### Maximum Ambient Temperature:

Suitable for use in up to 55°C (131°F)

##### Cold Weather Starting:

The minimum starting temperature is -30C

##### Green Technology:

Mercury and UV free. RoHS-compliant components.

##### Housing:

Precision die-cast aluminum housing, lens frame

##### Mounting:

42" Bollard

##### Gaskets:

High-temperature silicone

##### Finish:

Formulated for high durability and long-lasting color

##### Anchor Bolt:

The anchor bolts for the BLED's have the following dimensions 1/2" - 13 x 12 1/4" long with 2 3/4" hook. Available online in pdf file.

##### Electrical

##### Driver:

Multi-chip 13W high output long life LED Driver Constant Current, Class 2 100V - 277V, 50/60 Hz

WALKWAY BOLLARDS (42" TALL)  
SCALE: N.T.S.

4



DIMENSIONS:  
DPL46 - Top : 46"L x 6"W x 4"H  
Pole : 4" Depth x 6"W  
DPL46S - Top : 46"L x 6"W x 4"H  
Pole : 6" Depth x 6"W

Project:	
Location(s):	
Type:	
Qty:	
Date:	

#### PRODUCT SPECIFICATIONS

##### Description:

Pole Top with Overhang Down Lights. Available in Multiple Mountings

##### Materials:

Aluminum

##### Finish:

Powder Coated

##### Lens:

White Polycarbonate

##### LED:

Integrated LED Array

##### Listing:

Wet List to Meet UL1598 Standard

##### Driver Info:

120/277V

##### Installation Information:

Install by Qualified Electrician

##### Warranty:

2 Years From Date of Shipment



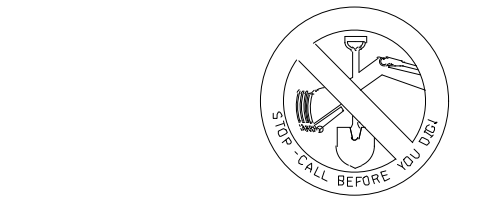
#### ORDER INFORMATION

Call Factory For Fluorescent Options

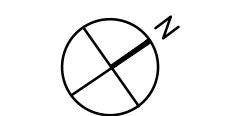
MODEL	FINISH	WATTAGE	KELVIN	POLE HEIGHT	MOUNTING	OPTIONS
Model DPL46 DPL46S	Finish DB - Dark Bronze BL - Black AS - Anodized Silver WH - White CC - Custom Color	Wattage LED40 - 40W LED 5000 Lms* LED50 - 50W LED 9400 Lms	Kelvin 30 - 30K 40 - 40K 50 - 50K	Pole Height XX - Fill XX with feet 14'	Mounting 190 - 1 Head @ 90 290 - 2 heads @ 90 2180 - 2 heads @ 180 390 - 3 heads @ 90 490 - 4 heads @ 90	Options DIM - 0-10V Dimmable PC - Photocell MOT - Motion

WALKWAY DOWN LIGHTS (14" TALL)  
SCALE: N.T.S.

5



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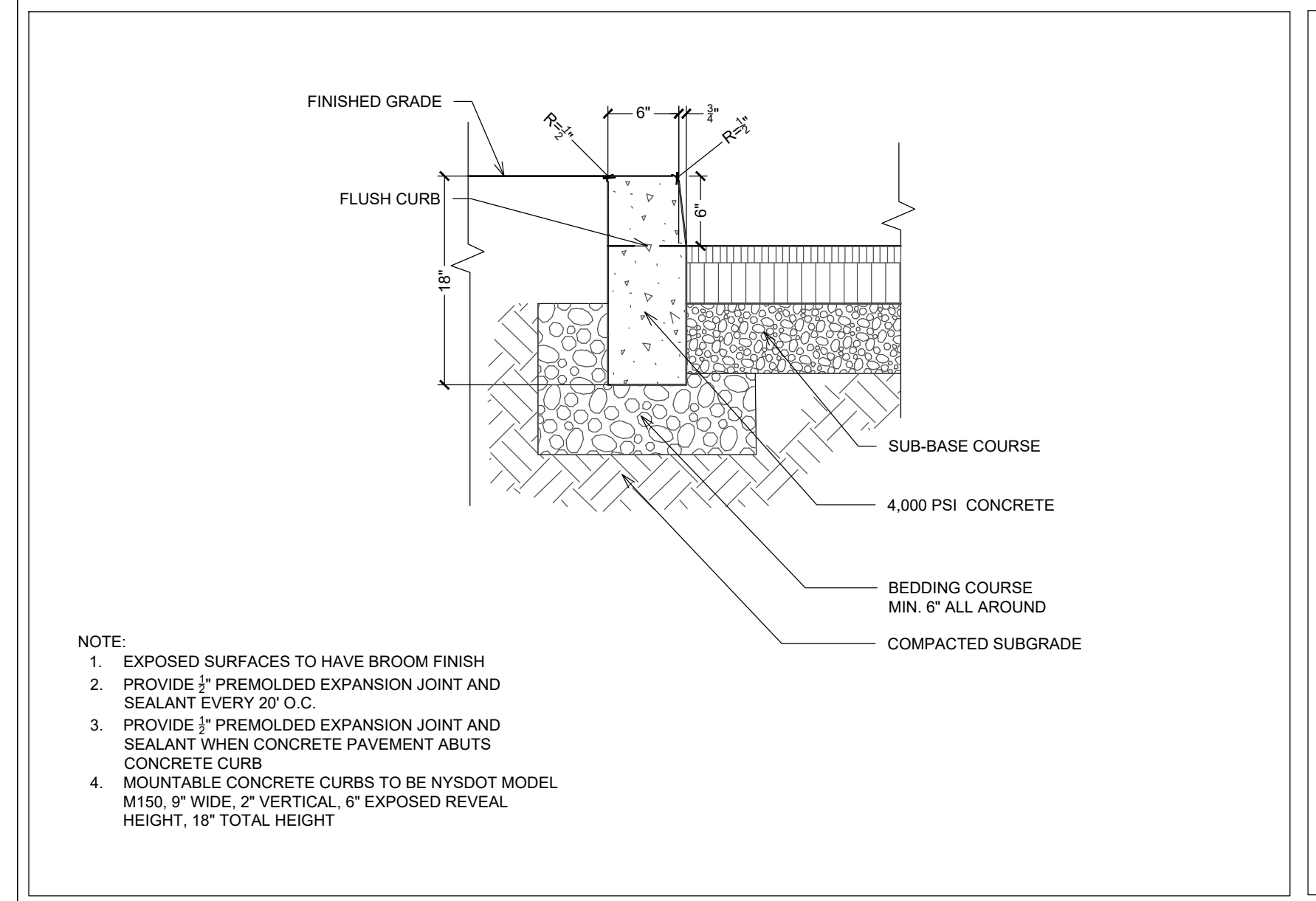
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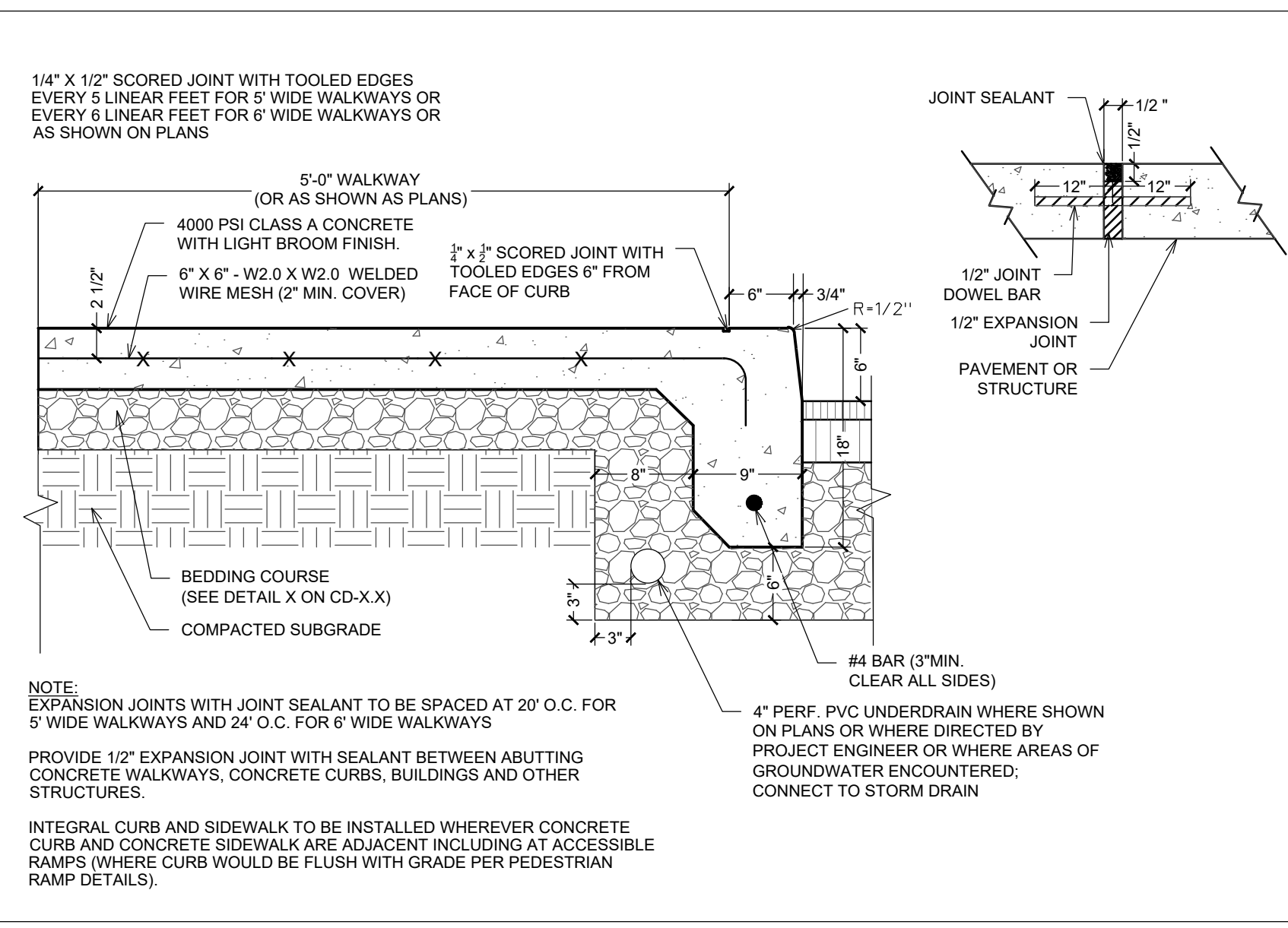
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PROJECT NO: 858	DATE: 06/23/21
DRAWING NO:	

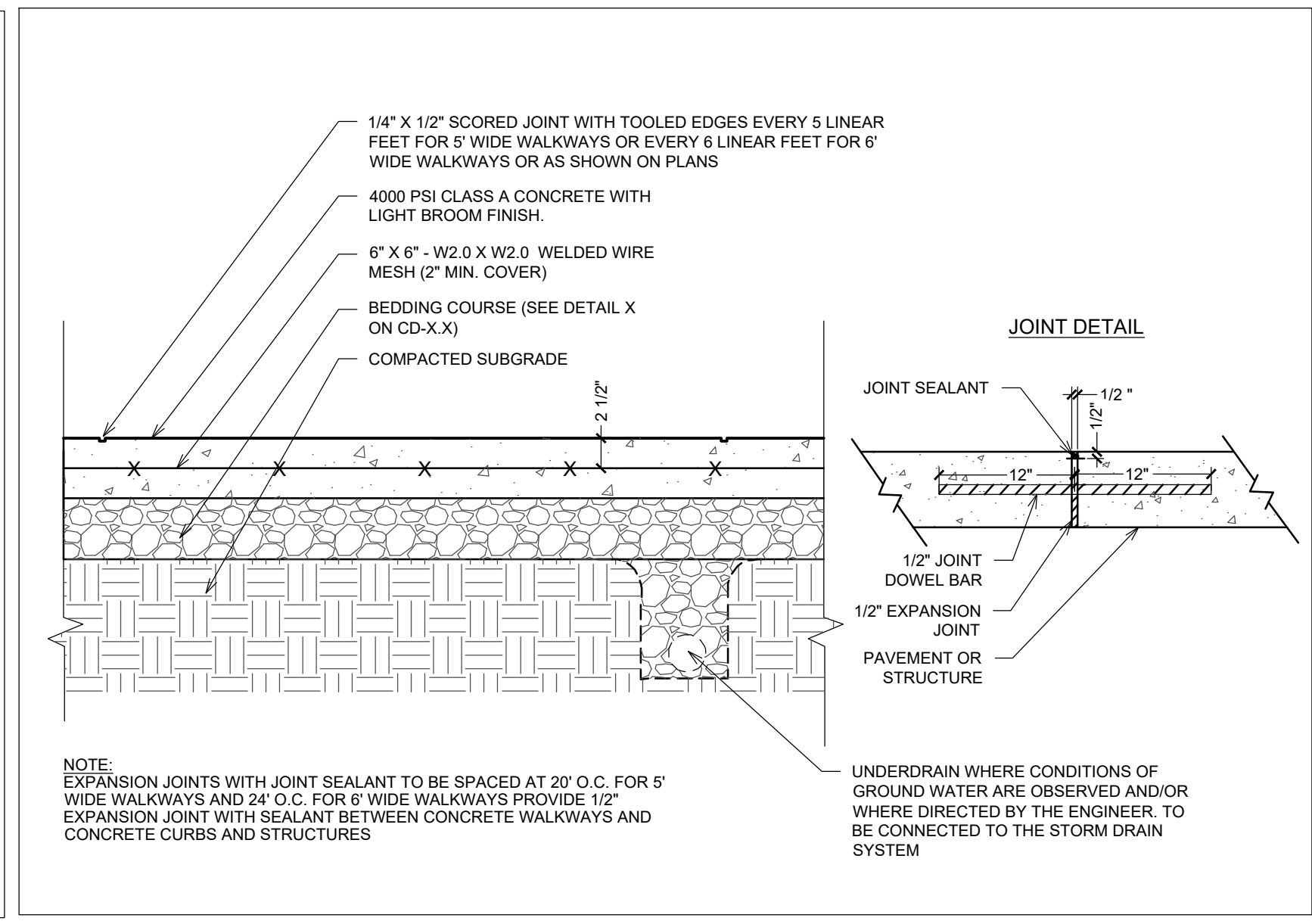
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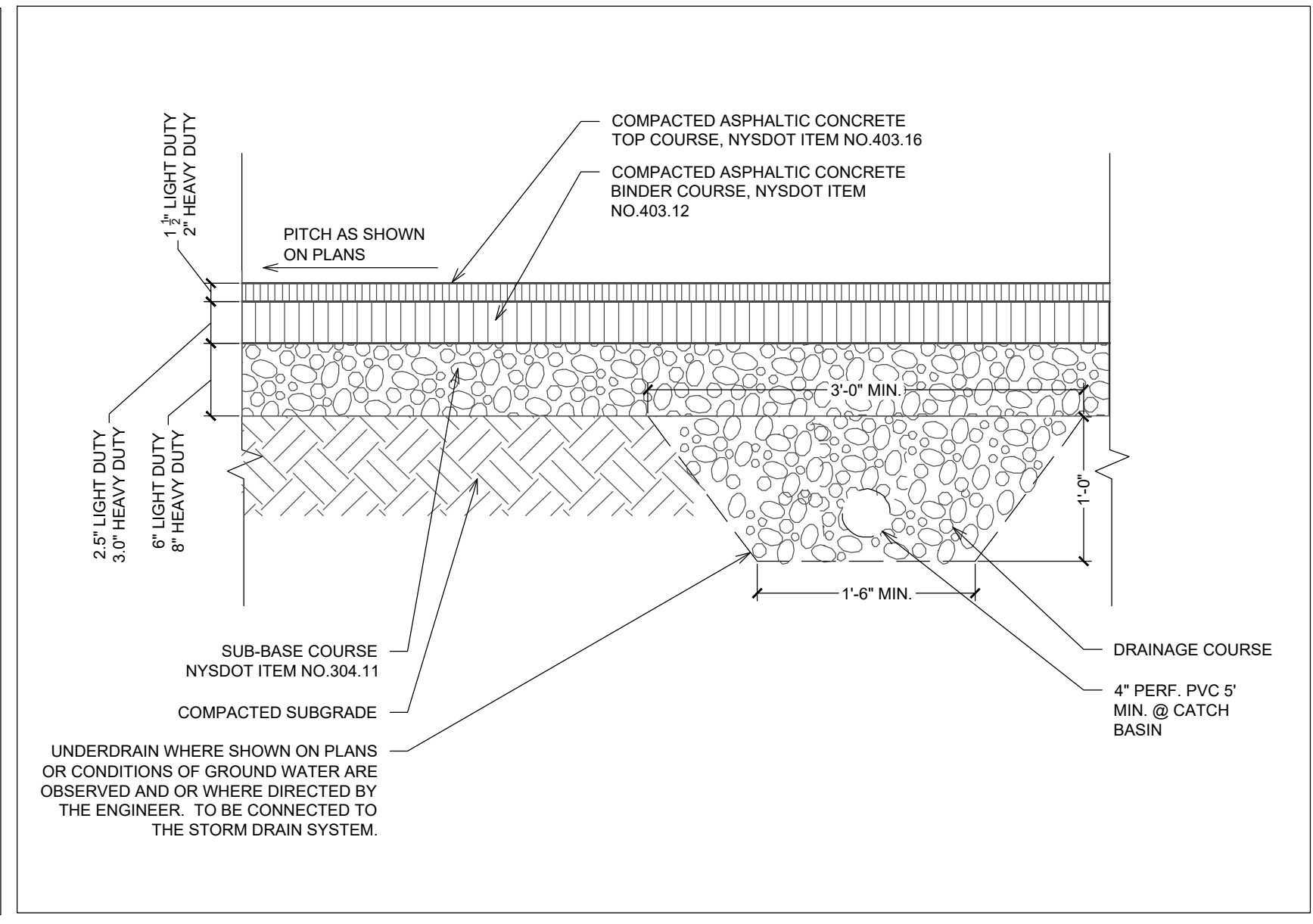
CONCRETE CURB SCALE: N.T.S. 1



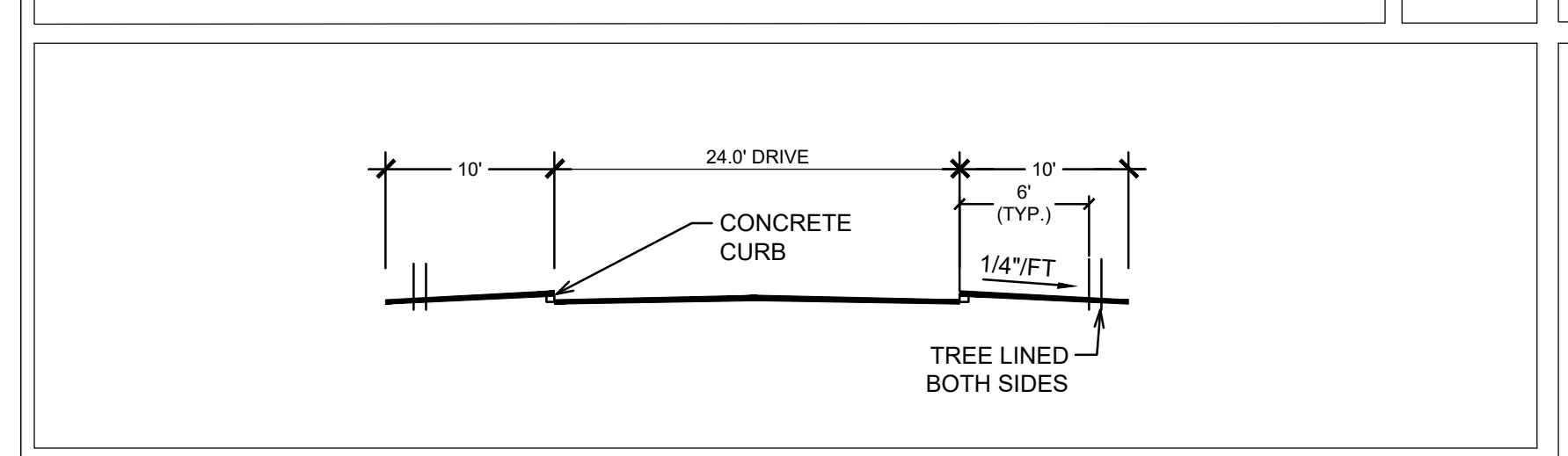
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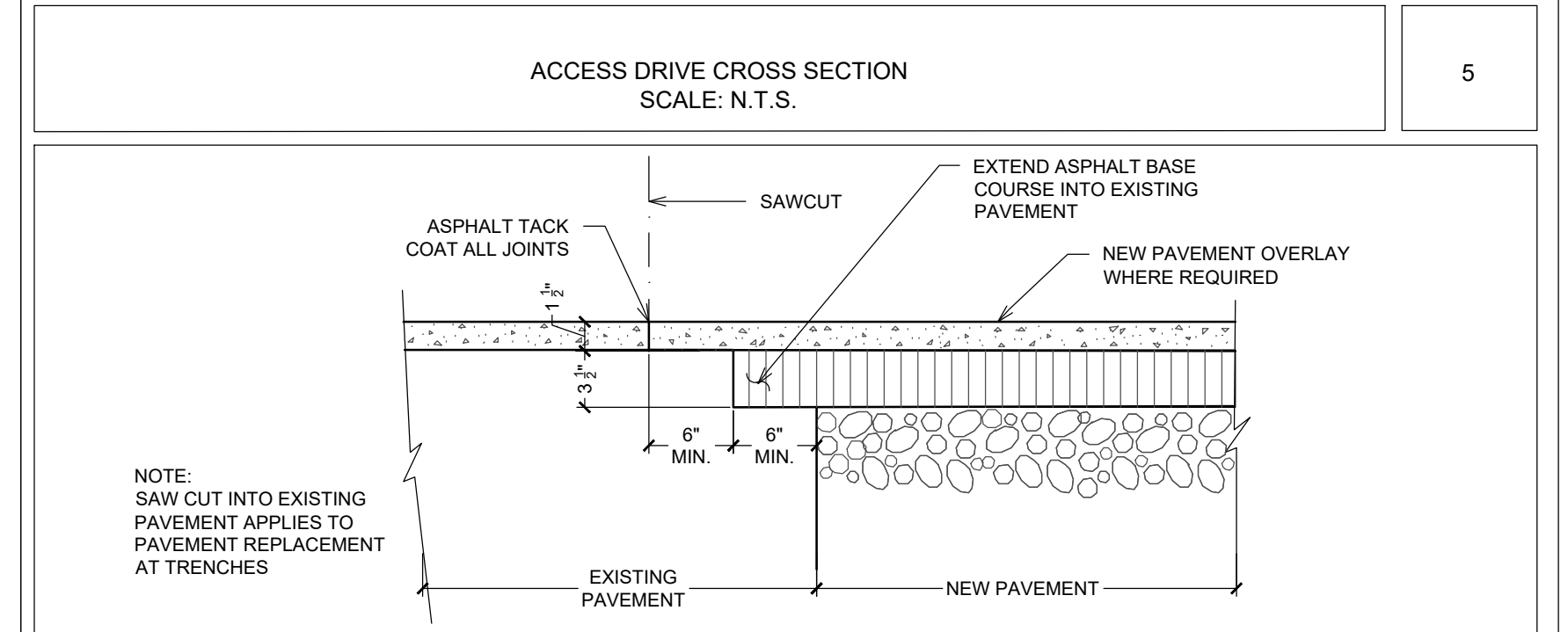
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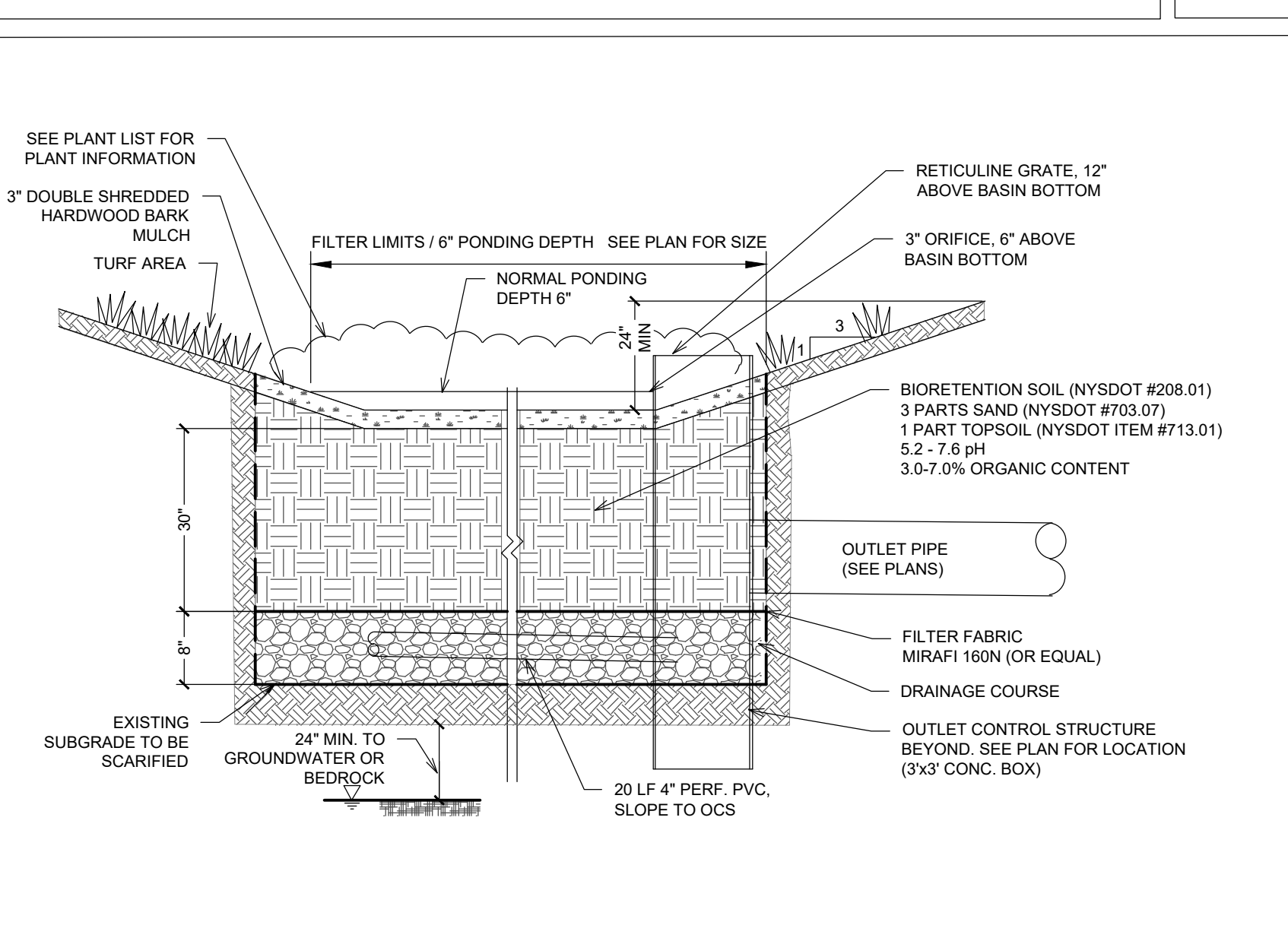
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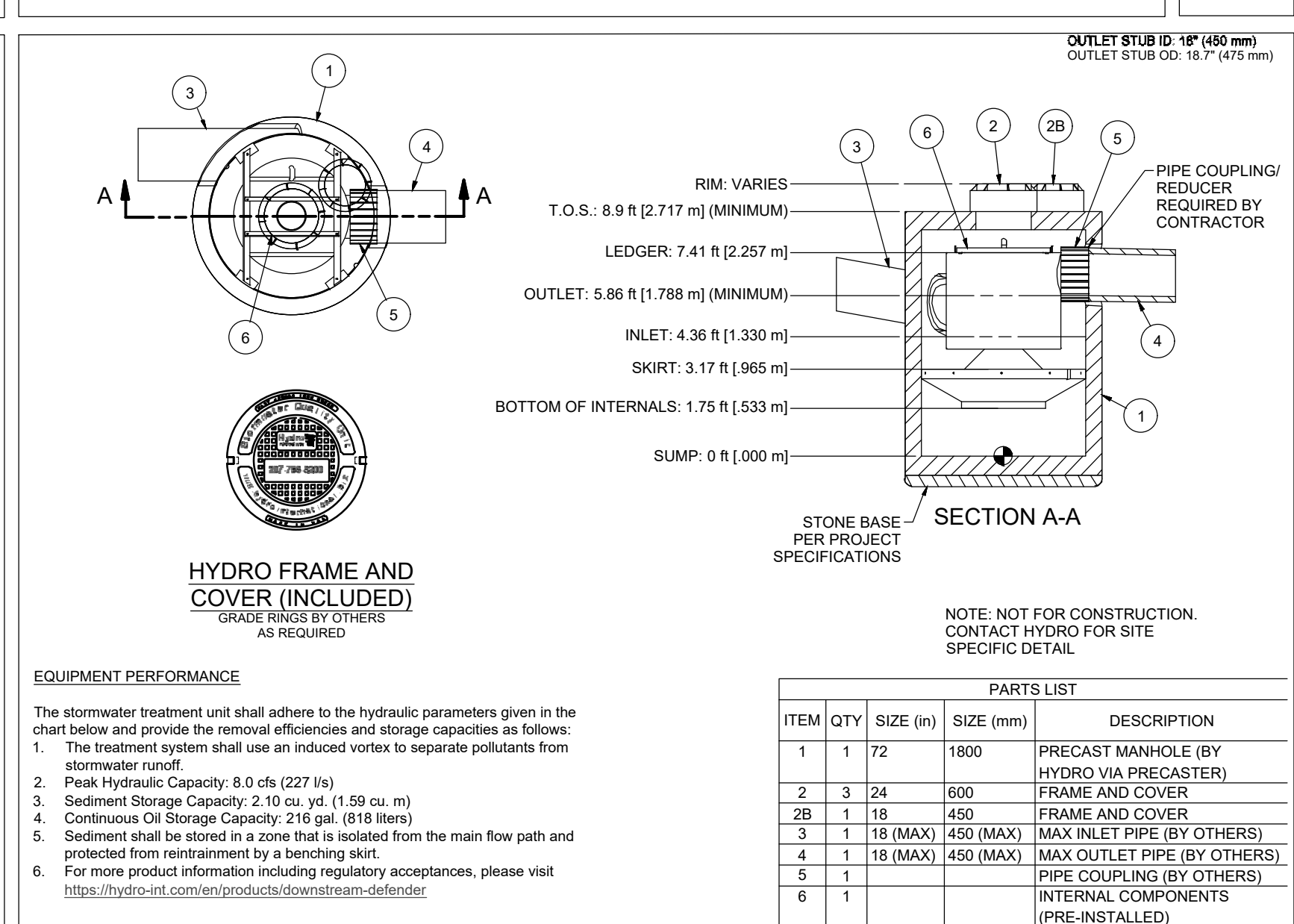
ACCESS DRIVE CROSS SECTION SCALE: N.T.S. 5



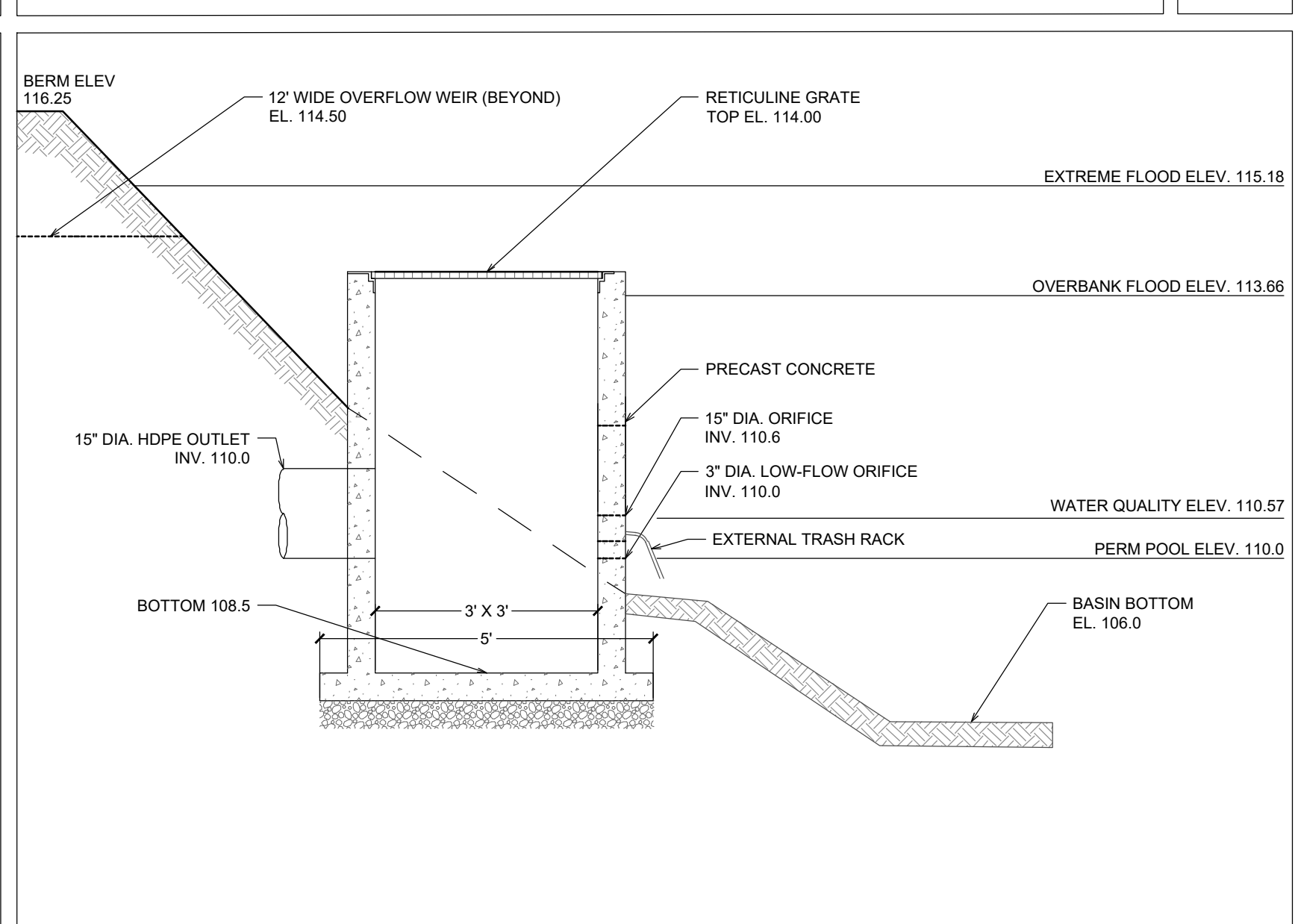
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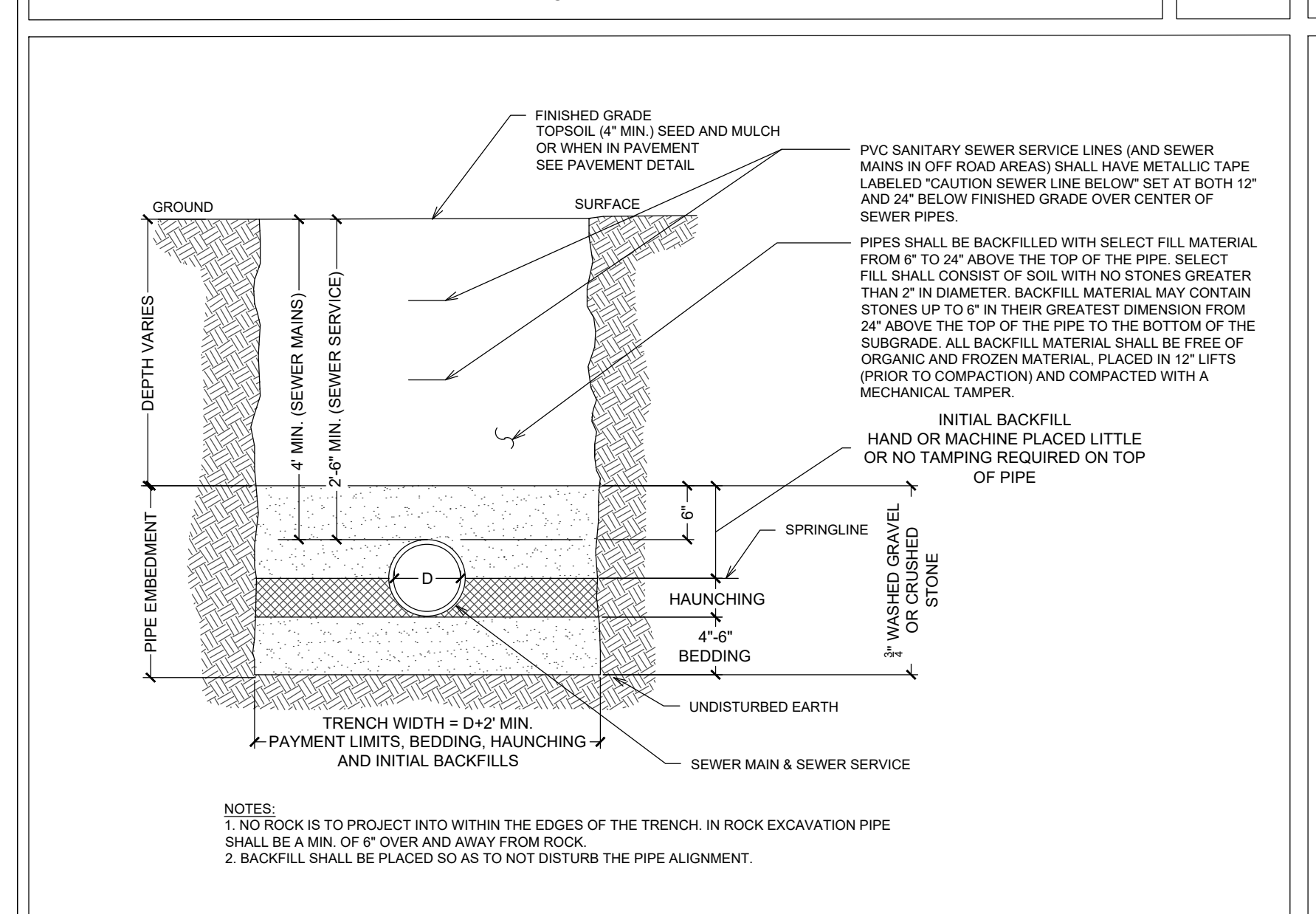
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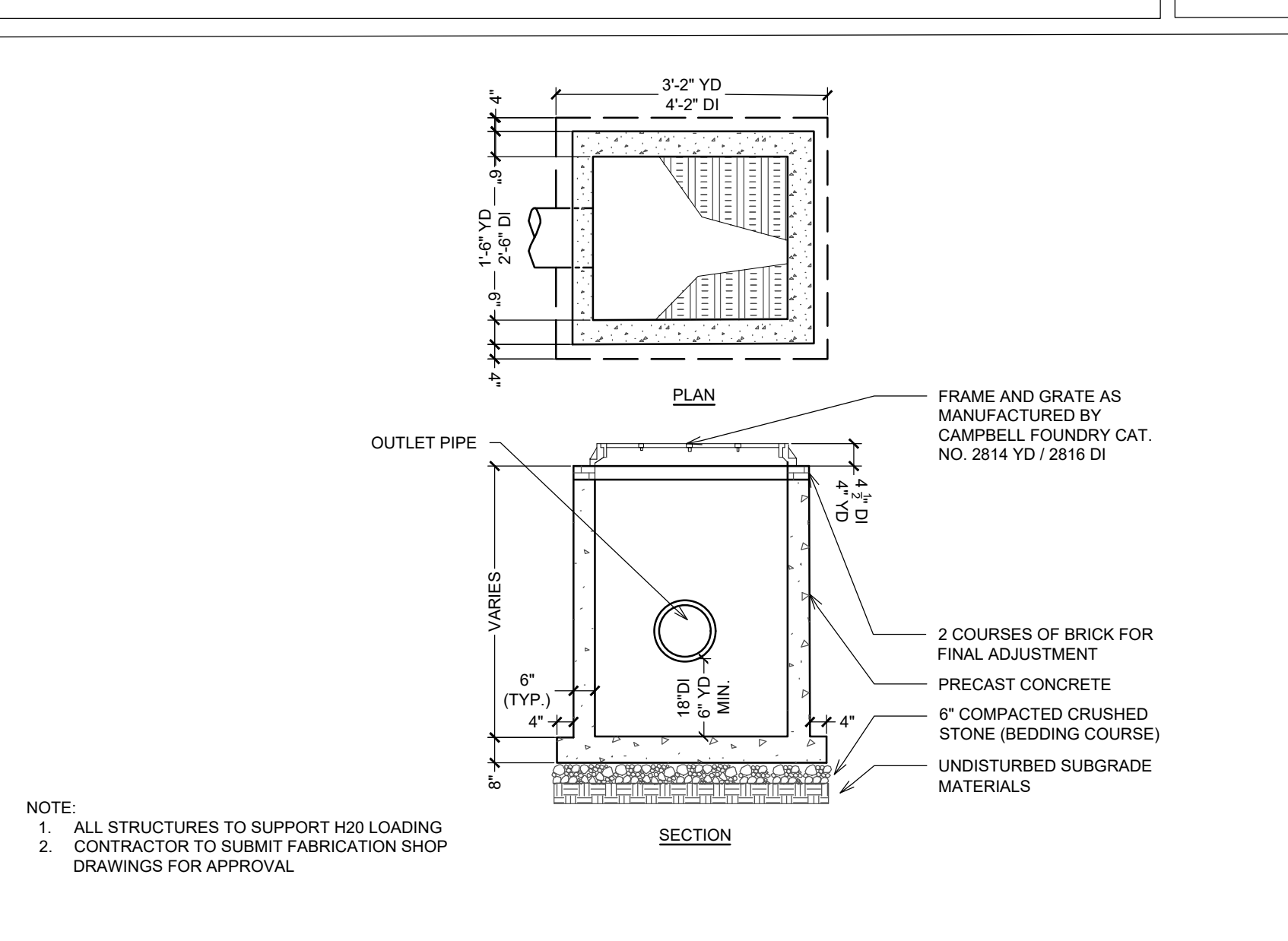
HYDRODYNAMIC SEPARATOR SCALE: N.T.S. 8



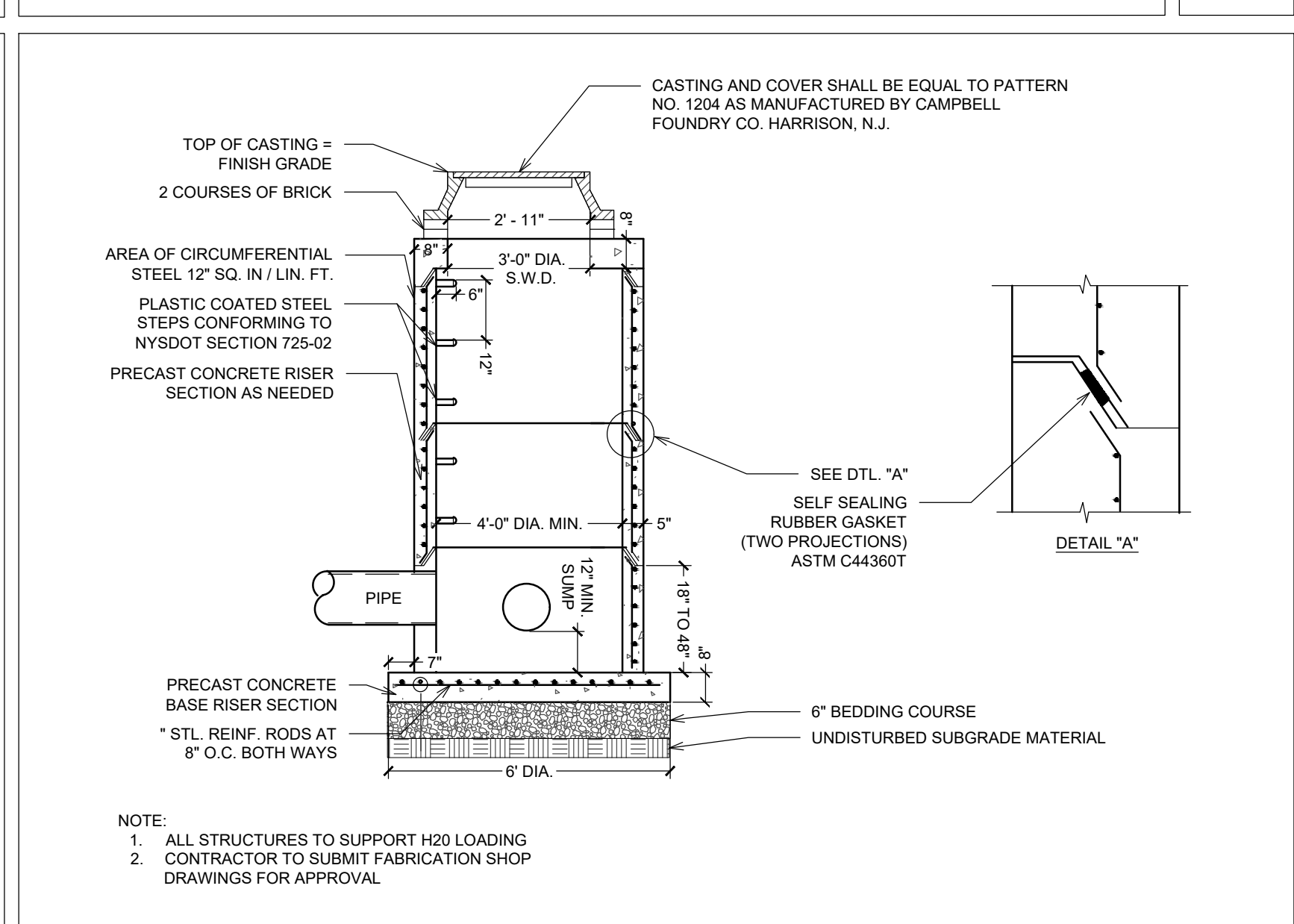
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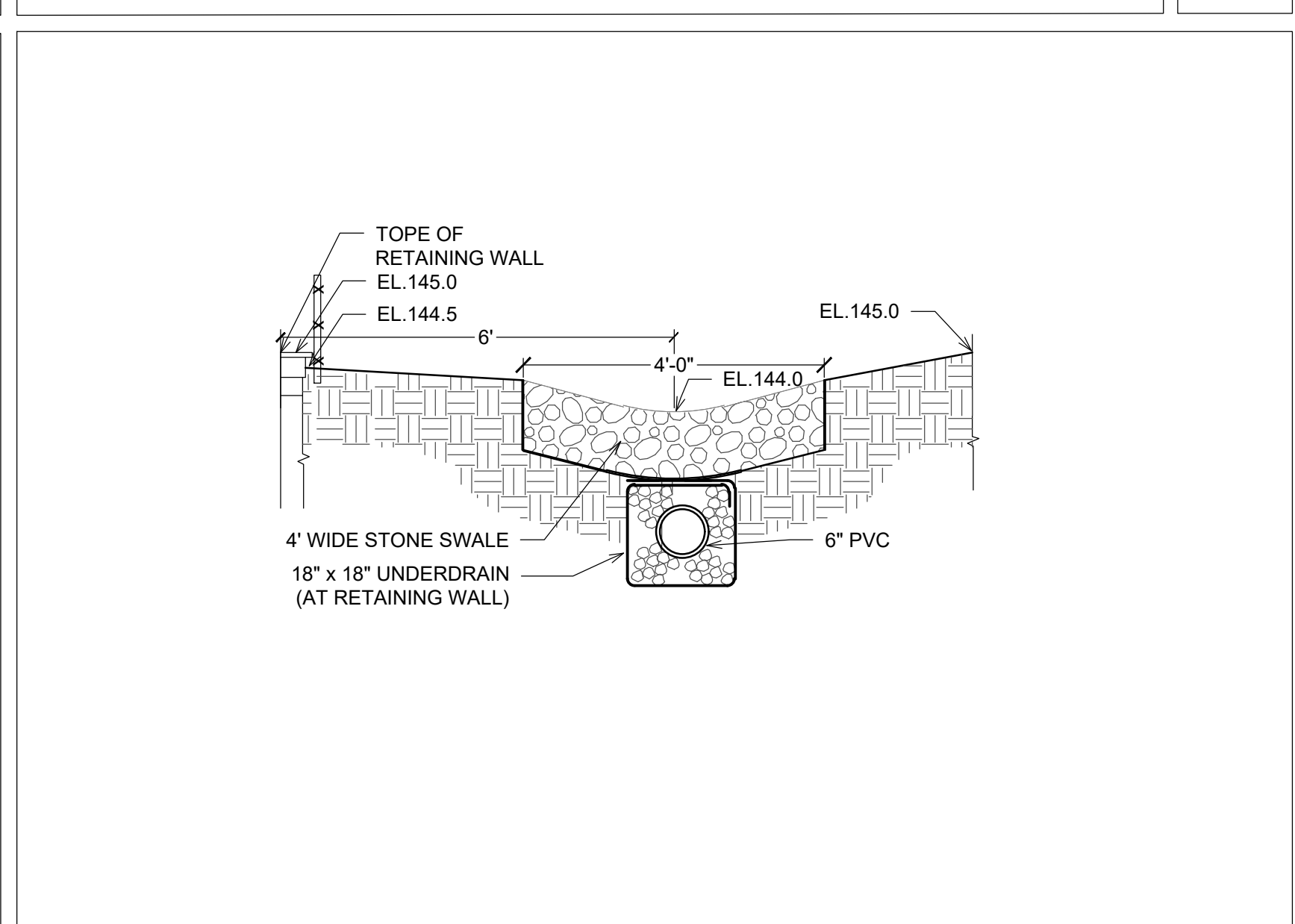
TRENCH DETAIL (STORM) SCALE: N.T.S. 10



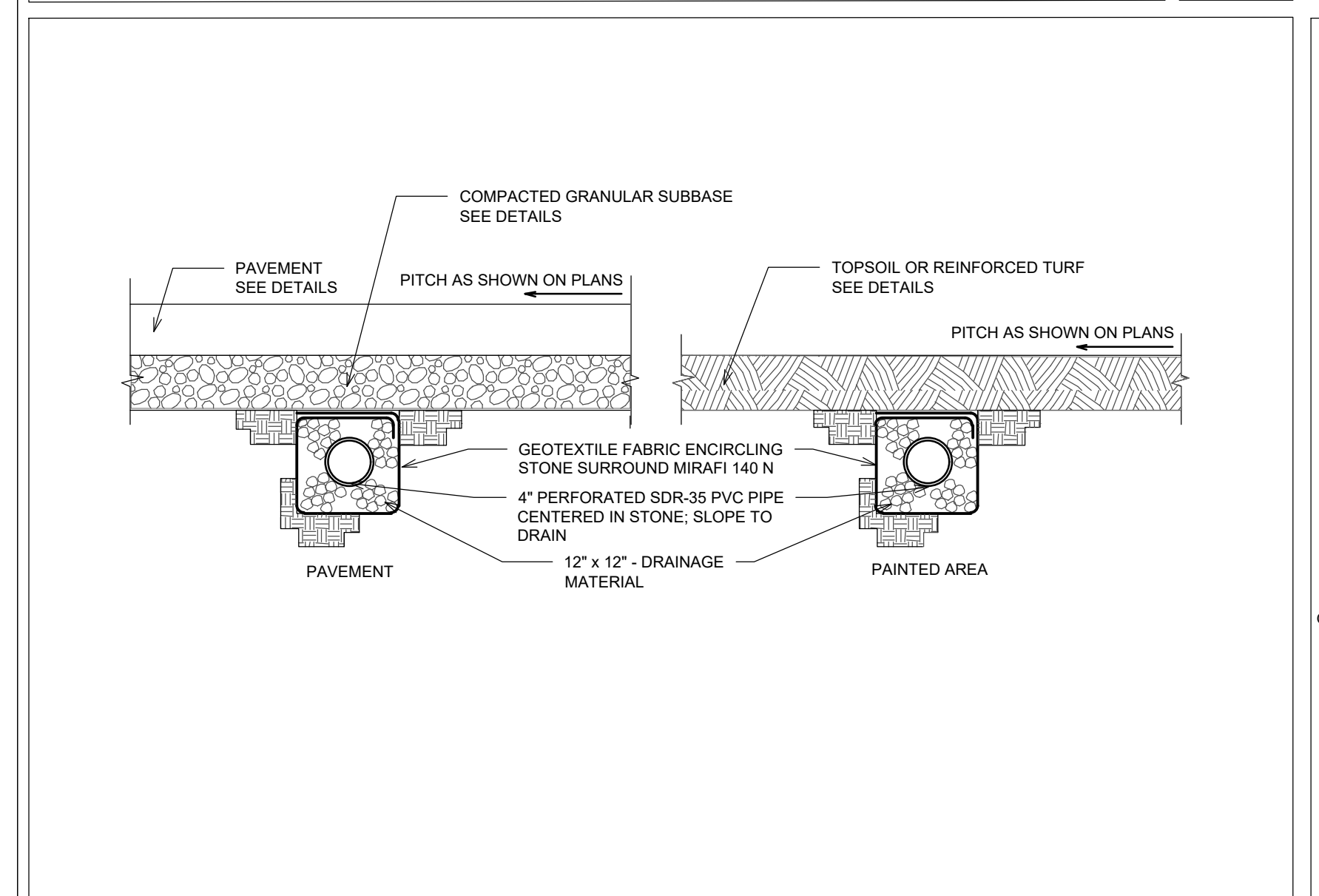
DRAIN INLET (DI) / YARD DRAIN (YD) SCALE: N.T.S. 11



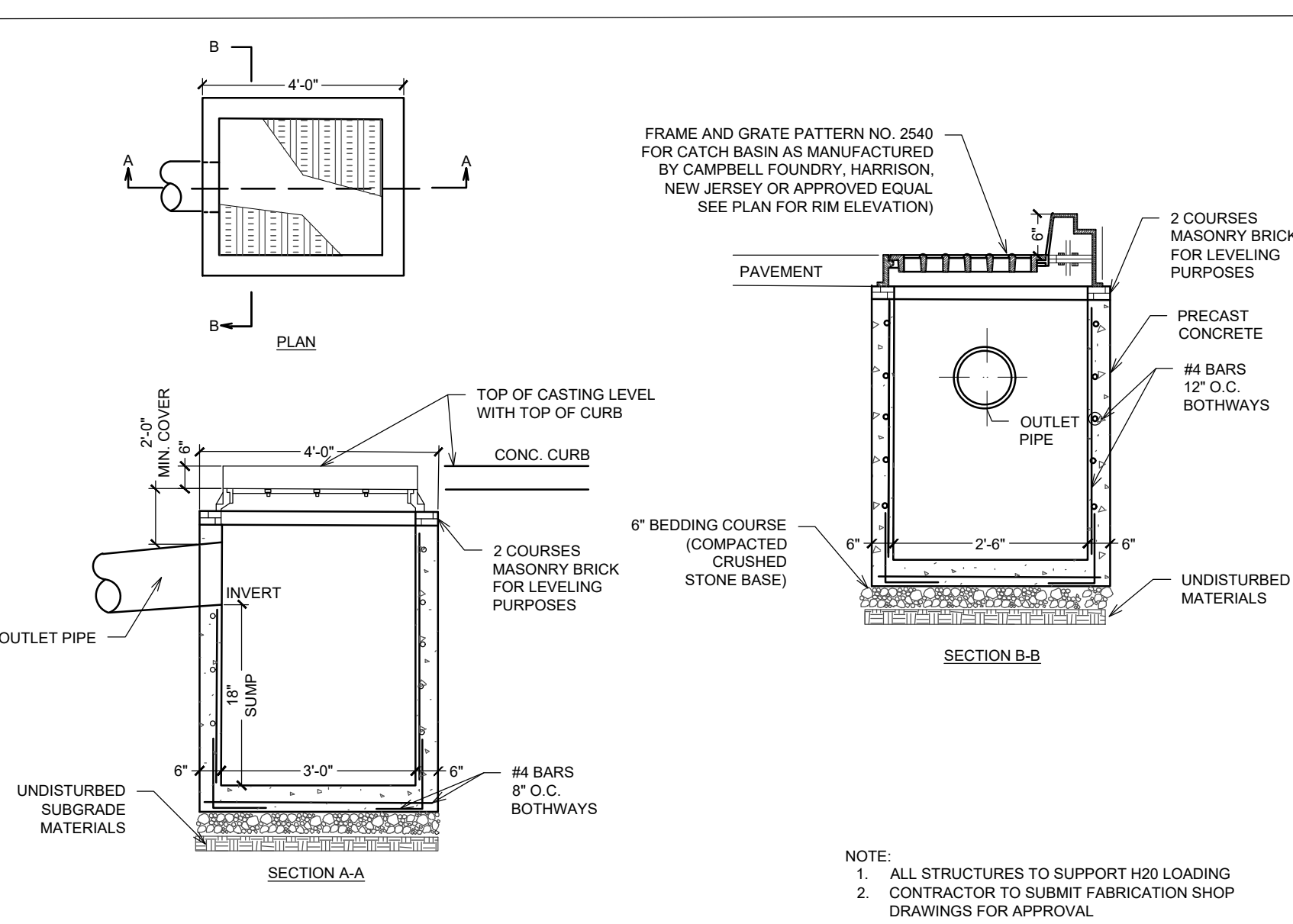
STORMWATER PRECAST MANHOLE SCALE: N.T.S. 12



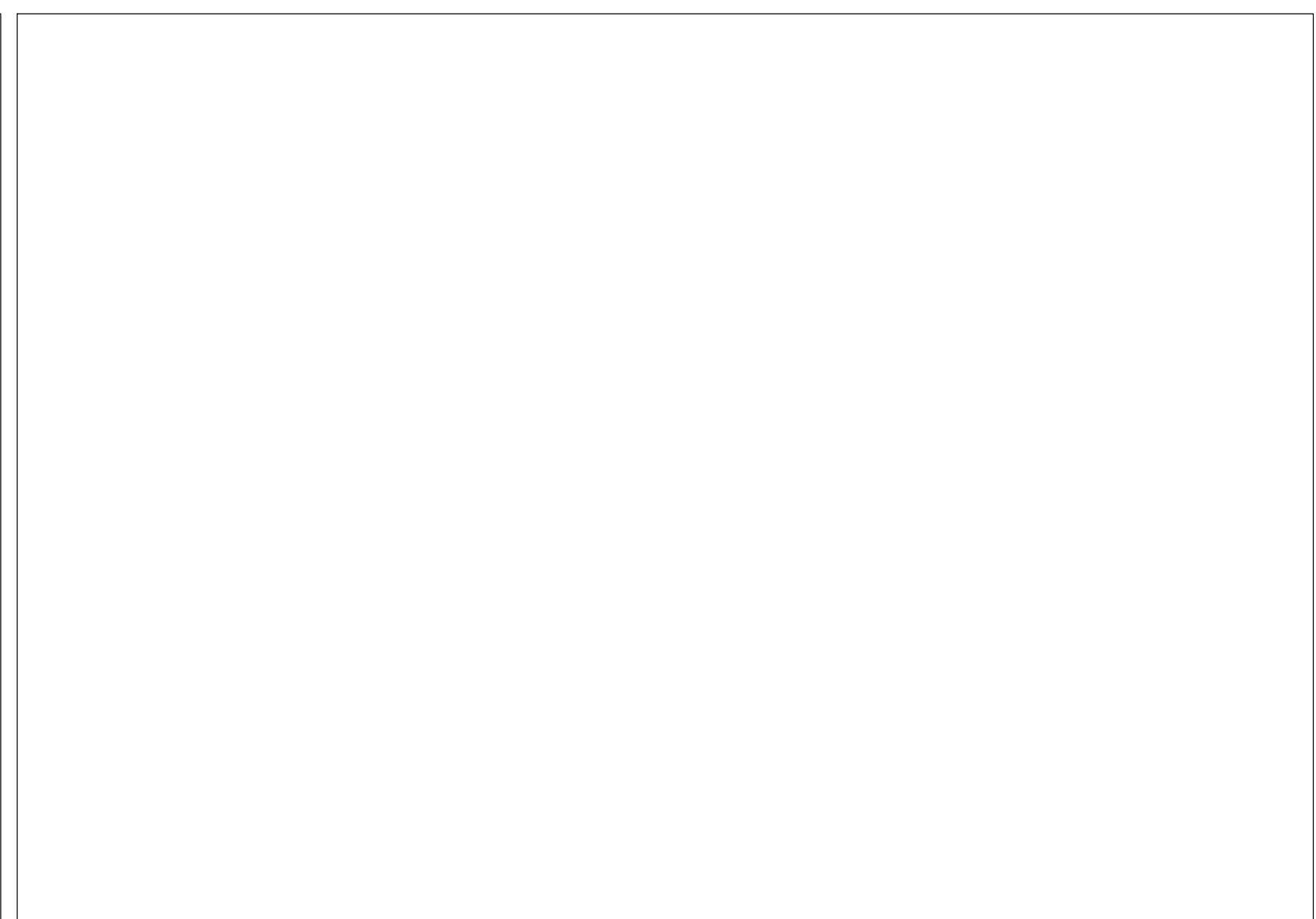
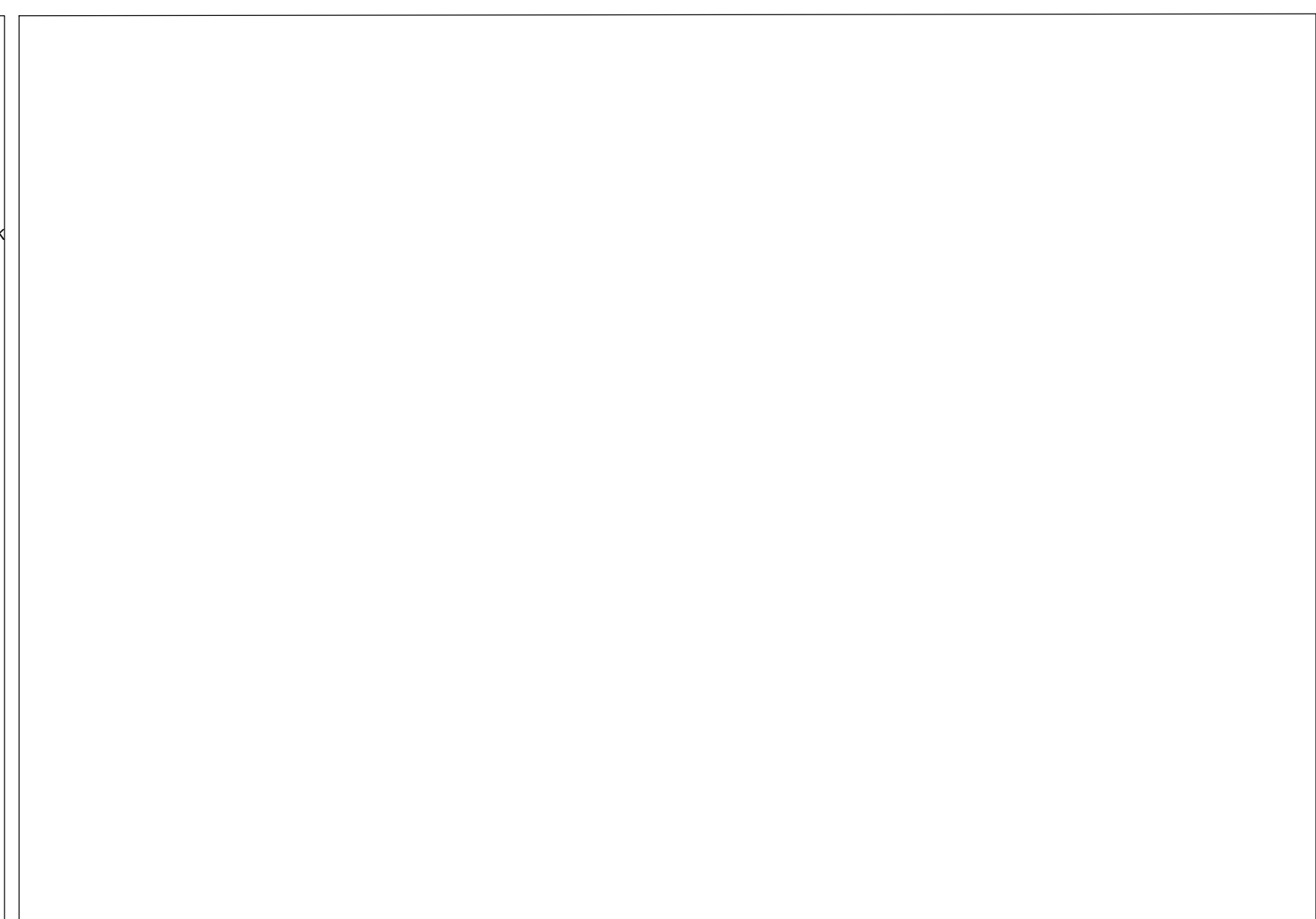
STONE SWALE SCALE: N.T.S. 13



UNDERDRAIN SCALE: N.T.S. 14



CATCH BASIN (CURB TYPE) SCALE: N.T.S. 15



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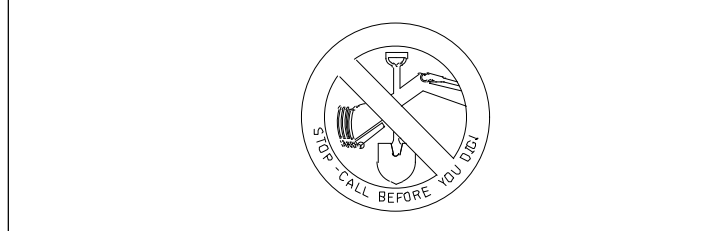
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06/23/21		PLANNING BOARD SUBMISSION
09/22/21		REVISED PER TOWN AND CONSULTANT COMMENTS

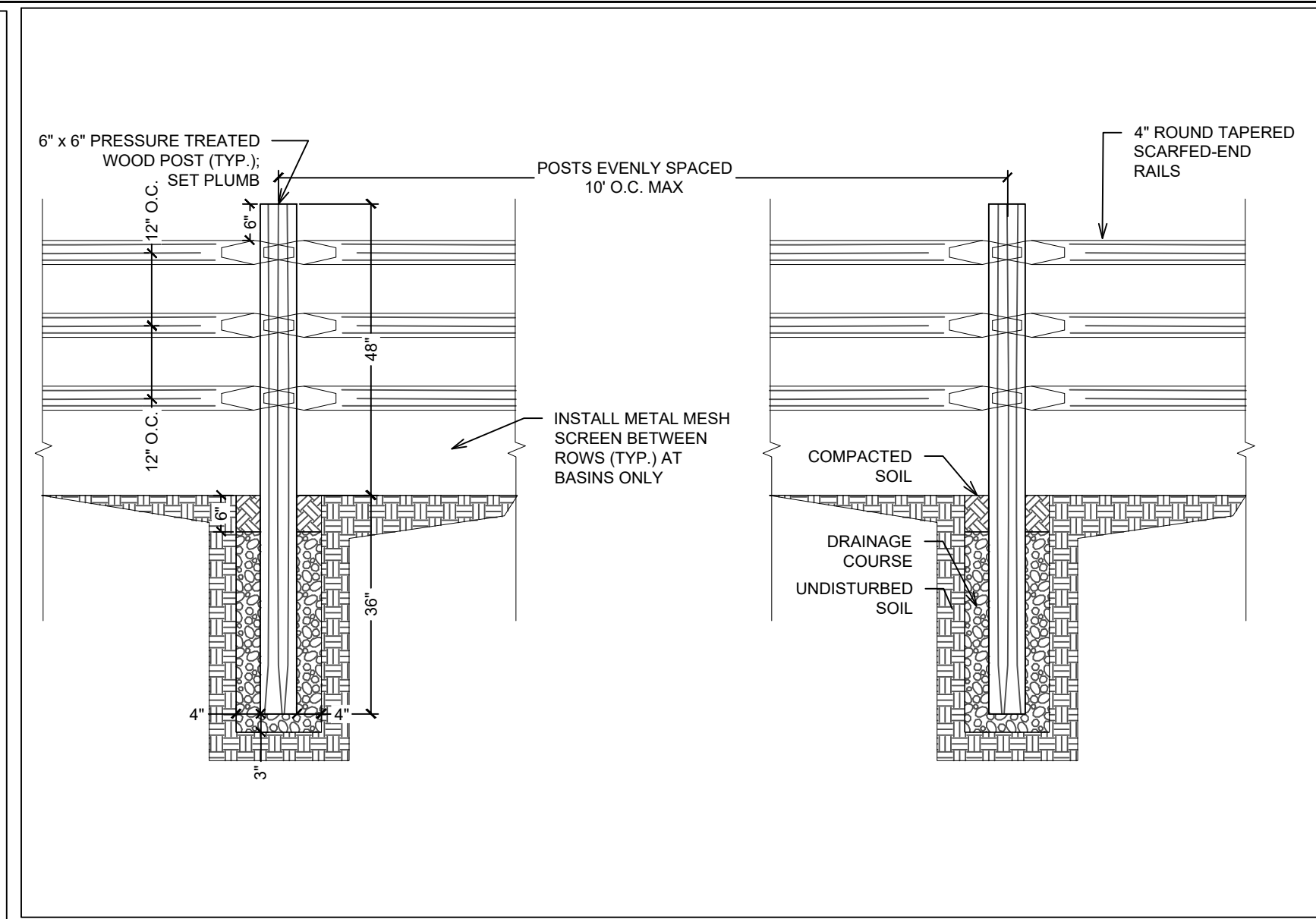
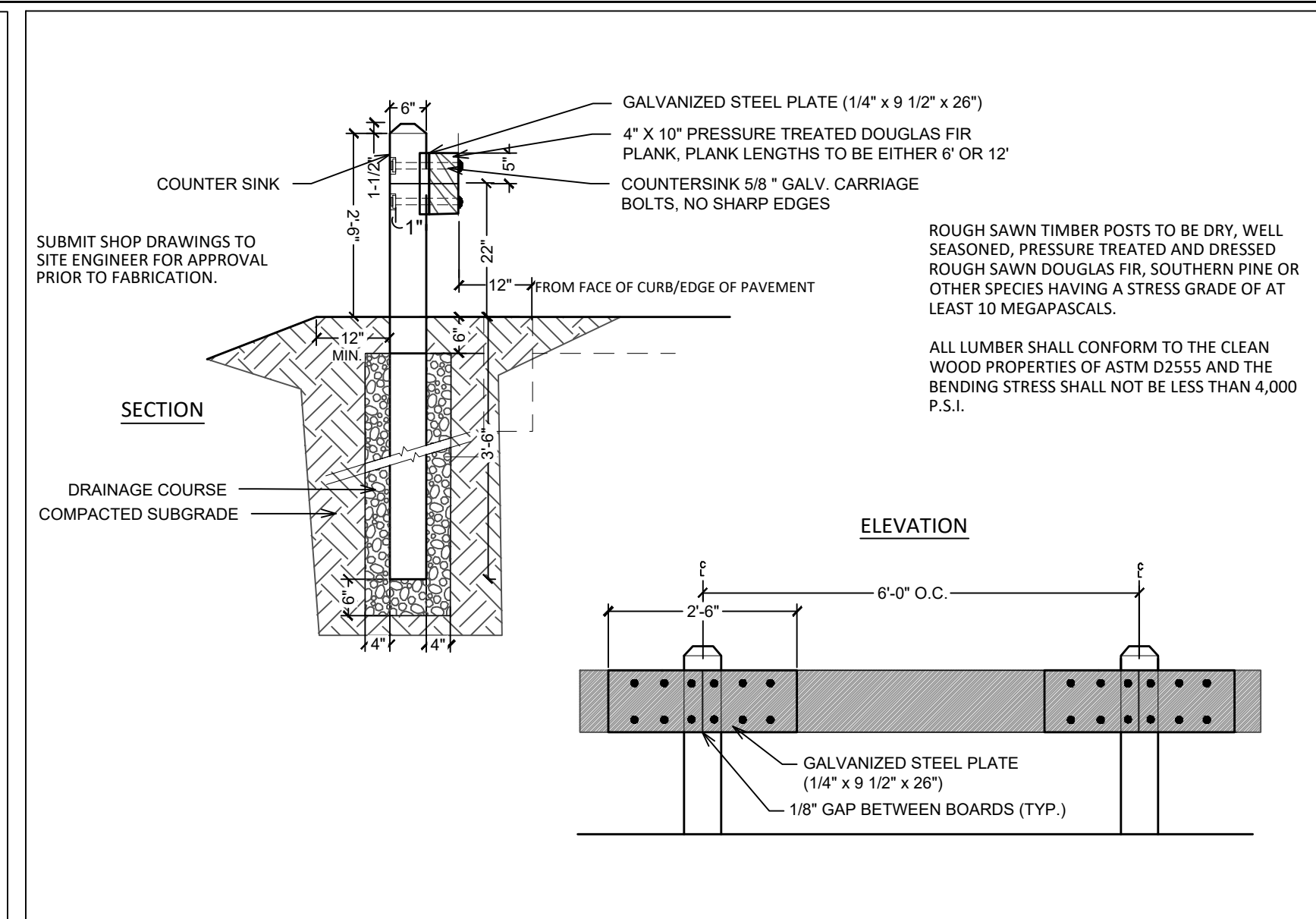
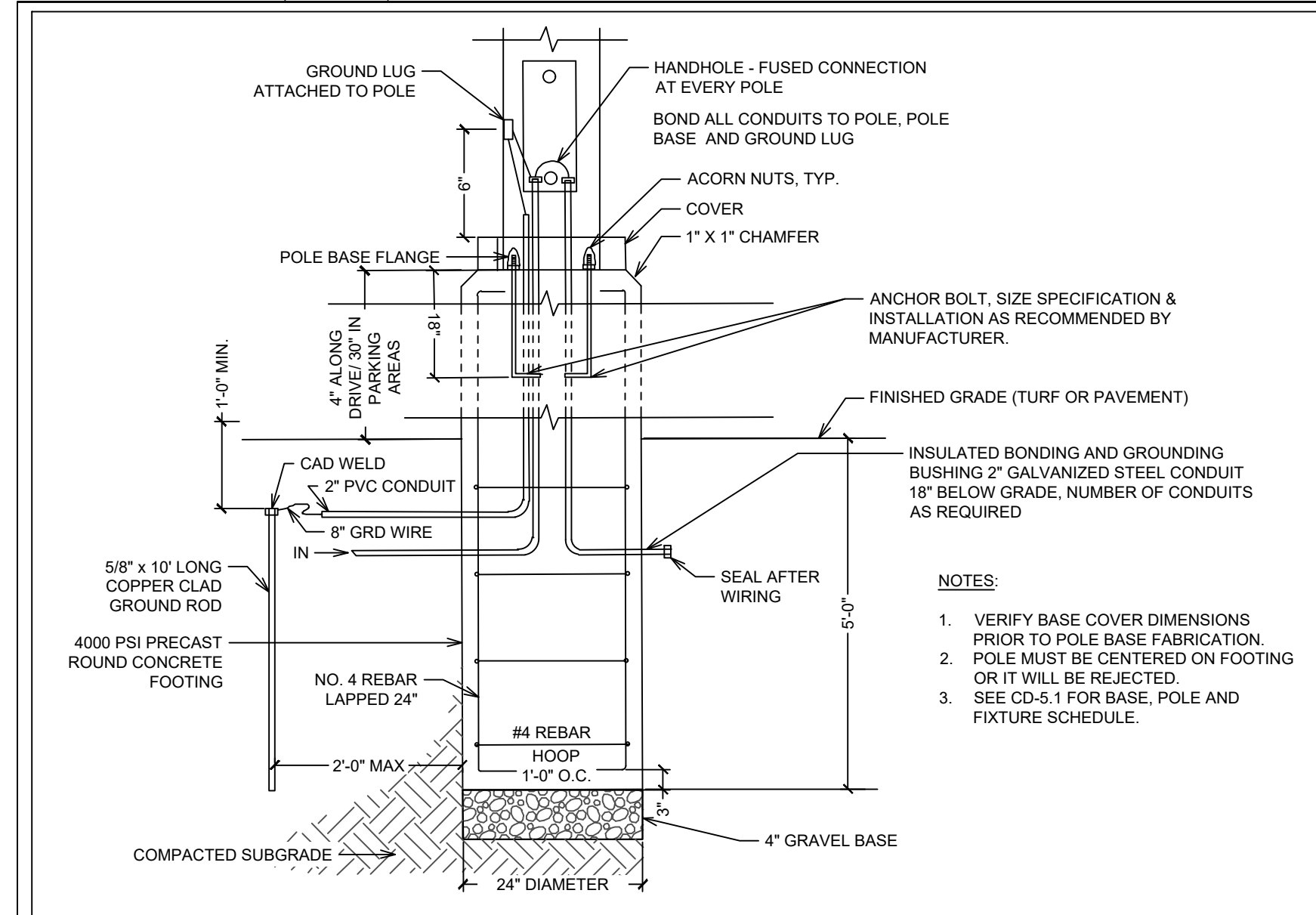
DRAWING TITLE:

NO.	DATE	ISSUE

SITE AND UTILITY DETAILS

STATE OF NEW YORK  
DIVNEY TUNG SCHWALBE, LLP  
Professional Engineer  
10577

DRAWN BY: RCC/DMM  
PROJECT NO: 858  
CHECKED BY: GMS  
DATE: 05/19/21  
DRAWING NO: SP-6.1



**ELECTRICAL SITE LIGHTING NOTES:**

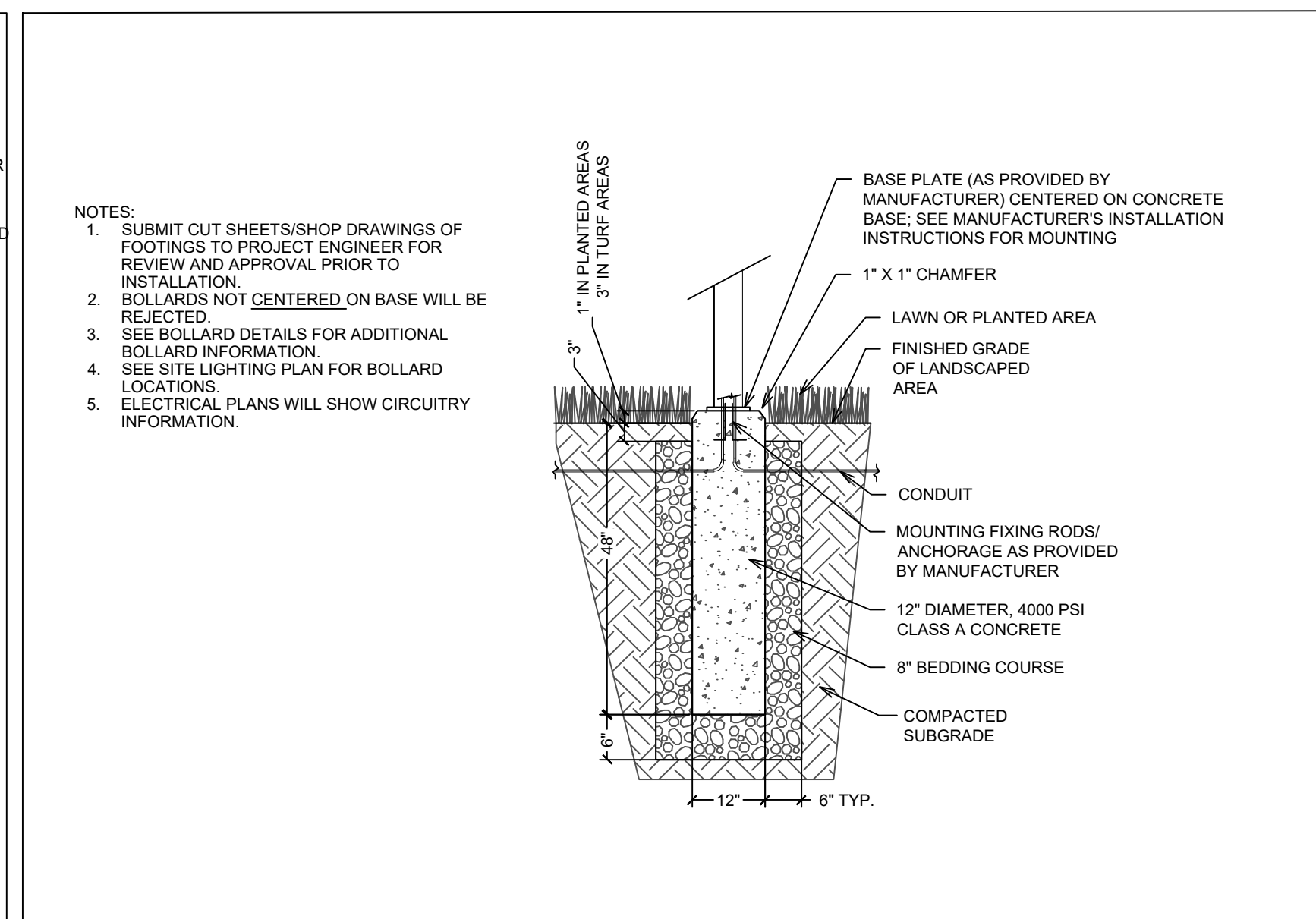
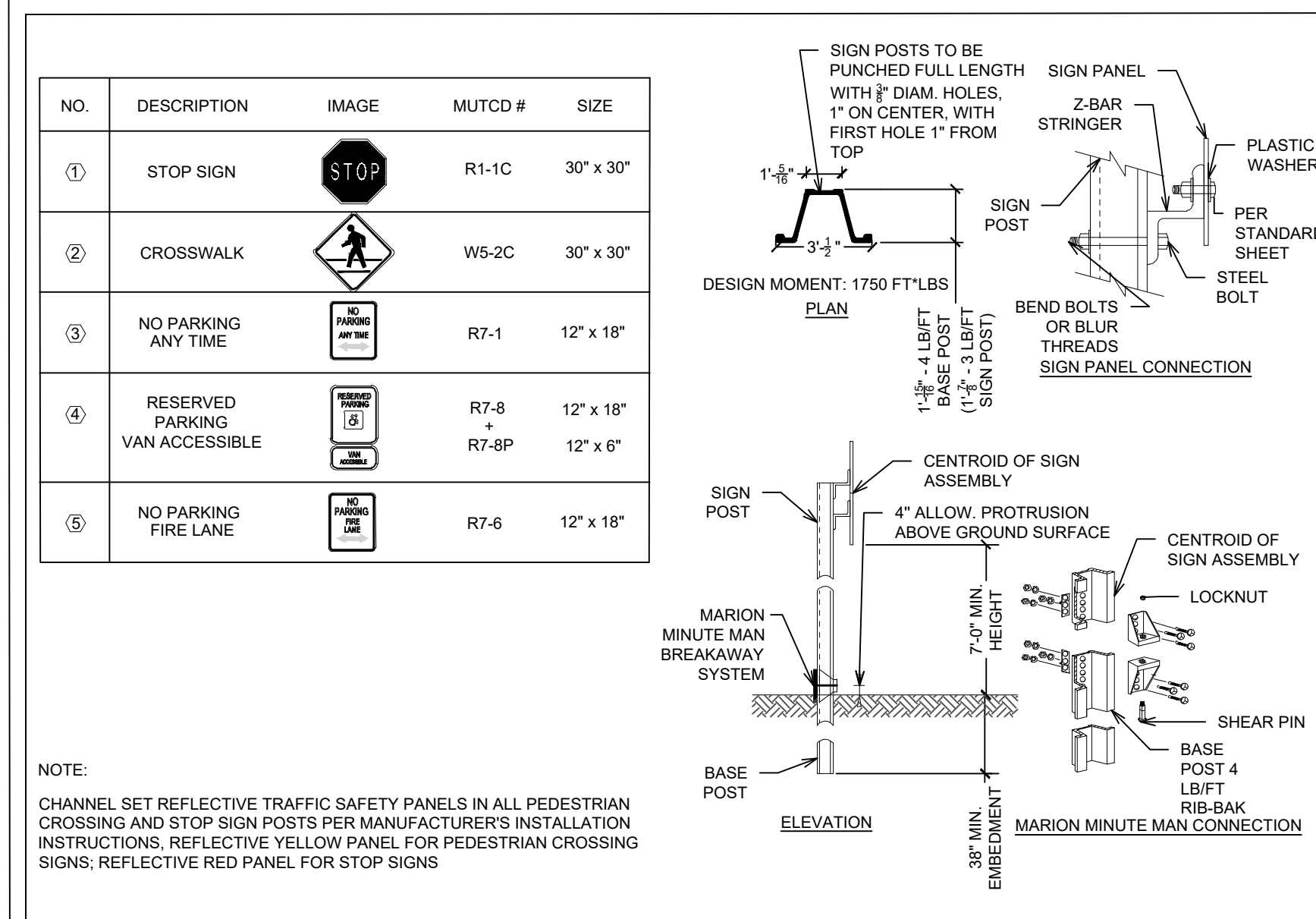
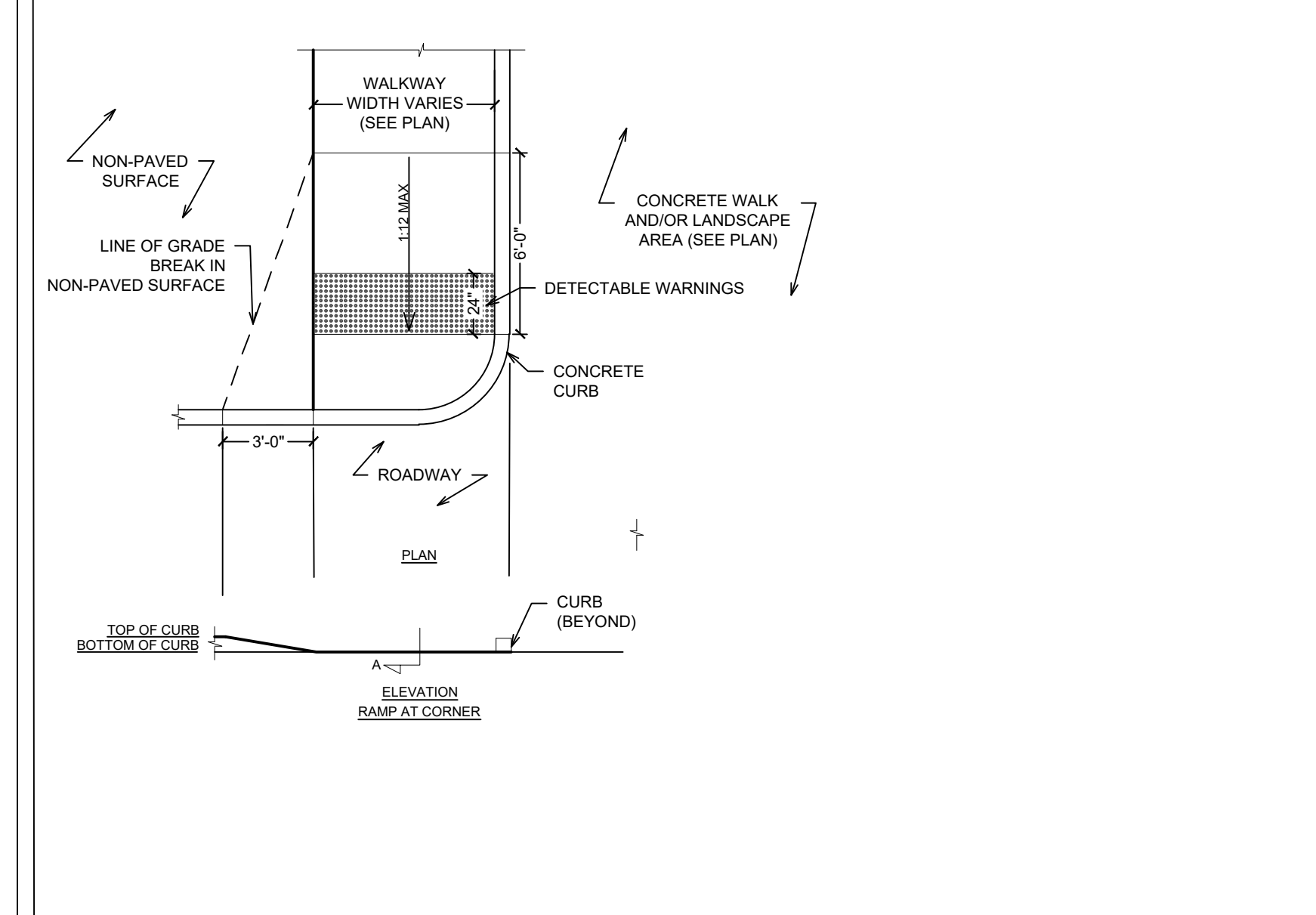
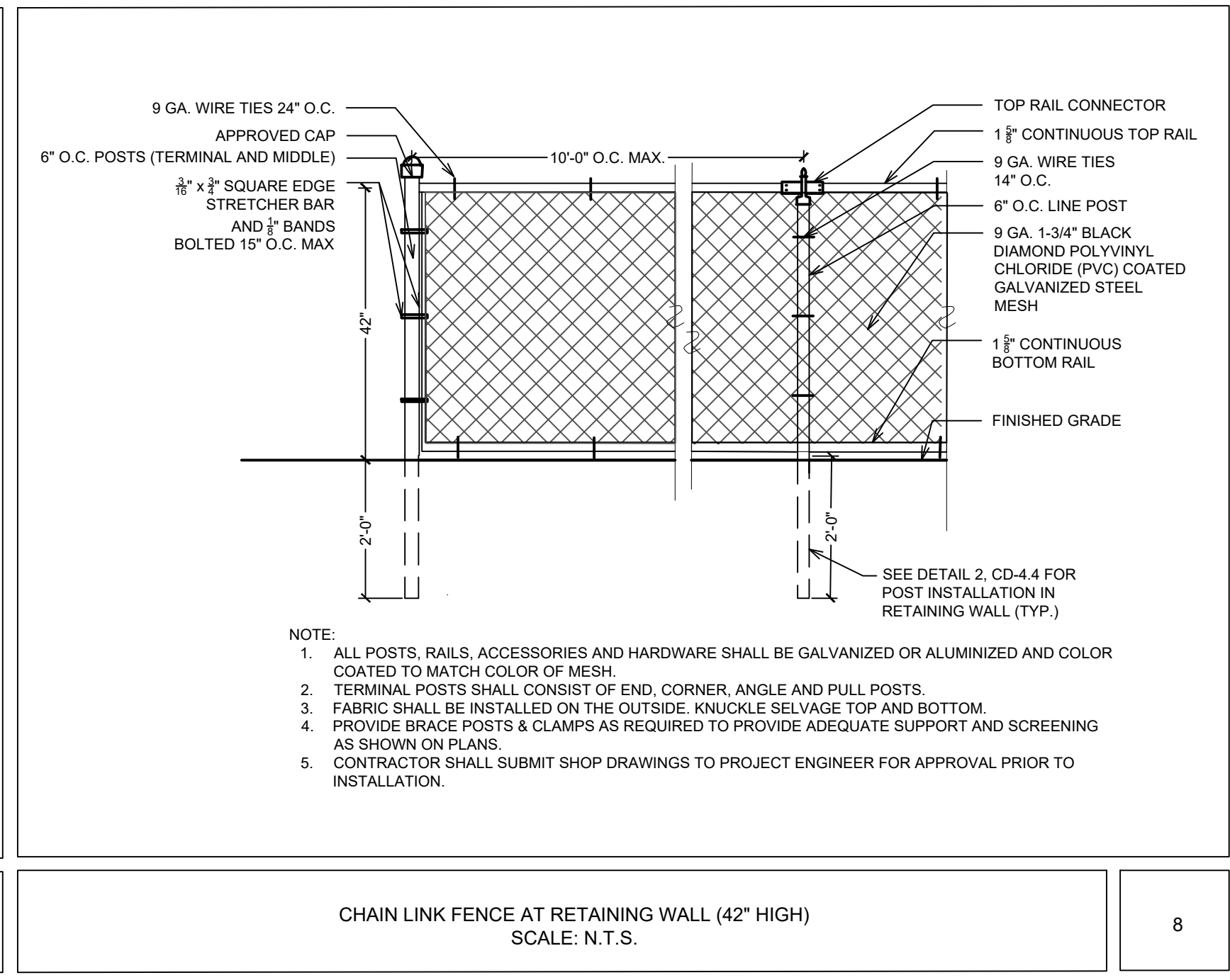
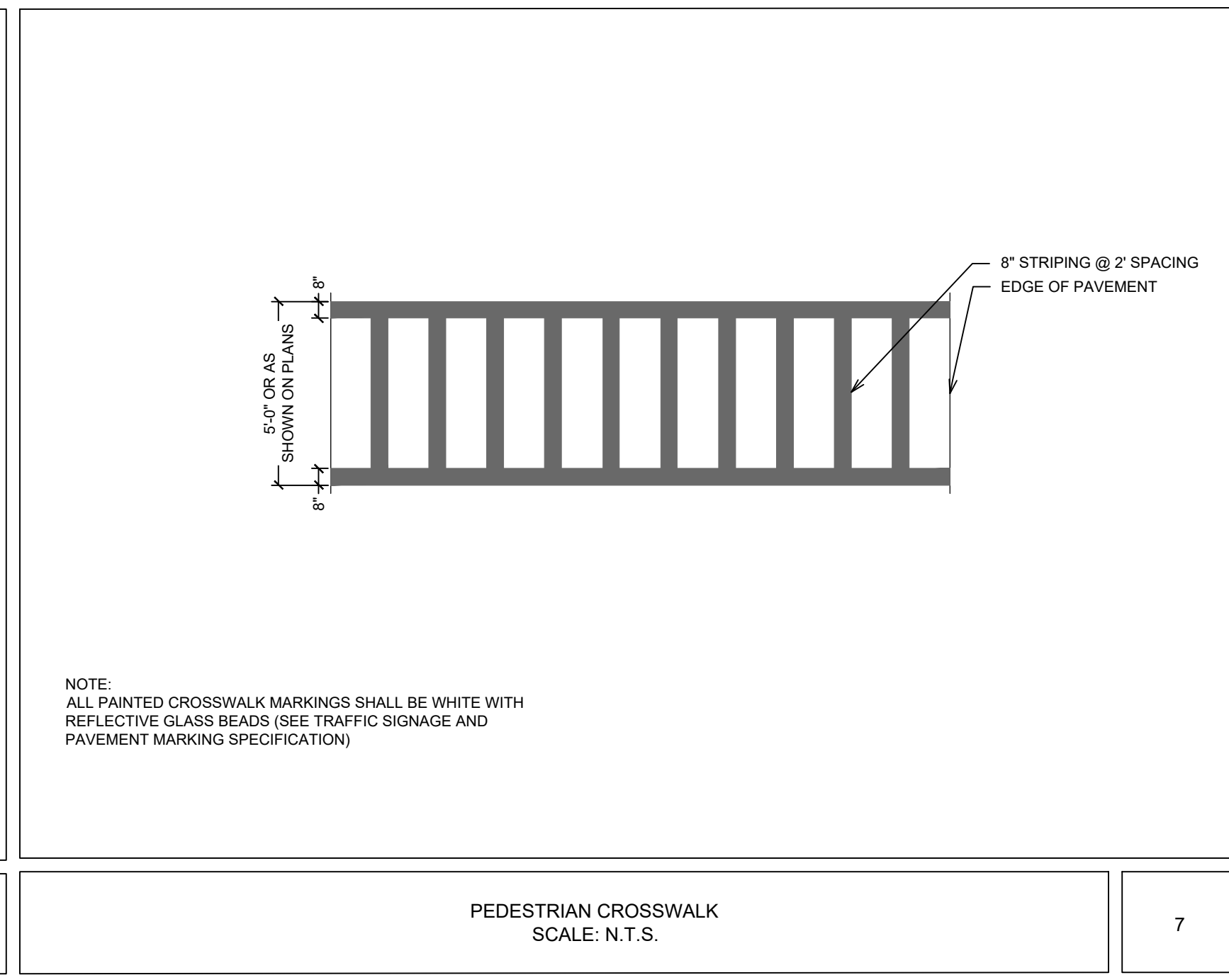
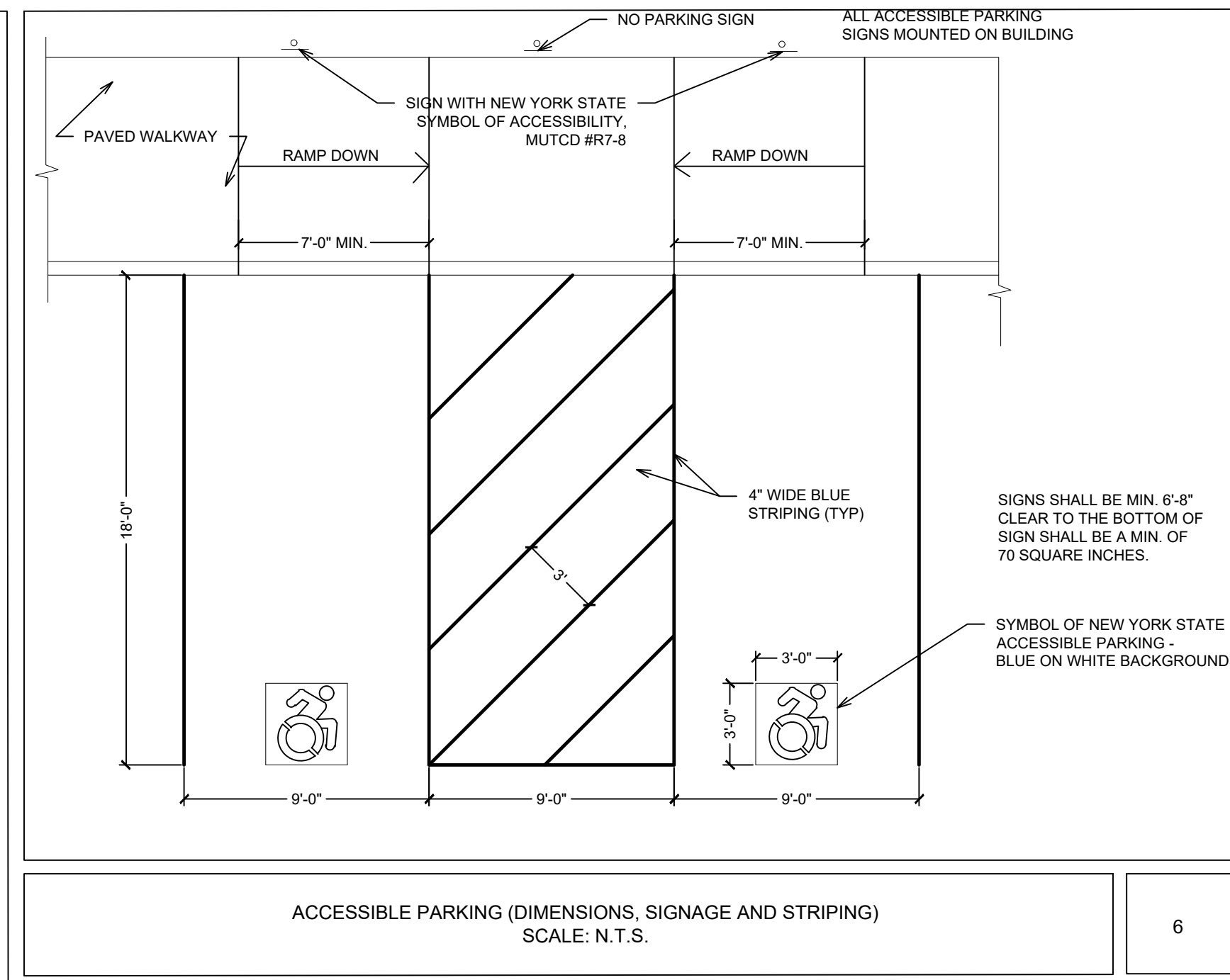
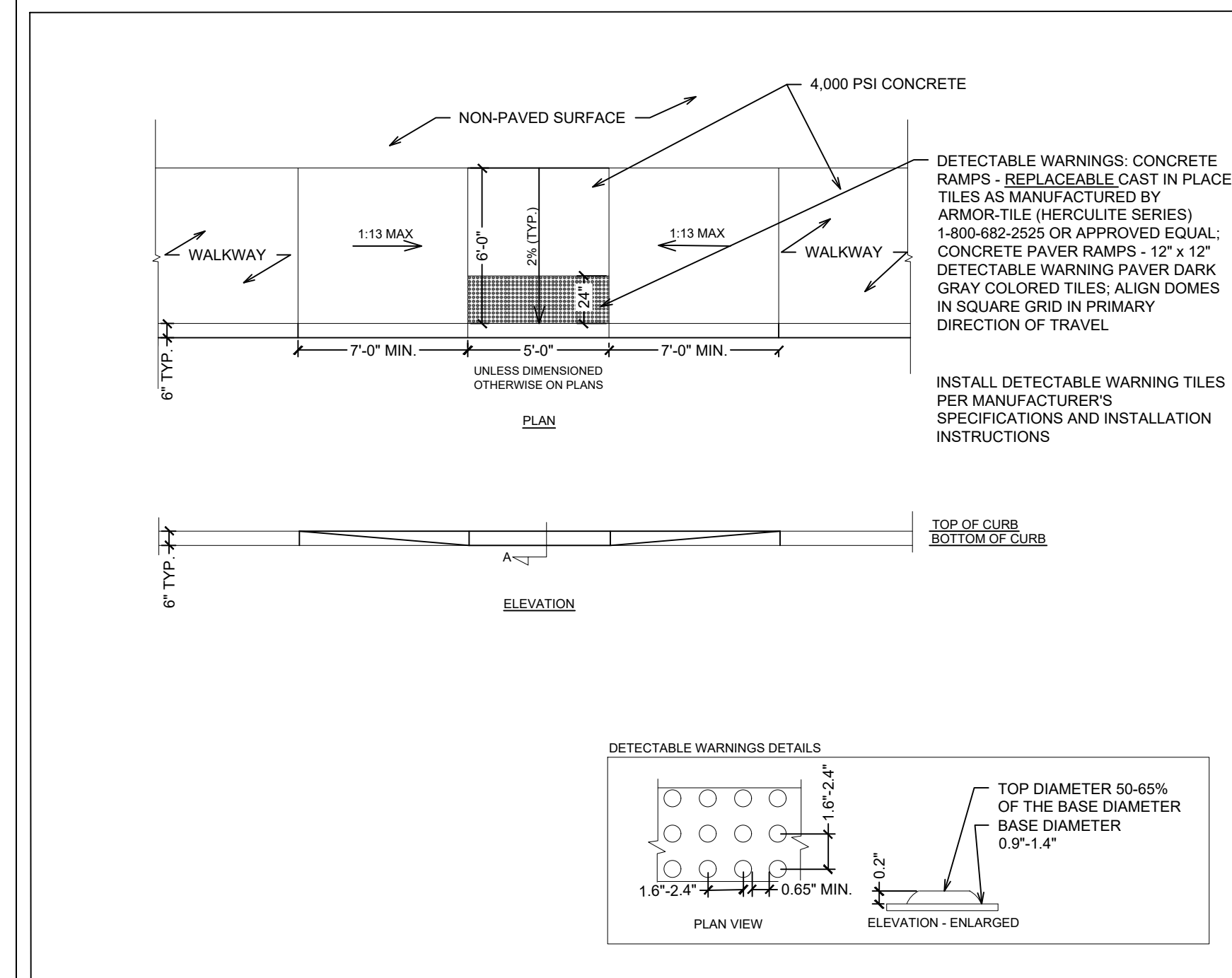
1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND WESTCHESTER COUNTY RULES, LAWS AND REGULATIONS.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WORK AS REQUIRED BY OSHA REGULATIONS.
3. THE CONTRACTOR SHALL REVIEW ALL OF THE SITE CONDITIONS PRIOR TO THE SUBMISSION OF BID. ANY CLARIFICATIONS REQUIRED BY THE CONTRACTOR SHALL BE SUBMITTED FOR RESPONSE, PRIOR TO FINALIZATION OF BID SUBMISSIONS.
4. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE FULL SCOPE OF THE WORK AND SHALL SUBMIT BIDS THAT REFLECT THE REQUIRED SCOPE OF WORK TO COMPLETE THE WORK.
5. ALL NEW LIGHT POLE BASES SHALL BE PRECAST CONCRETE TYPE, SUITABLE FOR THE PROPOSED LIGHT POLE AND FIXTURE EXCAVATION. PAVEMENT REPAIR, AND REMOVAL OF SOIL SPOILS AS A PART OF THE WORK.
6. ALL NEW LIGHT POLES AND LIGHT FIXTURES SHALL BE GROUNDED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE. GROUND CONDUCTORS WILL ALL THE BACK INTO THE PANELBOARD GROUND BAR WHERE THE CIRCUIT IS DERIVED.
7. ALL NEW LIGHT FIXTURES SHALL BE EQUIPPED WITH FUSE CUT OUTS, ACCESSIBLE IN THE HAND HOLE OF EACH LIGHT POLE. FIXTURES SHALL BE INDIVIDUALLY FUSED. CARTRIDGE FUSES SHALL BE PROVIDED FOR EACH INDIVIDUAL FIXTURE. CARTRIDGE FUSES SHALL BE SIZED FOR 125% OF FULL LOAD CURRENT OF EACH FIXTURE.
8. PROVIDE A WARNING TAPE ABOVE ALL SITE LIGHTING CONDUIT PATHWAYS, YELLOW BACKGROUND, BLACK LETTING, 4" WIDE, STATING: WARNING ELECTRIC BELOW. WARNING TAPE SHALL BE EQUIPPED WITH COPPER TRACING STRIP. INSTALL 12" BELOW FINISHED GRADE.

LIGHT POLE FOUNDATION  
SCALE: N.T.S. 1

WOOD BUMPER GUARD  
SCALE: N.T.S. 2

WOOD SPLIT RAIL FENCE  
SCALE: N.T.S. 3

SITE LIGHTING NOTES  
SCALE: N.T.S. 4



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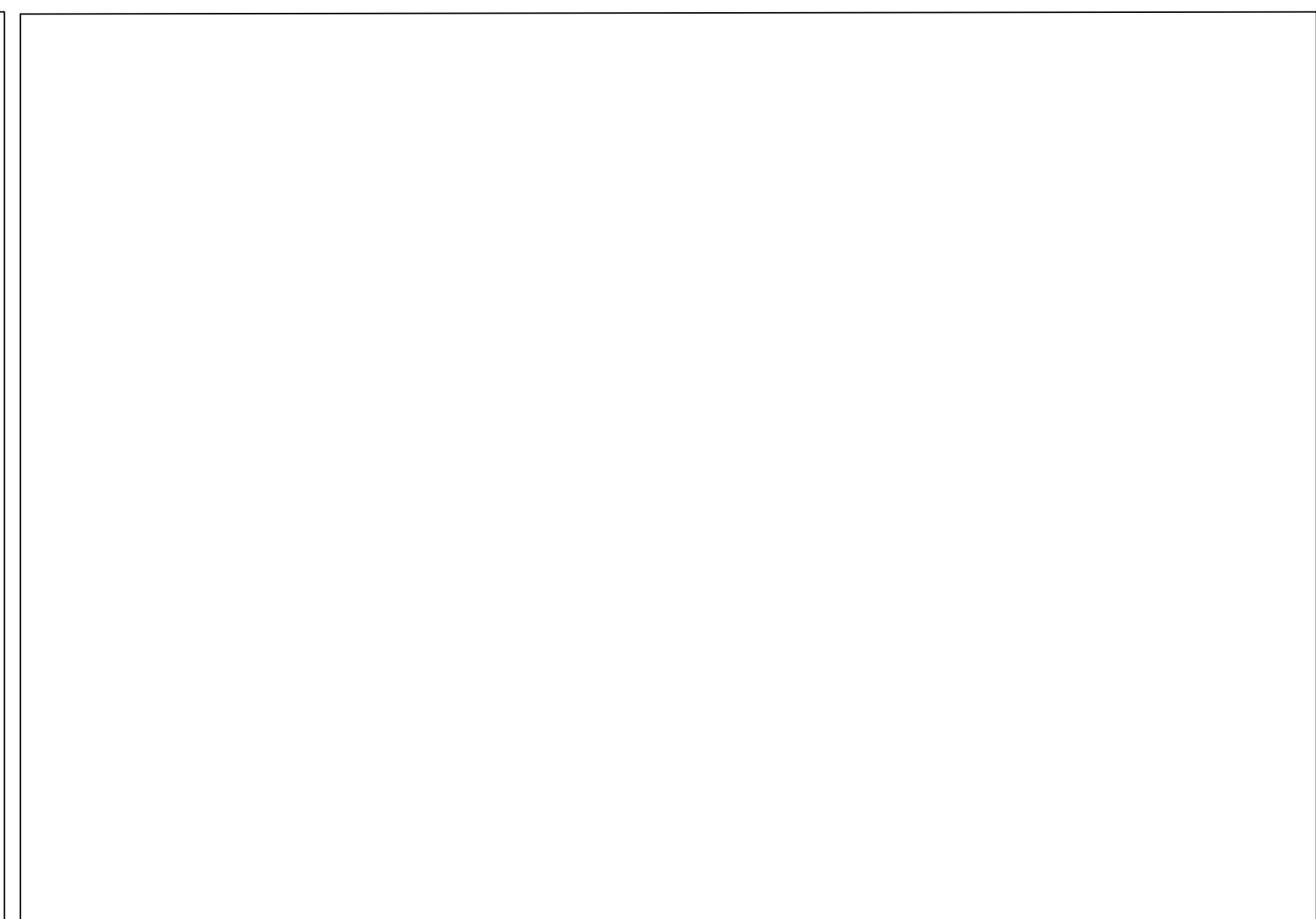
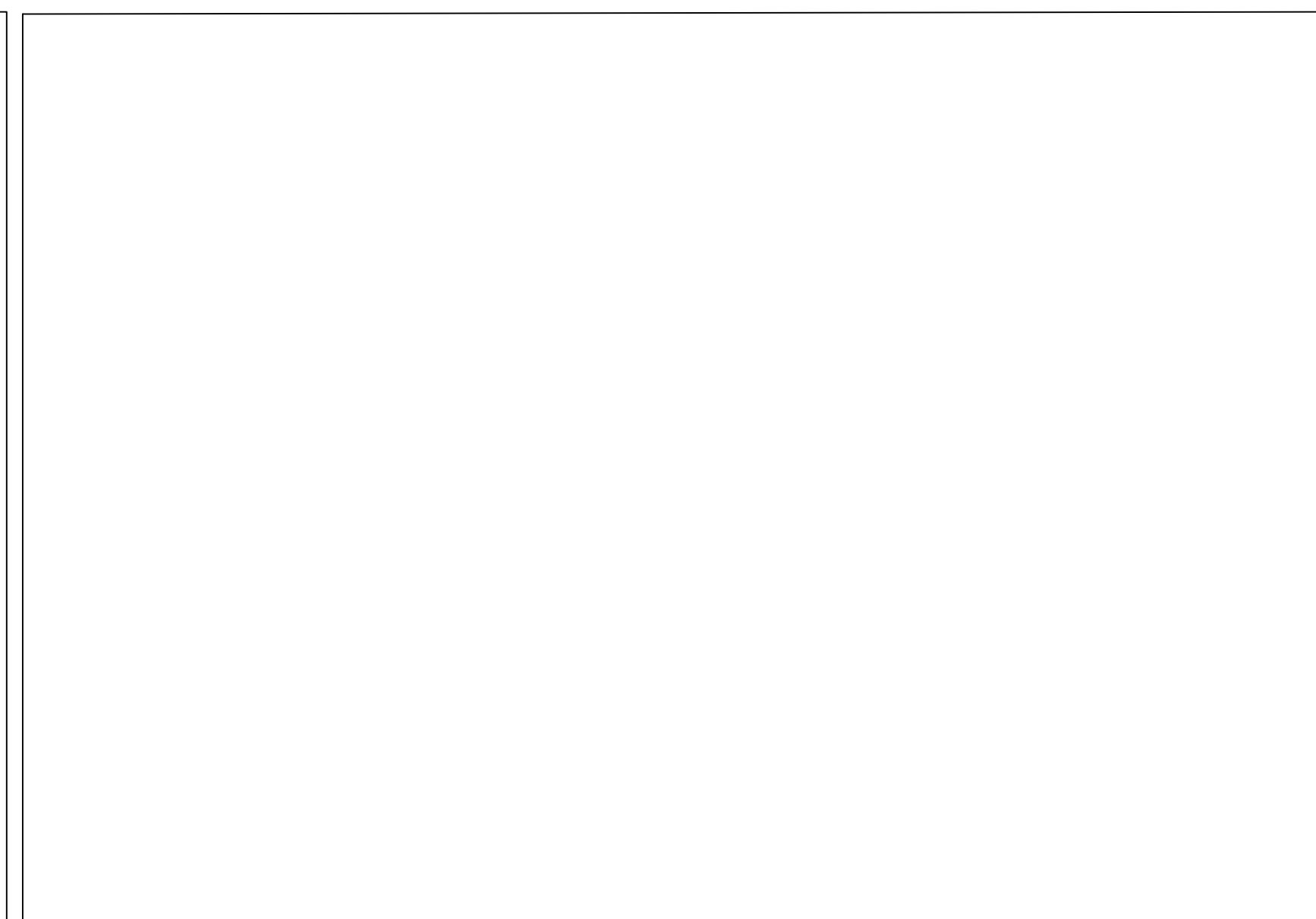
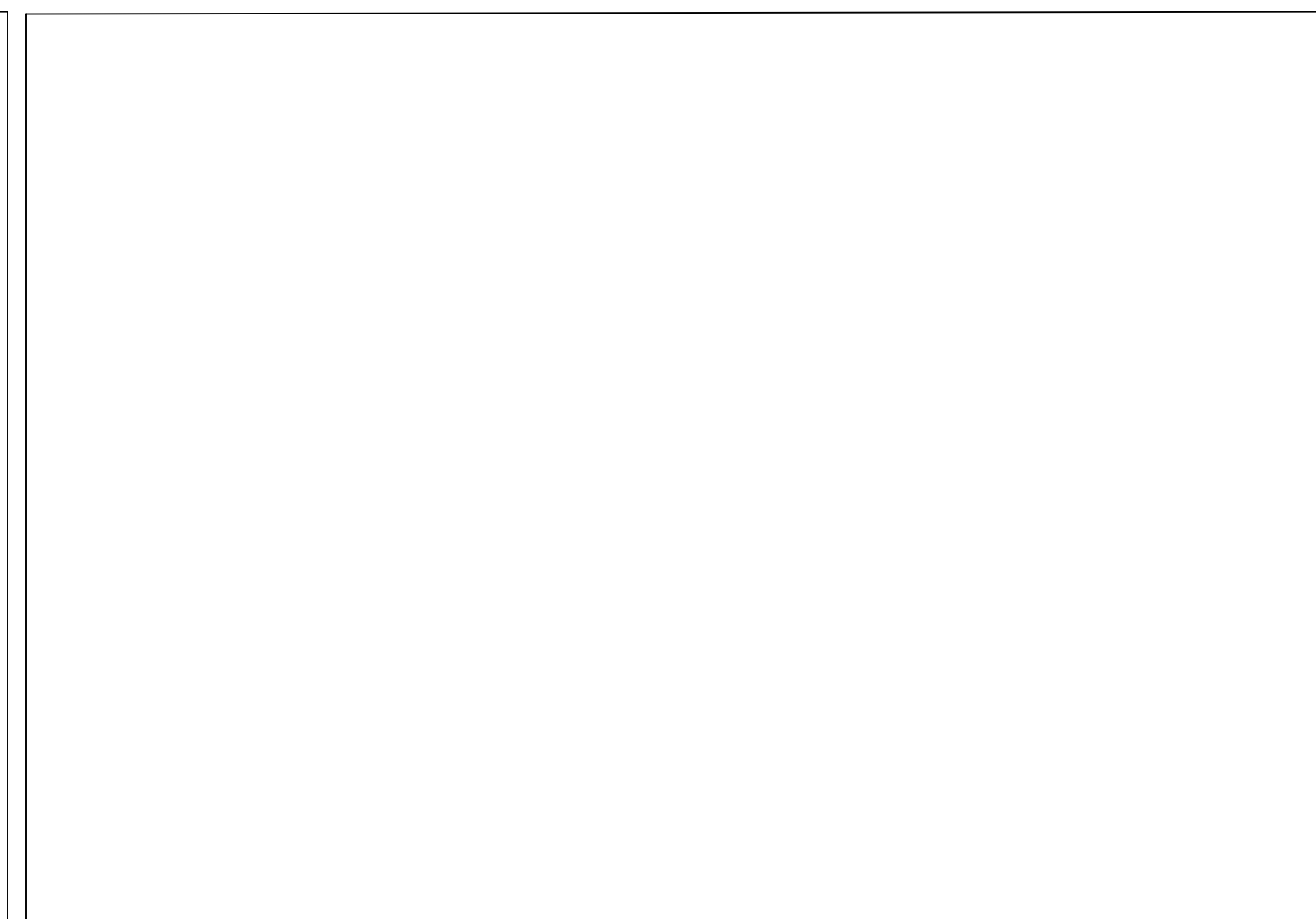
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PEDESTRIAN RAMPS  
SCALE: N.T.S. 5

SIGNAGE POST AND SIGNS  
SCALE: N.T.S. 9

BOLLARD FOOTING  
SCALE: N.T.S. 10

CHAIN LINK FENCE AT RETAINING WALL (42" HIGH)  
SCALE: N.T.S. 8



12

13

14

15

**OVERLOOK TERRACE**

119 Oregon Road  
Town of Cortlandt, NY

**OWNER / APPLICANT**  
ST KATHERINE GROUP  
181 Westchester Avenue, Suite 301A  
Port Chester, NY 10573

**THE NRP GROUP LLC**  
1600 District Avenue, Suite 315  
Burlington, MA 01803

**PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT**

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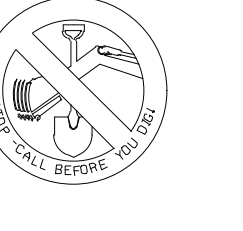
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One North Broadway  
White Plains, NY 10601  
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**ATTORNEY**  
ZARIN & STEINMETZ  
81 Main Street, Suite 415  
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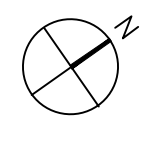
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19 West 21st Street  
New York, NY 10010

**TRAFFIC ENGINEER**  
PROVIDENT DESIGN ENGINEER, PLLC.  
7 Skyline Drive  
Hawthorne, NY 10532

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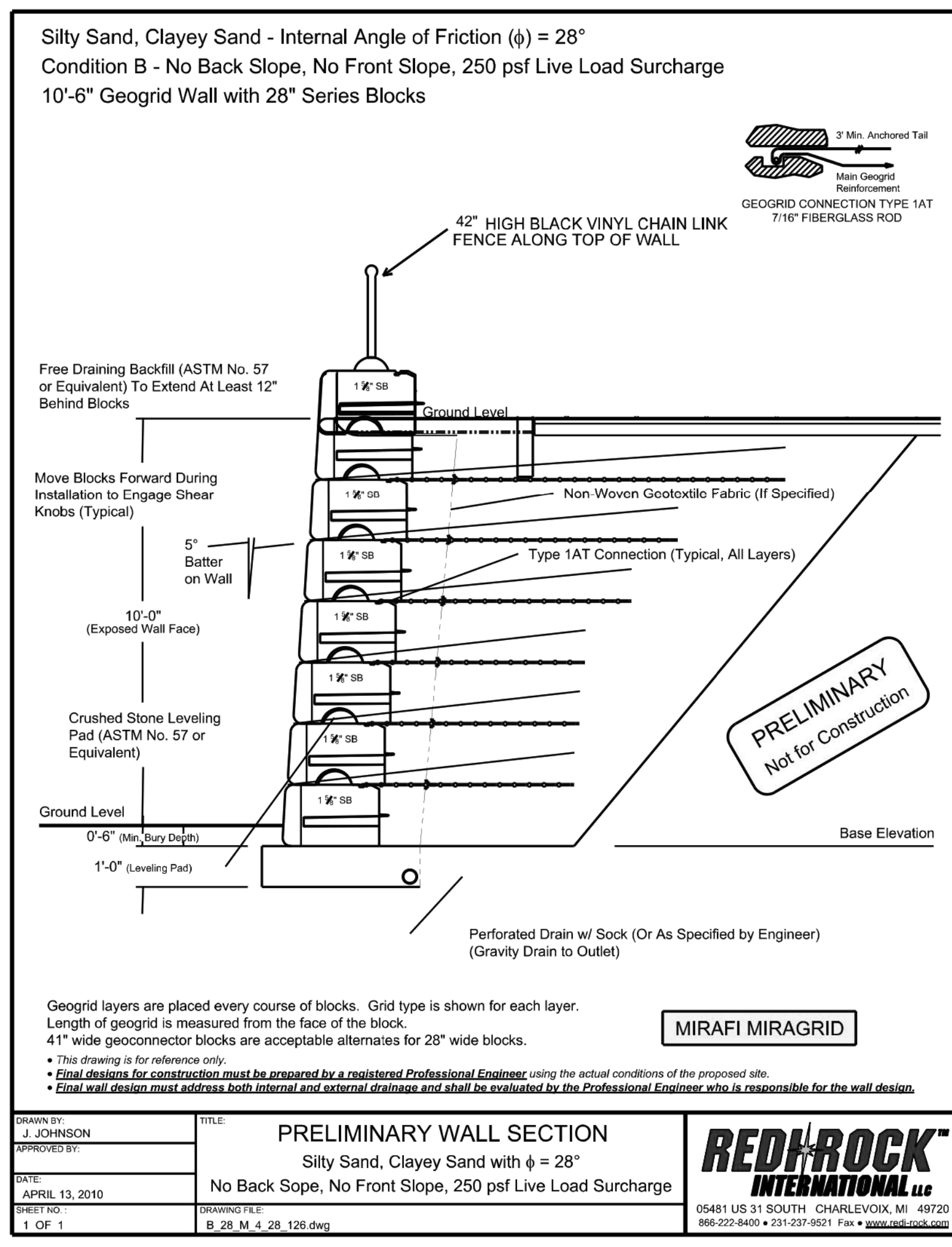
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**SITE AND UTILITY DETAILS**

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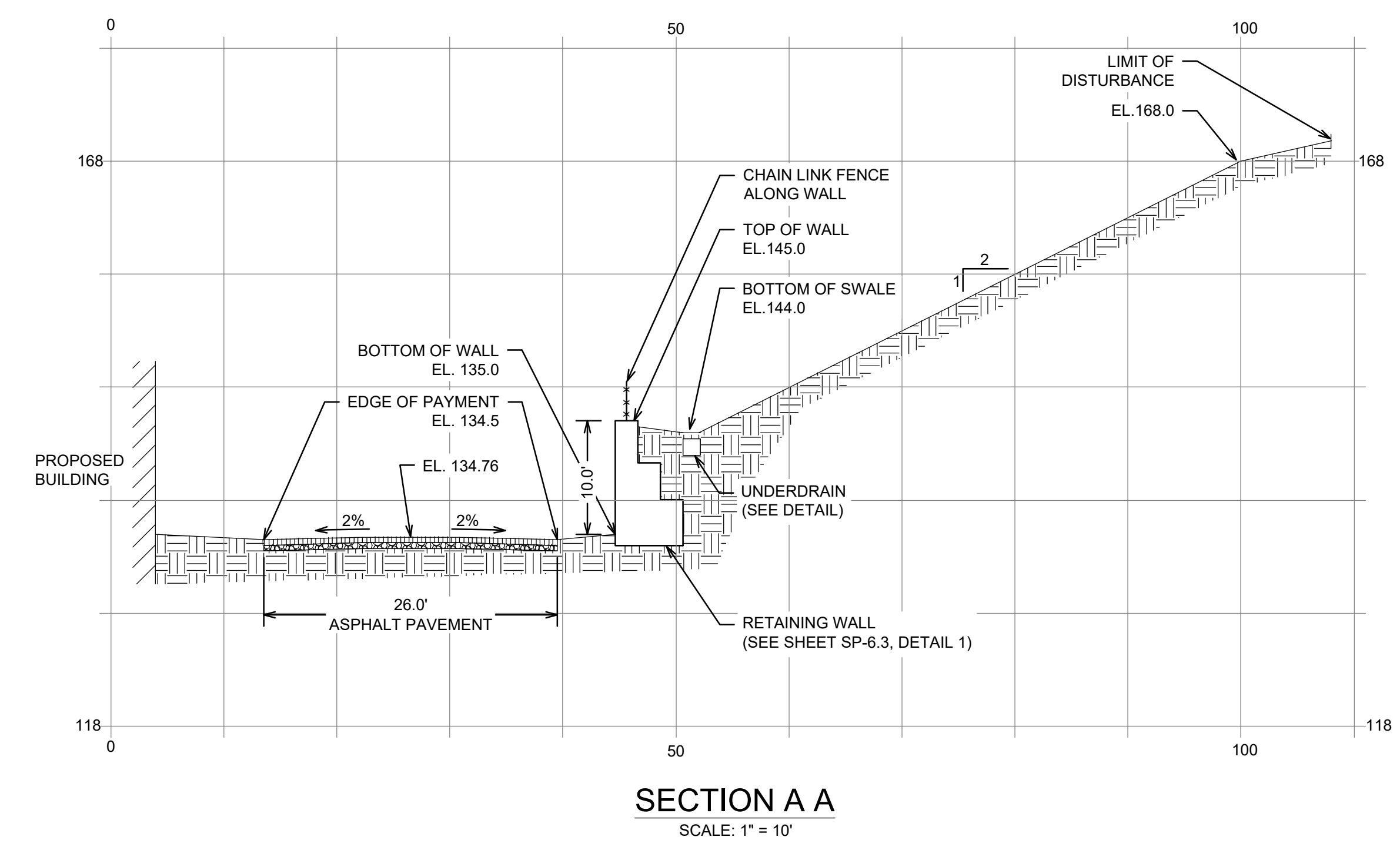


**SP-6.2**



RETAINING WALL SECTION  
SCALE: N.T.S.

1



RETAINING WALL ELEVATION  
SCALE: 1" = 20'

2



RETAINING WALL - CONCEPTUAL APPEARANCE  
SCALE: N.T.S.

3

**OVERLOOK TERRACE**

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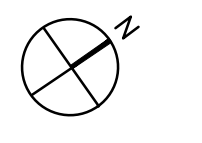
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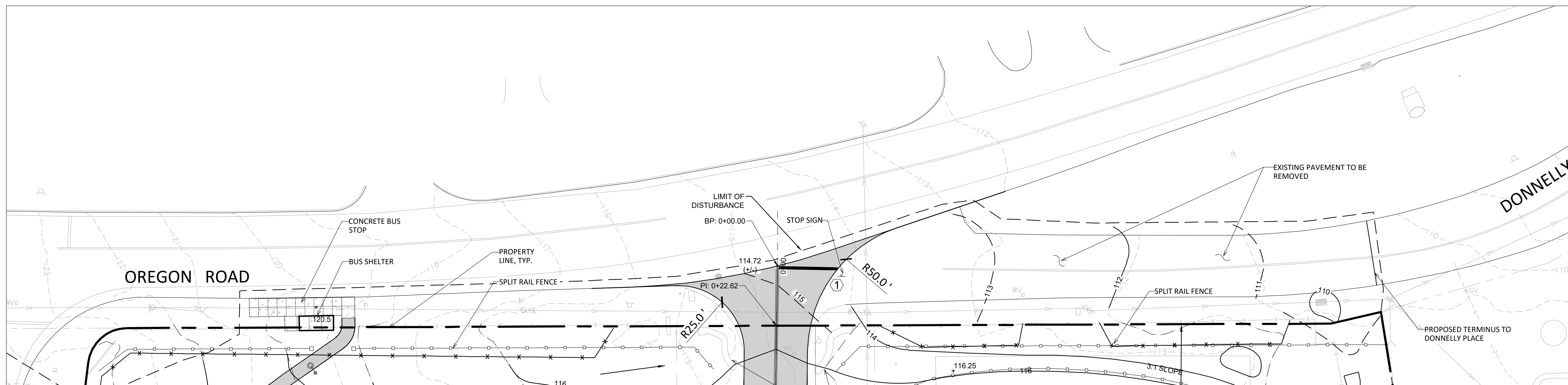
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09/22/21		REVISED PER TOWN AND CONSULTANT COMMENTS

**RETAINING WALL DETAILS**

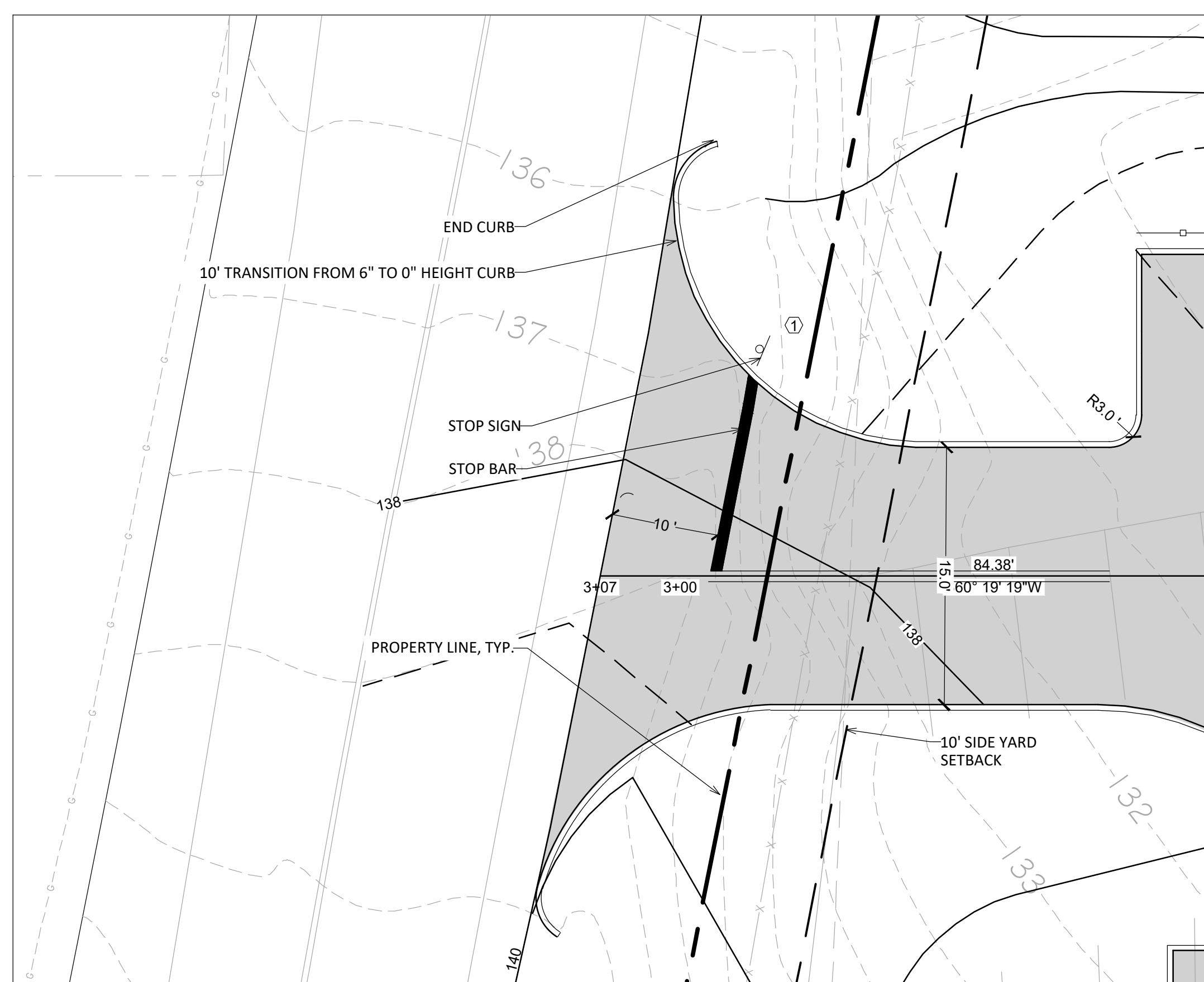
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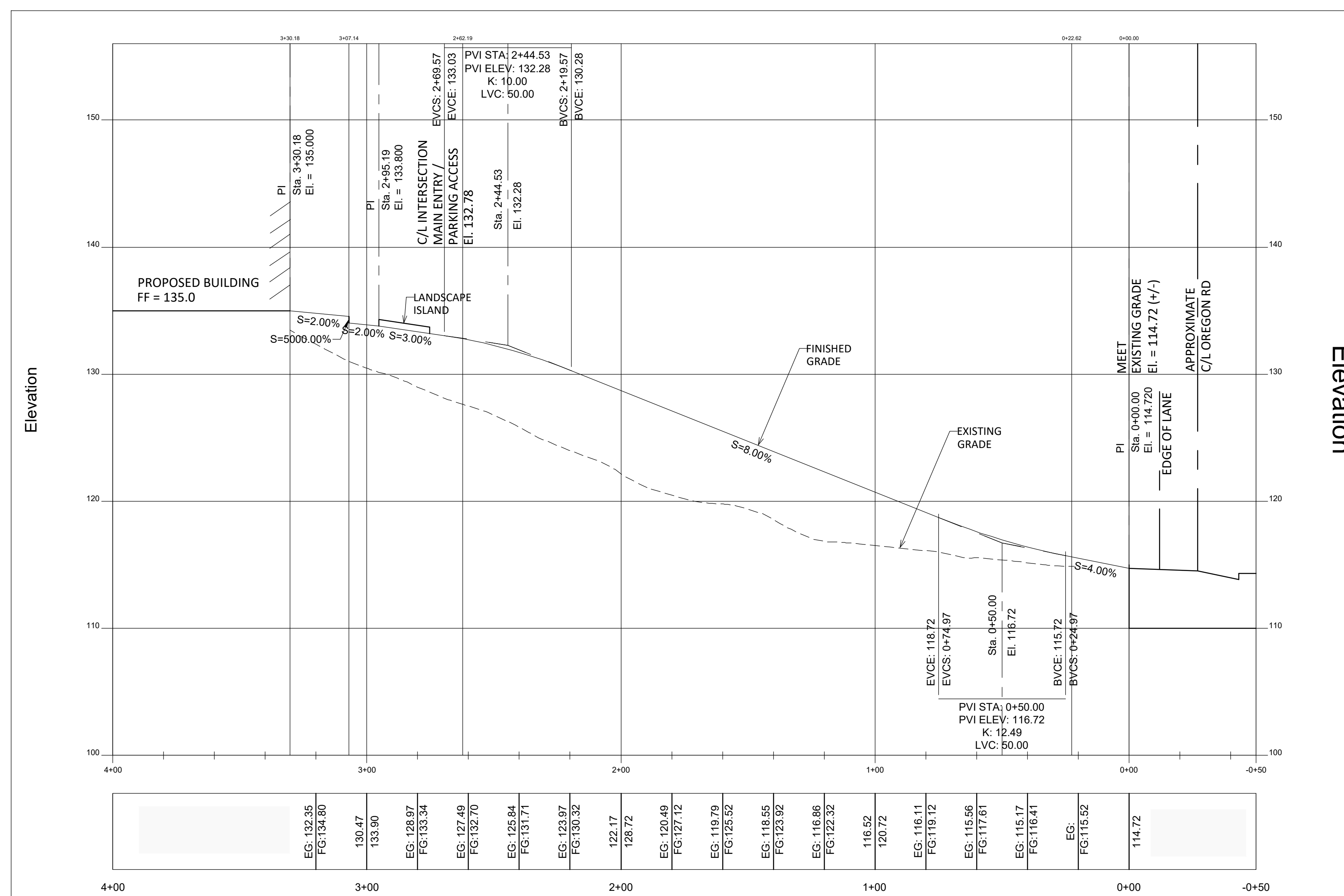
**SP-6.3**



**MAIN ENTRANCE**  
SCALE: 1" = 20'



**ETON DOWNS DRIVEWAY**  
SCALE: 1" = 10'



**MAIN ENTRANCE PROFILE**  
SCALE: 1" = 30' / 6'

**OVERLOOK TERRACE**

119 Oregon Road  
Town of Cortlandt, NY

**OWNER / APPLICANT**  
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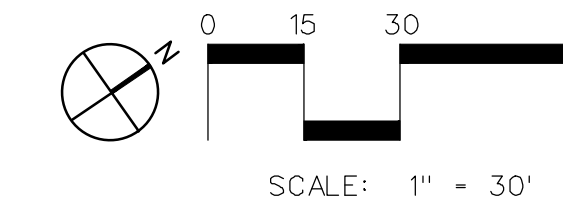
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SCALE: 1" = 30'

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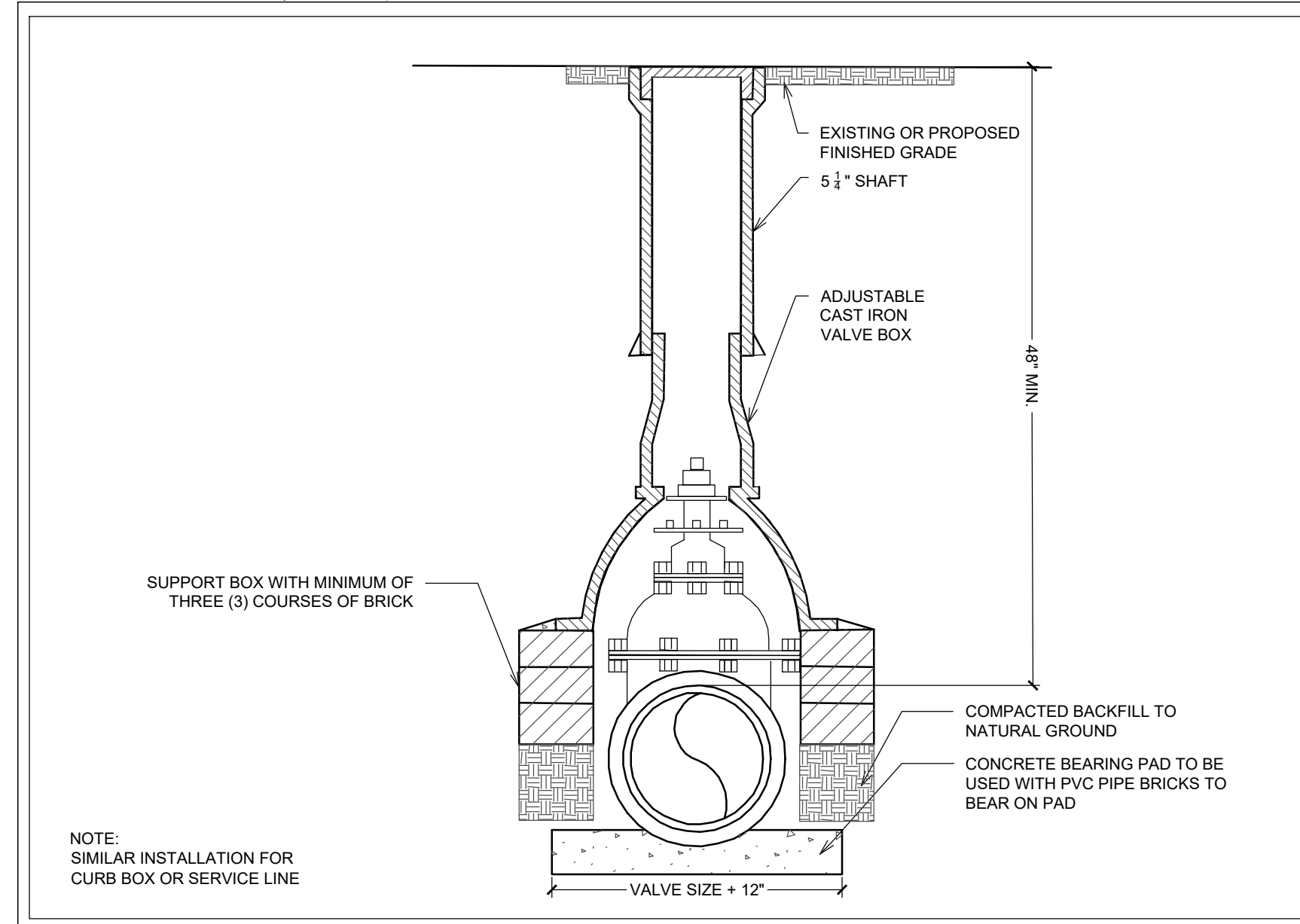
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**DRIVEWAY PART PLANS AND PROFILE**

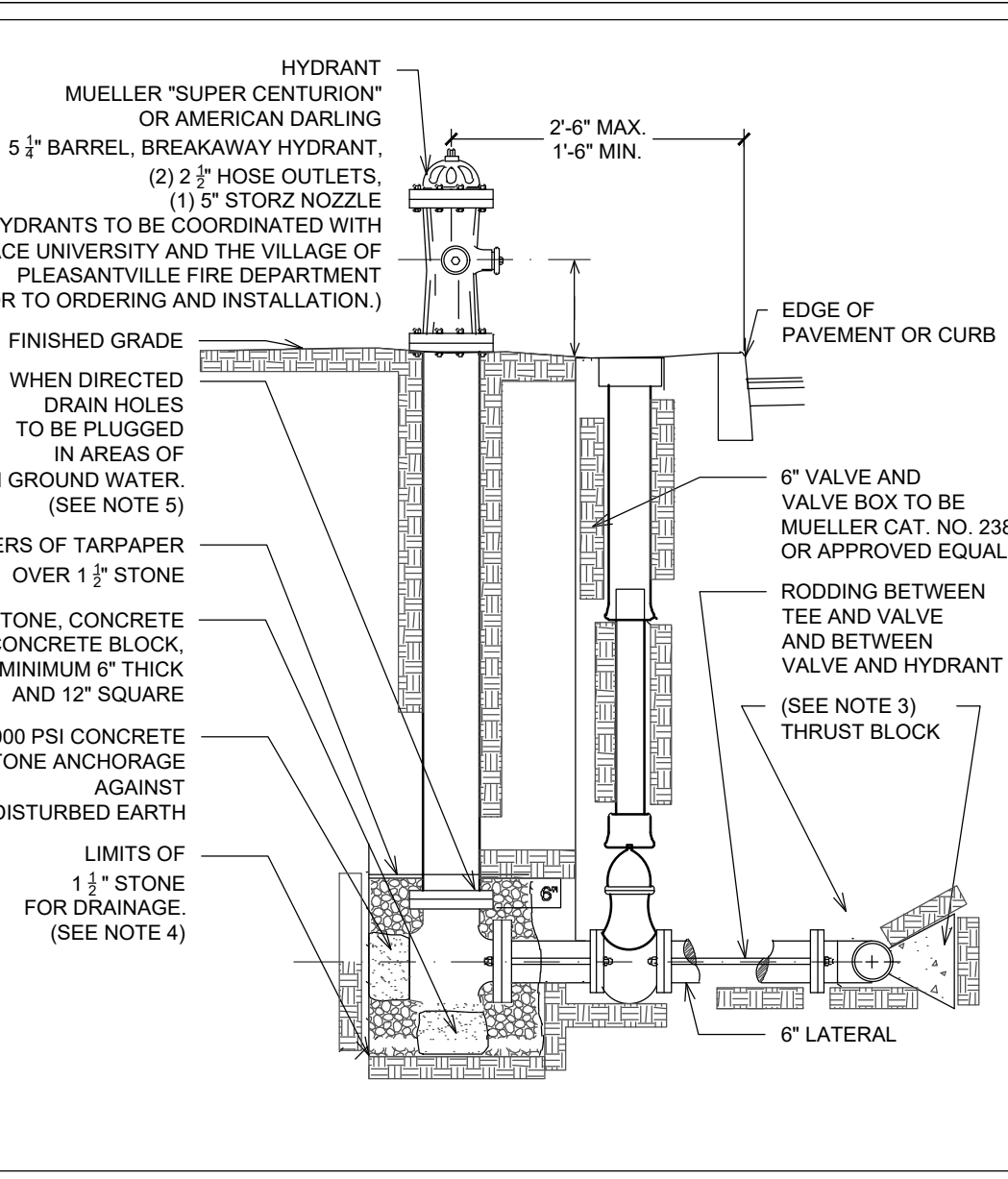


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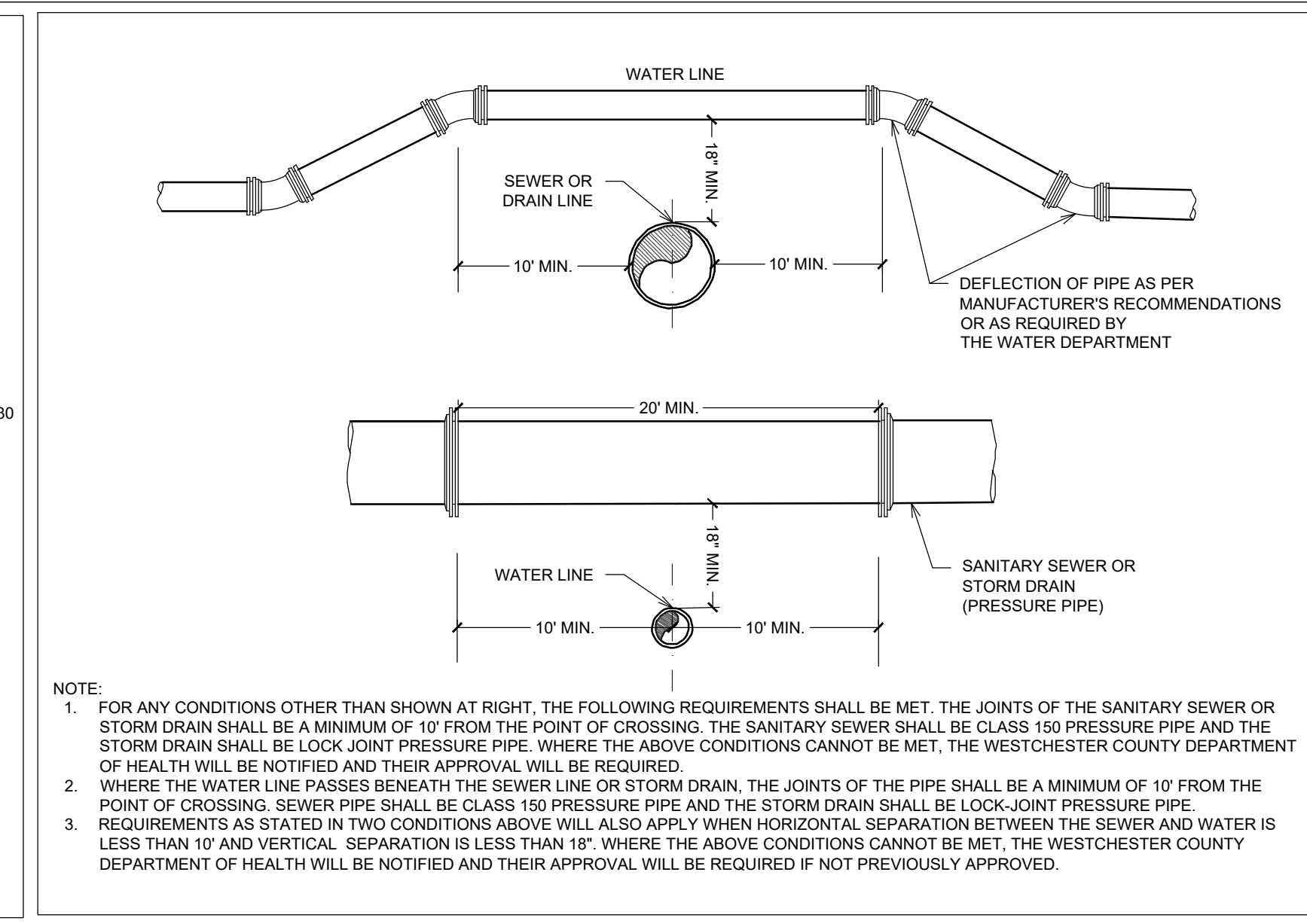
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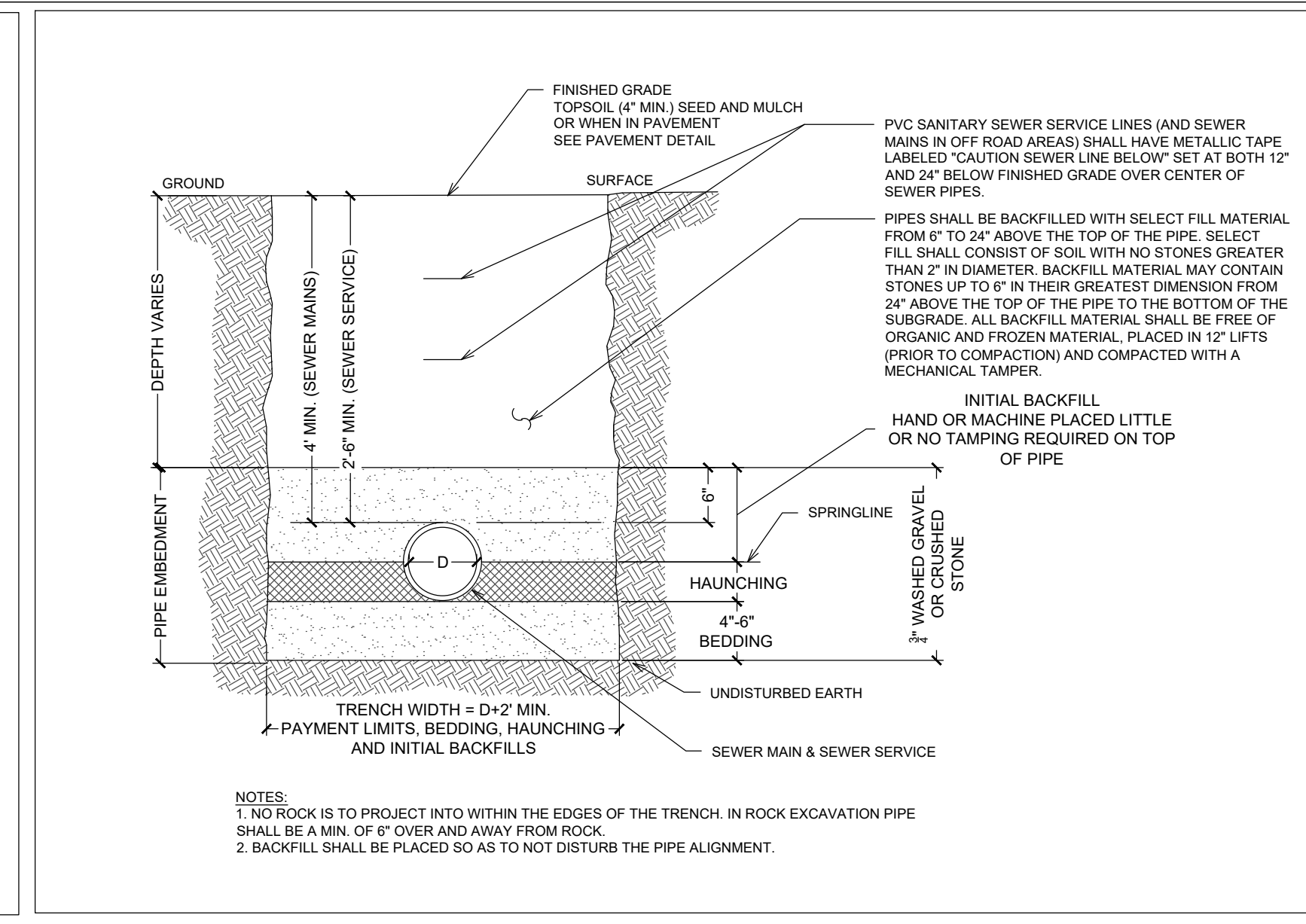
- NOTE:  
 1. PUMPER OUTLET SHALL FACE STREET. HOSE OUTLETS SHALL BE PARALLEL TO STREET.  
 2. FLUENCY OF HYDRANT TO BE CHECKED IN TWO DIRECTIONS, 90° APART.  
 3. ROODING SHALL CONSIST OF TWO 2" THREADED RODS CAREFULLY COATED WITH BITUMASTIC PAINT. ROODING MAY BE OMITTED BETWEEN THE MAIN AND LATERAL VALVE ONLY WHERE A TAPPING VALVE OR HYDRANT VALVE ANCHORING TIE IS USED.  
 4. 1" STONE SHALL BE PLACED AROUND THE HYDRANT FROM THE BOTTOM OF THE TRENCH BUT AT LEAST 6" BELOW THE BASE OF THE HYDRANT TO 4" ABOVE THE WASTING OPENING AND TO A DISTANCE OF 12" AROUND THE ELBOW.  
 5. HYDRANTS WITH PLUGGED DRAINS SHALL HAVE A 3" BLACK CIRCLE PAINTED DIRECTLY UNDER THE PUMPER OUTLET.  
 6. HYDRANT DRAINS TO BE PLUGGED WHERE THE WATER TABLE IS WITHIN 7' OF FINISHED GRADE. WHEN THE DRAINS ARE PLUGGED, THE BARRELS MUST BE PUMPED DRY AFTER USE DURING FREEZING WEATHER. WHERE HYDRANT DRAINS ARE NOT PLUGGED, A GRAVEL POCKET OR DRY WELL SHALL BE PROVIDED UNLESS THE NATURAL SOILS WILL PROVIDE ADEQUATE DRAINAGE. HYDRANT DRAINS SHALL NOT BE CONNECTED TO OR LOCATED WITHIN 10' OF SANITARY SEWERS OR STORM DRAINS.



HYDRANT SETTING SCALE: N.T.S. 2

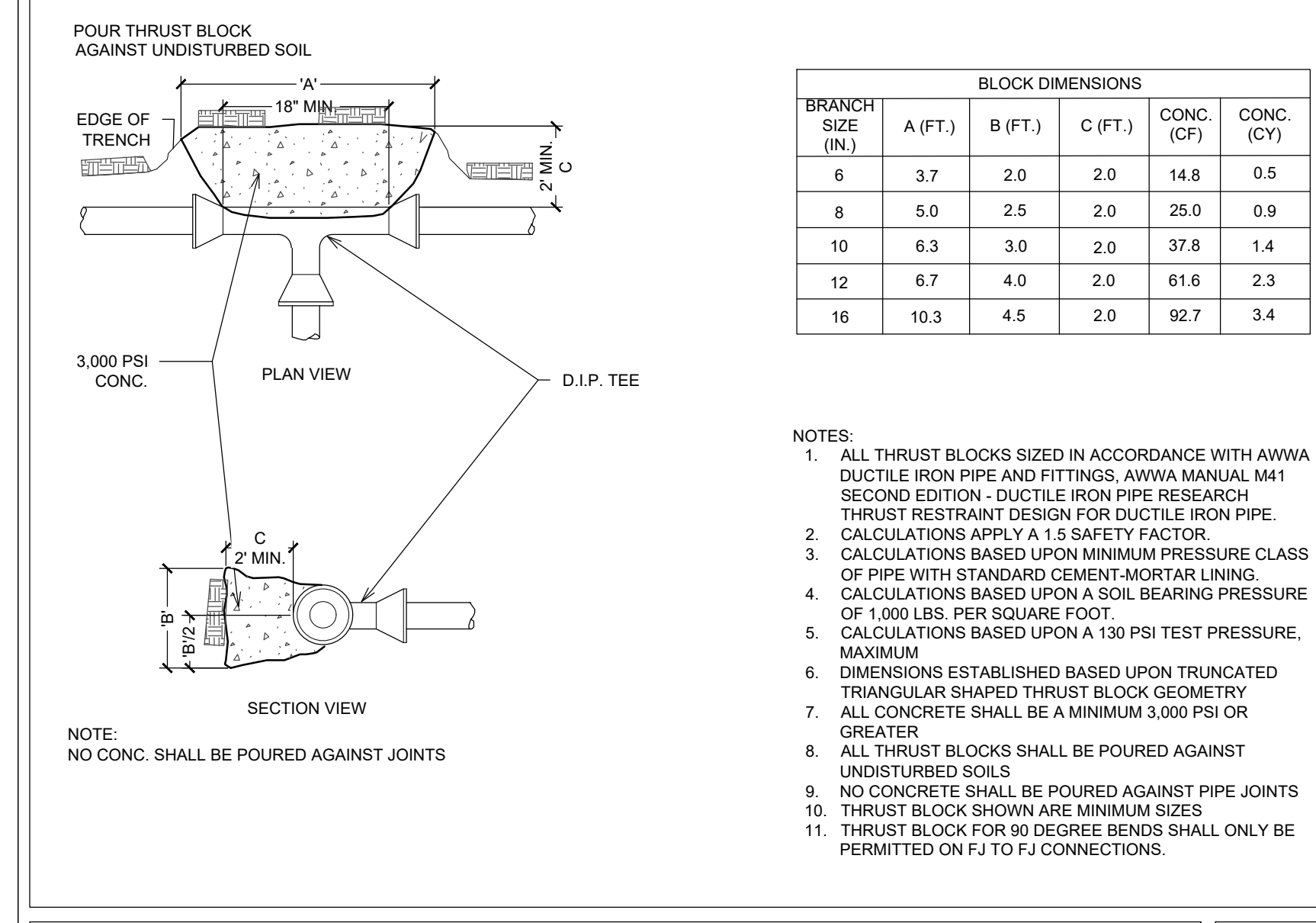


CROSSING OF WATER LINE AND STORM/SANITARY SEWER SCALE: N.T.S. 3

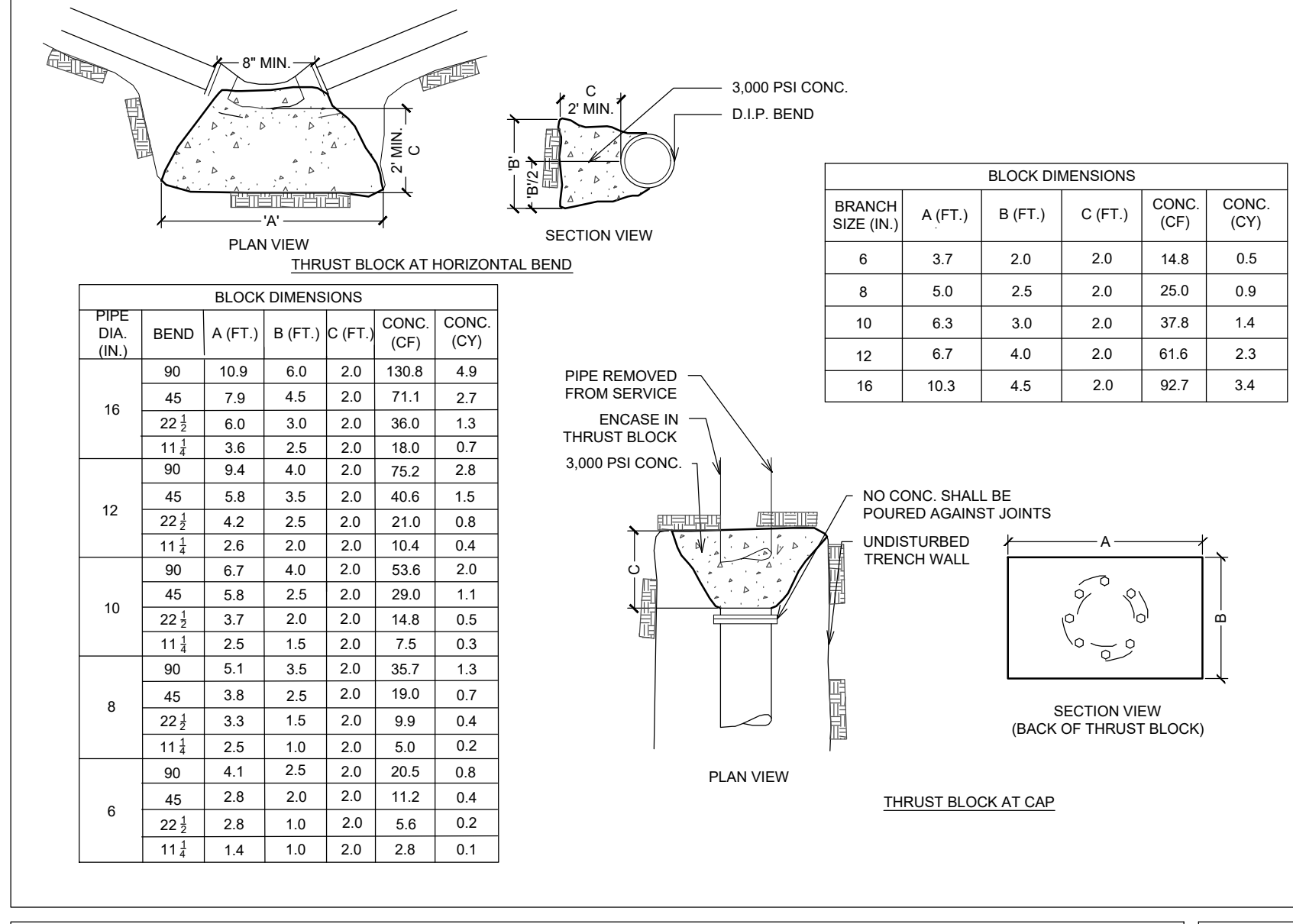


TRENCH DETAIL SCALE: N.T.S. 4

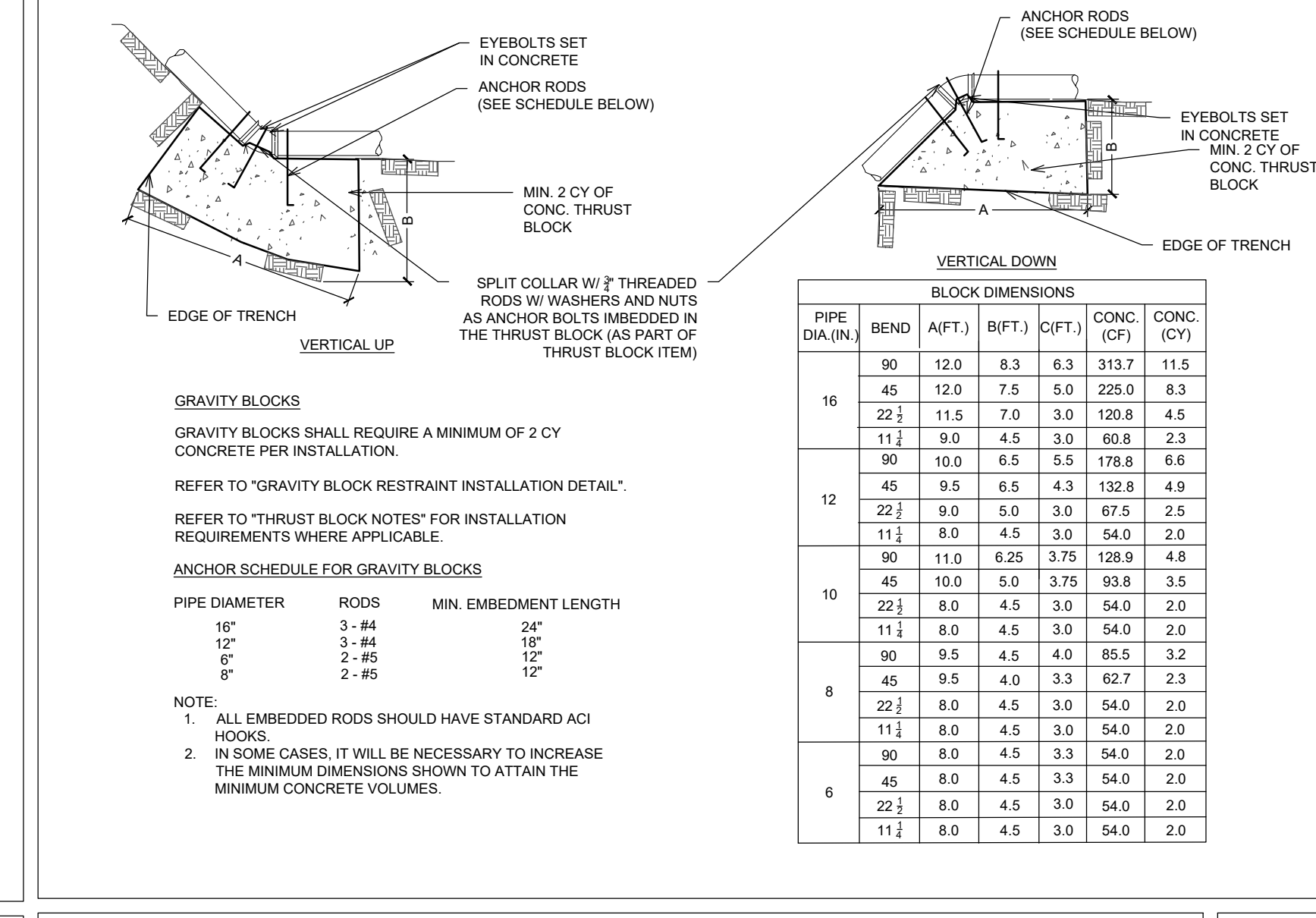
TYPICAL VALVE INSTALLATION BOX SCALE: N.T.S. 1



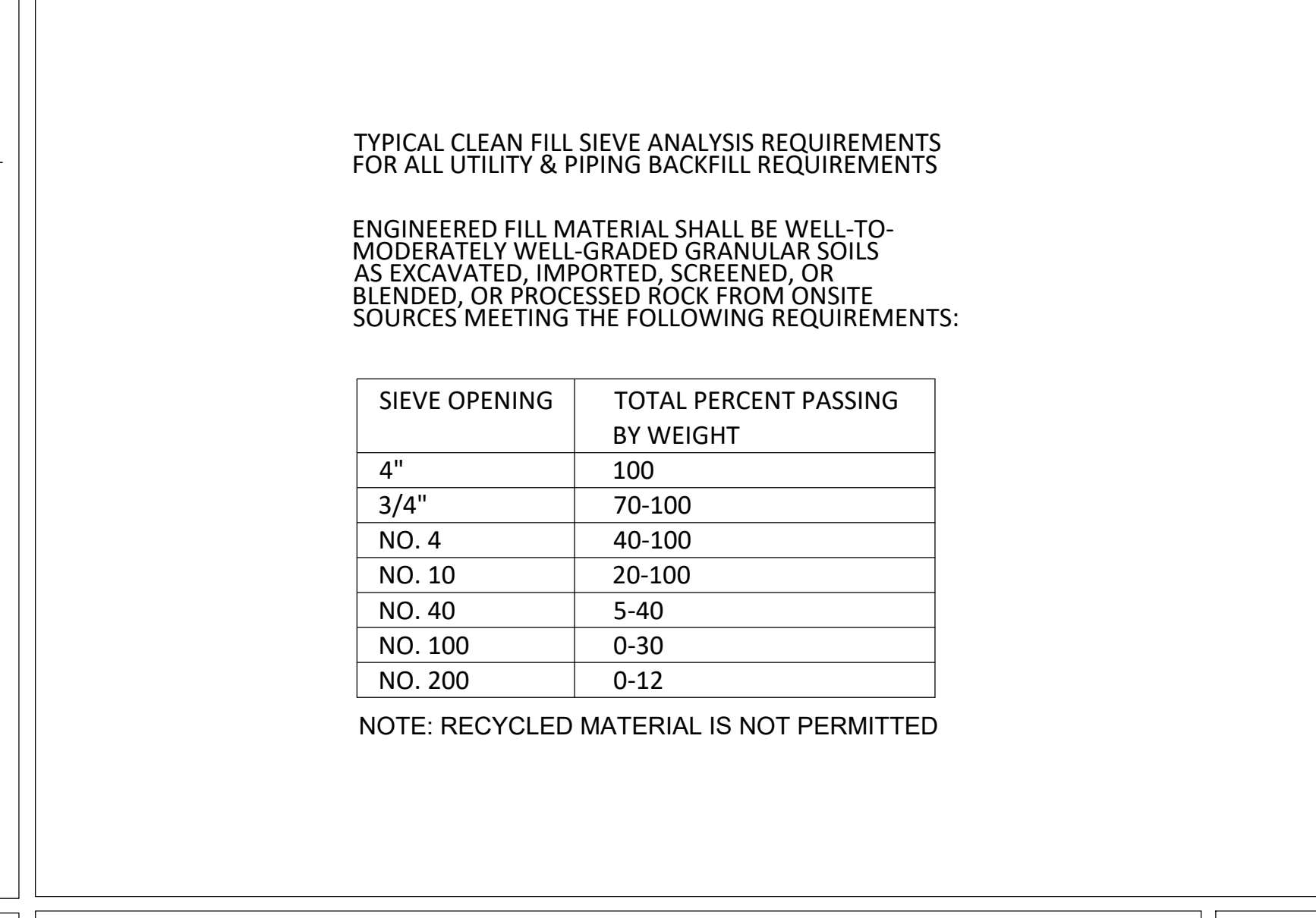
THRUST BLOCK AT TEE SCALE: N.T.S. 5



THRUST BLOCK AT HORIZONTAL BEND SCALE: N.T.S. 6



GRAVITY BLOCK AT VERTICAL BLEND SCALE: N.T.S. 7



TRENCH FILL MATERIAL SPECIFICATIONS SCALE: N.T.S. 8

- WATER MAIN NOTES
1. WATER MAIN SHALL HAVE MINIMUM OF 4'-0" COVER.
  2. DEFLECTION OF JOINTS ON WATER MAINS SHALL NOT EXCEED 50% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER, OR AS ORDERED BY THE ENGINEER.
  3. ALL HORIZONTAL AND VERTICAL BENDS REQUIRE THRUST BLOCKS. SEE SCHEDULE THIS SHEET FOR MINIMUM REQUIREMENTS.
  4. ALL PIPING, VALVES, HYDRANTS, AND FITTINGS TO BE APPROVED BY THE WATER COMPANY.
  5. ALL WATER MAINS TO BE DISINFECTED IN ACCORDANCE WITH A.W.W.A. SPECIFICATION C651-86, EXCEPT FOR SECTION 5.1 LATEST REVISION. ACCEPTABLE RESULTS OF BACTERIOLOGICAL ANALYSIS OF SAMPLES OF WATER COLLECTED FROM THE NEW DISTRIBUTION MAIN AFTER DISINFECTION SHALL BE SUBMITTED TO THE VILLAGE CLERK OF PLEASANTVILLE, TOWN OF MT. PLEASANT, AND THE WESTCHESTER COUNTY HEALTH DEPARTMENT PRIOR TO USE.
  6. PRESSURE AND LEAKAGE TESTS WILL BE DONE IN ACCORDANCE WITH THE LATEST A.W.W.A. STANDARDS.
  7. THE PROPOSED WATER MAIN WILL BE INSTALLED A MINIMUM OF 10'-0" HORIZONTALLY AND 18" VERTICALLY FROM ALL STORM AND SANITARY SEWERS, EXCEPT WHERE SHOWN ON PROFILE. 3" THICK CONCRETE ENCASMENT SHALL BE USED WHERE THE MINIMUM SEPARATION DISTANCE IS NOT MET.
  8. ALL WATER MAIN PIPE SHALL BE "TYTON JOINT" WITH PUSH ON (RUBBER GASKET) AND 2 BRONZE WEDGES PER JOINT, CLASS 54 DOUBLE CEMENT LINED DUCTILE IRON PIPE, CLASS 300 AS MANUFACTURED BY UNITED STATES PIPE AND FOUNDRY COMPANY, MADE IN THE U.S.A., OR APPROVED EQUAL.
  9. ALL FITTINGS SHALL BE MECHANICAL JOINT WITH RETAINER GLANDS, CEMENT LINED, DUCTILE IRON PIPE AS MANUFACTURED BY UNITED STATES PIPE AND FOUNDRY COMPANY, MADE IN THE U.S.A. OR APPROVED EQUAL.
  10. THE PIPE AND FITTINGS SHALL BE CEMENT MORTAR LINED TO TWICE THE STANDARD THICKNESS IN ACCORDANCE WITH ANSI A21.1 (AWWA C100) EXCEPT AS NOTED. ALL CHANGES IN PIPE DIRECTIONS, REQUIRING FITTINGS BOTH VERTICAL AND HORIZONTAL, SHALL BE SECURED WITH RETAINER GLANDS AND THRUST BLOCKED WITH CONCRETE AGAINST UNDISTURBED EARTH.
  11. THE MECHANICAL JOINT RESTRAINT SYSTEM SHALL INCORPORATE A RESTRAINING MECHANISM IN THE FOLLOWER GLAND, WHICH SHALL IMPART A MULTIPLE WELDING ACTION AGAINST THE PIPE. GLANDS SHALL BE MANUFACTURED OF DUCTILE IRON CONFORMING TO ASTM A536-89. RETAINER GLANDS SHALL BE "MEGALUG" AS MANUFACTURED BY EBAA IRON, INC., OR APPROVED EQUAL.
  12. GATE VALVES SHALL BE MUELLER, IRON BODY, NON-RISING STEM CONVENTIONAL PACKING, RESILIENT SEATED, MECHANICAL JOINT WITH RETAINER GLANDS, PRESSURE CLASS 350, OPENING LEFT (COV) AND OPERATION SHALL BE BY 2" SQUARE WRENCH NUT.
  13. CORPORATION STOP SHALL BE MUELLER B-2500N (PRESSURE RATING 300 PSI). GROUND KEY MODELS ARE PREFERABLE.
  14. CURB VALVE SHALL BE MUELLER MARK II ORISCAL (MIN PRESSURE RATING 175 PSI) OR B-25209N WITH NO DRAIN PORTS DEPENDING ON OPERATING PRESSURE OF MAIN.
  15. CURB BOXES SHALL BE MUELLER MODEL NO. H-10314, 4 1/2" FULL EXTENSION, OR APPROVED EQUAL AND MADE IN THE U.S.A. IF NEEDED, STAINLESS STEEL EXTENSION RODS WITHIN THE CURB BOXES SHALL BE FURNISHED AND INSTALLED.
  16. A REDUCED BACKFLOW PREVENTER SHALL BE PROVIDED FOR THE POTABLE WATER SUPPLY IN ACCORDANCE WITH APPLICABLE STATE, COUNTY AND LOCAL LAWS.
  17. A REDUCED BACKFLOW PREVENTER SHALL BE PROVIDED FOR PROPOSED IRRIGATION IN ACCORDANCE WITH APPLICABLE STATE, COUNTY AND LOCAL LAWS. IT IS RECOMMENDED THAT IRRIGATION BE DISCONNECTING FROM THE PUBLIC SUPPLY AND AN ONSITE WELL BE UTILIZED FOR SAID PURPOSES.
  18. A DOUBLE CHECK DETECTOR ASSEMBLY SHALL BE PROVIDED FOR THE FIRE SERVICE. DEVICE SHALL BE TAMPER PROOF. IF A BYPASS IS PROPOSED IT SHALL BE METERED.
  19. ALL WATER SERVICES AND FIRE SERVICES SHALL BE METERED.
  20. FIRE HYDRANTS SHALL BE "MUELLER" SUPER CENTURION 360, (OR APPROVED EQUAL), WITH SAFETY BREAKAWAY FLANGE. 3-WAY, OPENING LEFT (COV). THE PUMPER NOZZLE SHALL BE 5/4". THE TWO HOSE NOZZLES SHALL BE 2 1/2". BODIES SHALL BE PAINTED YELLOW. CAPS, RED. DETAIL SHALL BE REVISED ACCORDINGLY.
  21. ALL UTILITY EASEMENTS SHALL BE 20-FT MINIMUM UTILITIES SHALL RUN AS CLOSE TO THE CENTERLINE AS POSSIBLE. EASEMENT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO THE SUBMITTAL OF ANY PLANS TO THE WCODD. ALL EASEMENTS SHALL BE FILED WITH THE WESTCHESTER COUNTY CLERK - DIVISION OF LAND RECORDS.

WATER MAIN NOTES SCALE: N.T.S. 9

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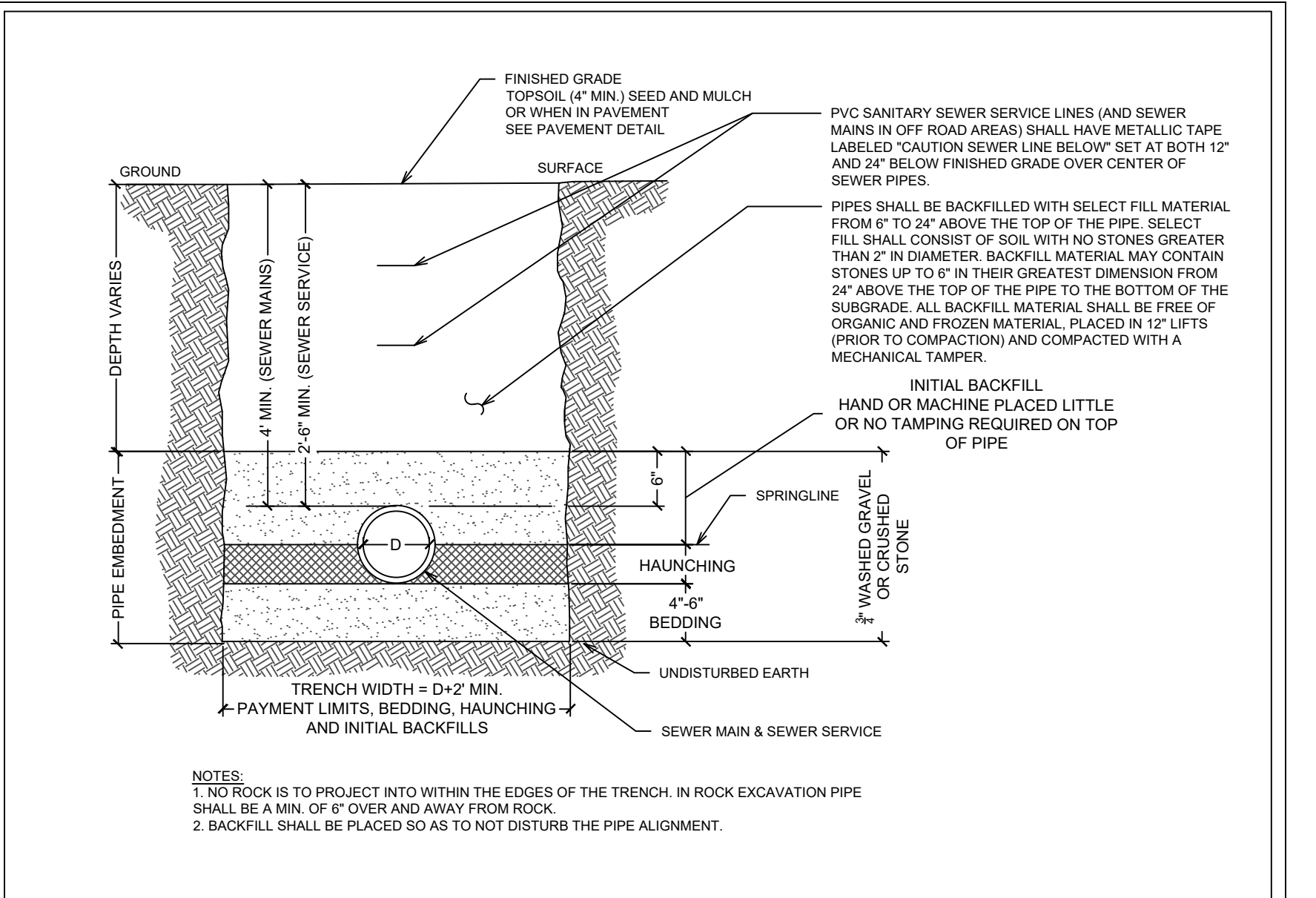
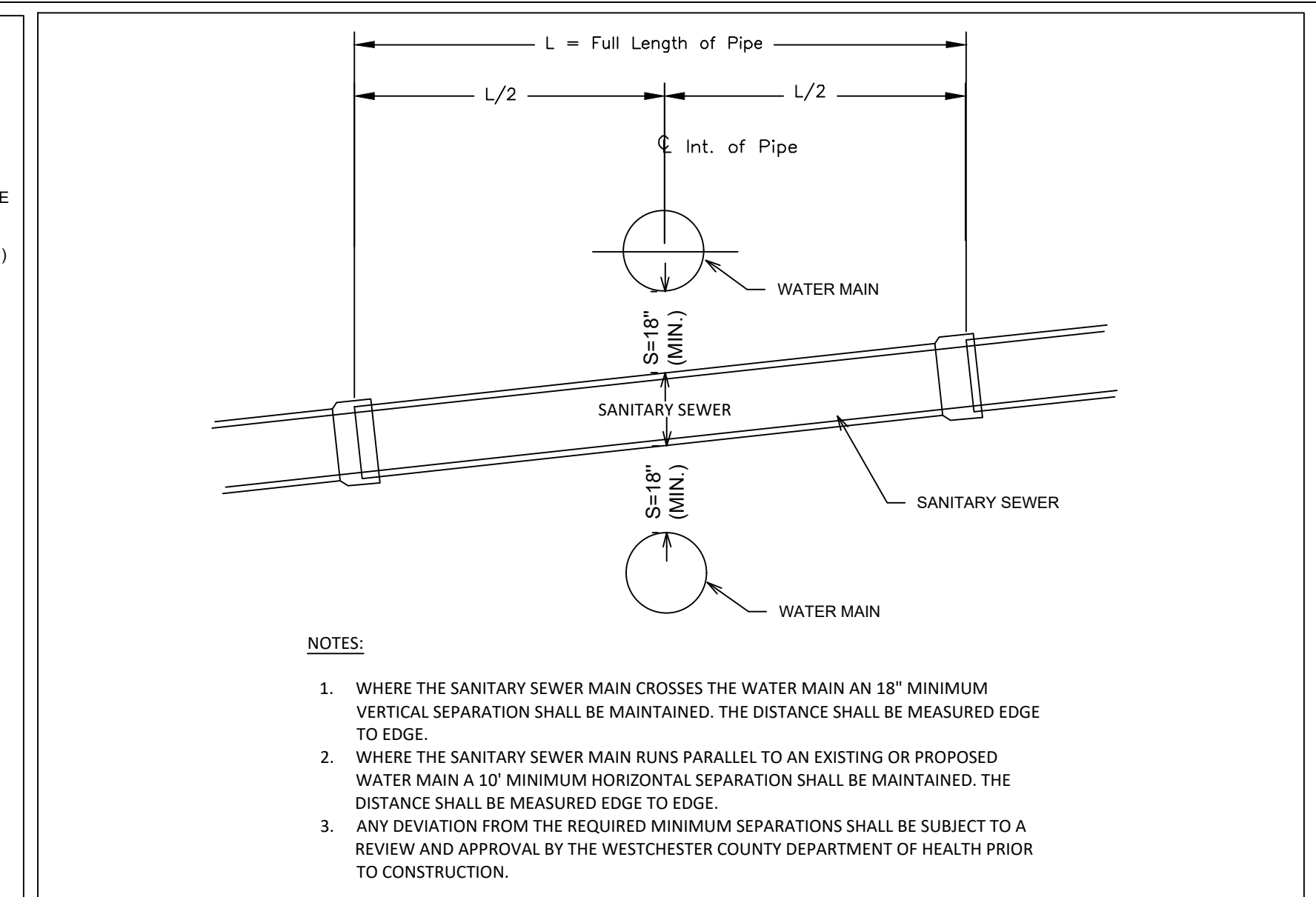
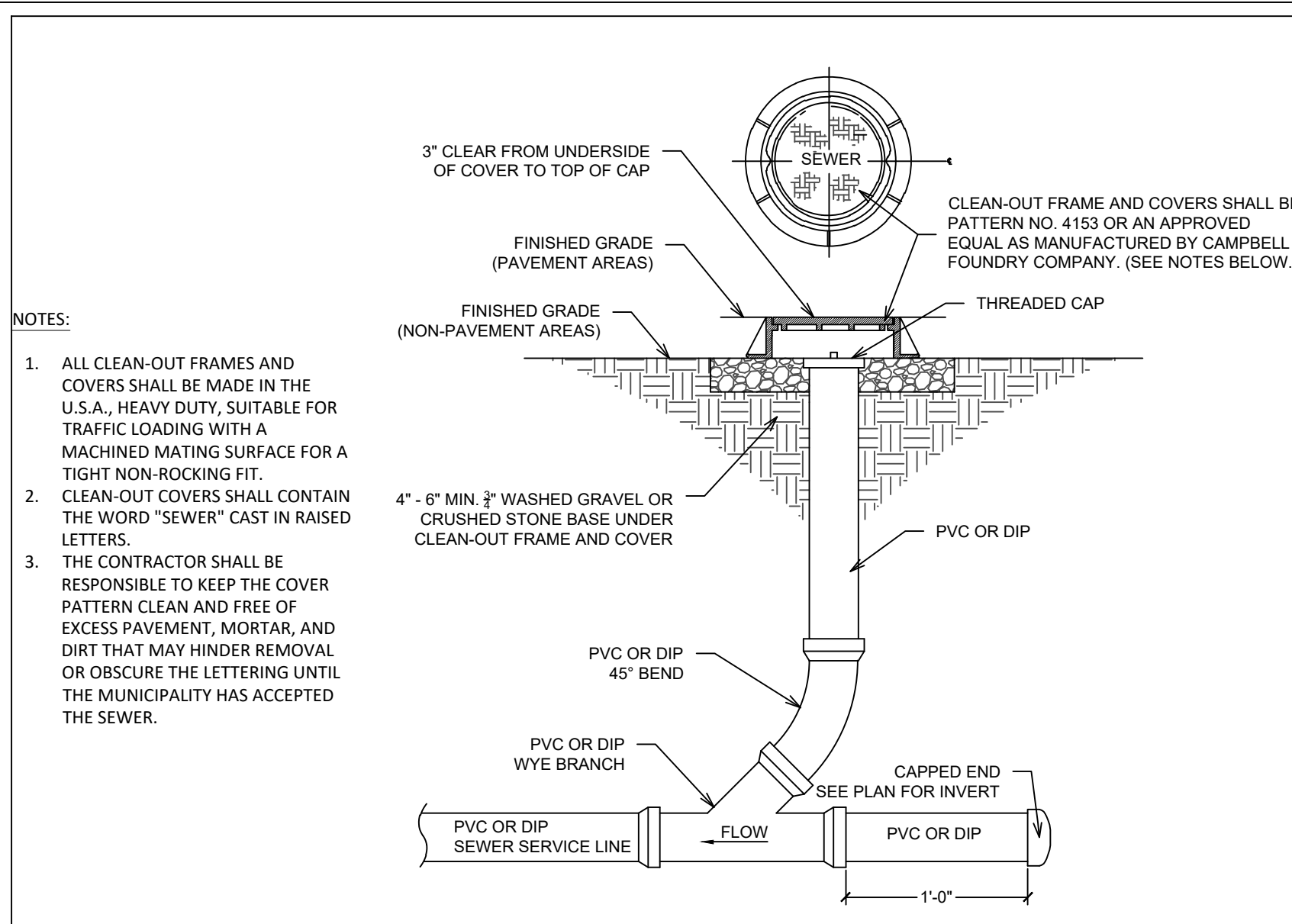
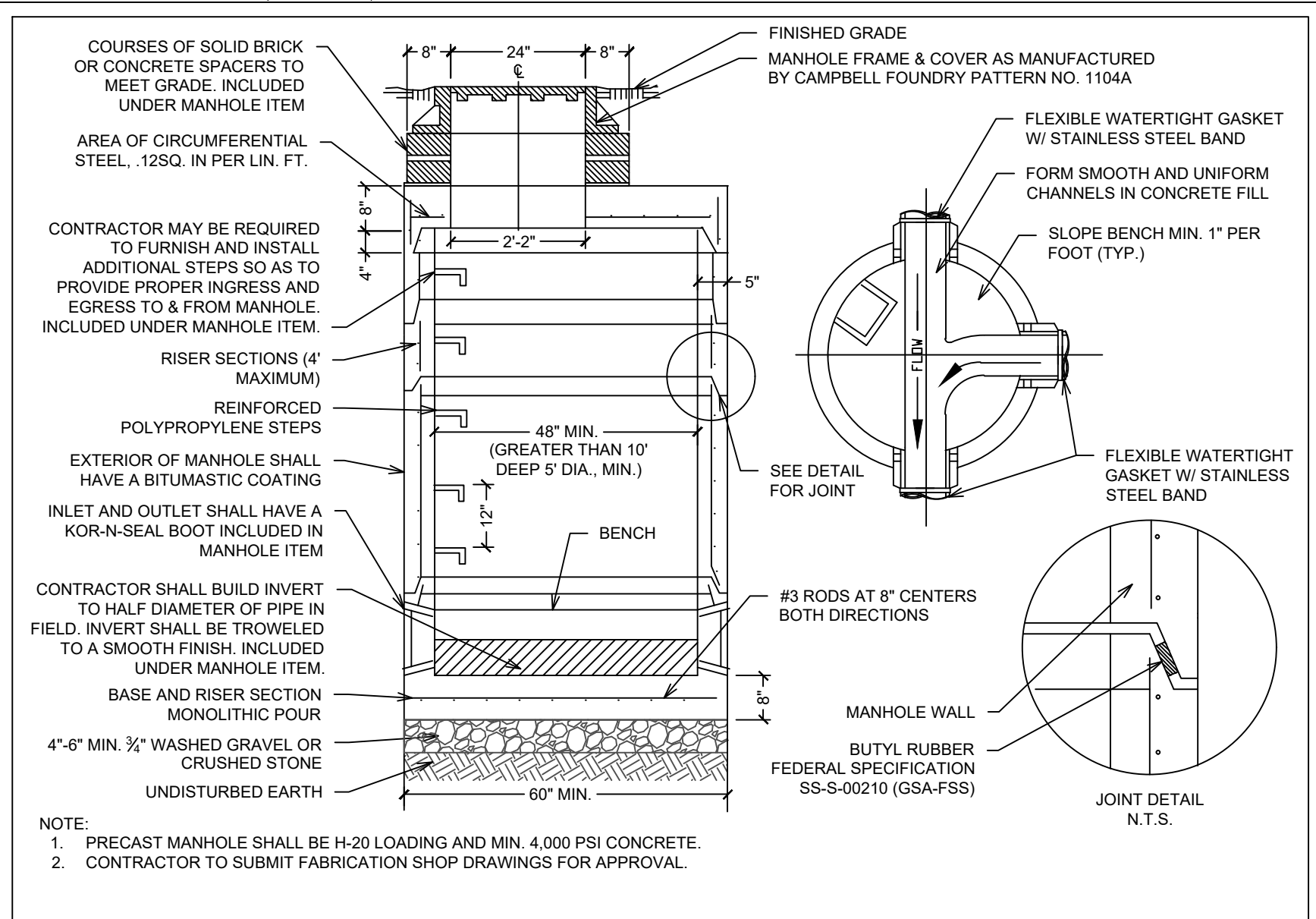
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WATER MAIN DETAILS

DRAWING TITLE: WATER MAIN DETAILS

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PROJECT NO.: 858	DATE: 05/19/21
DRAWING NO.: SP-6.5	

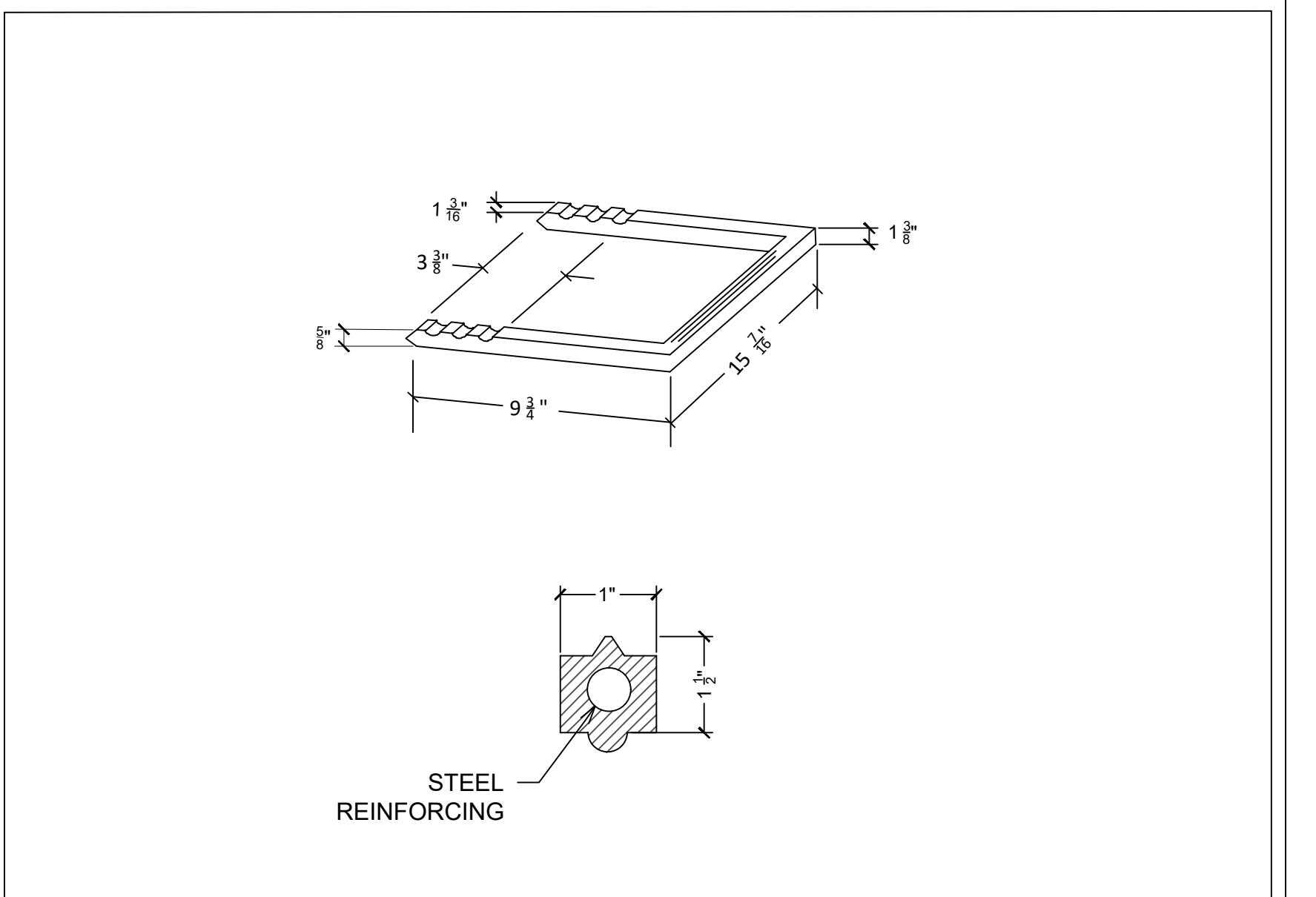
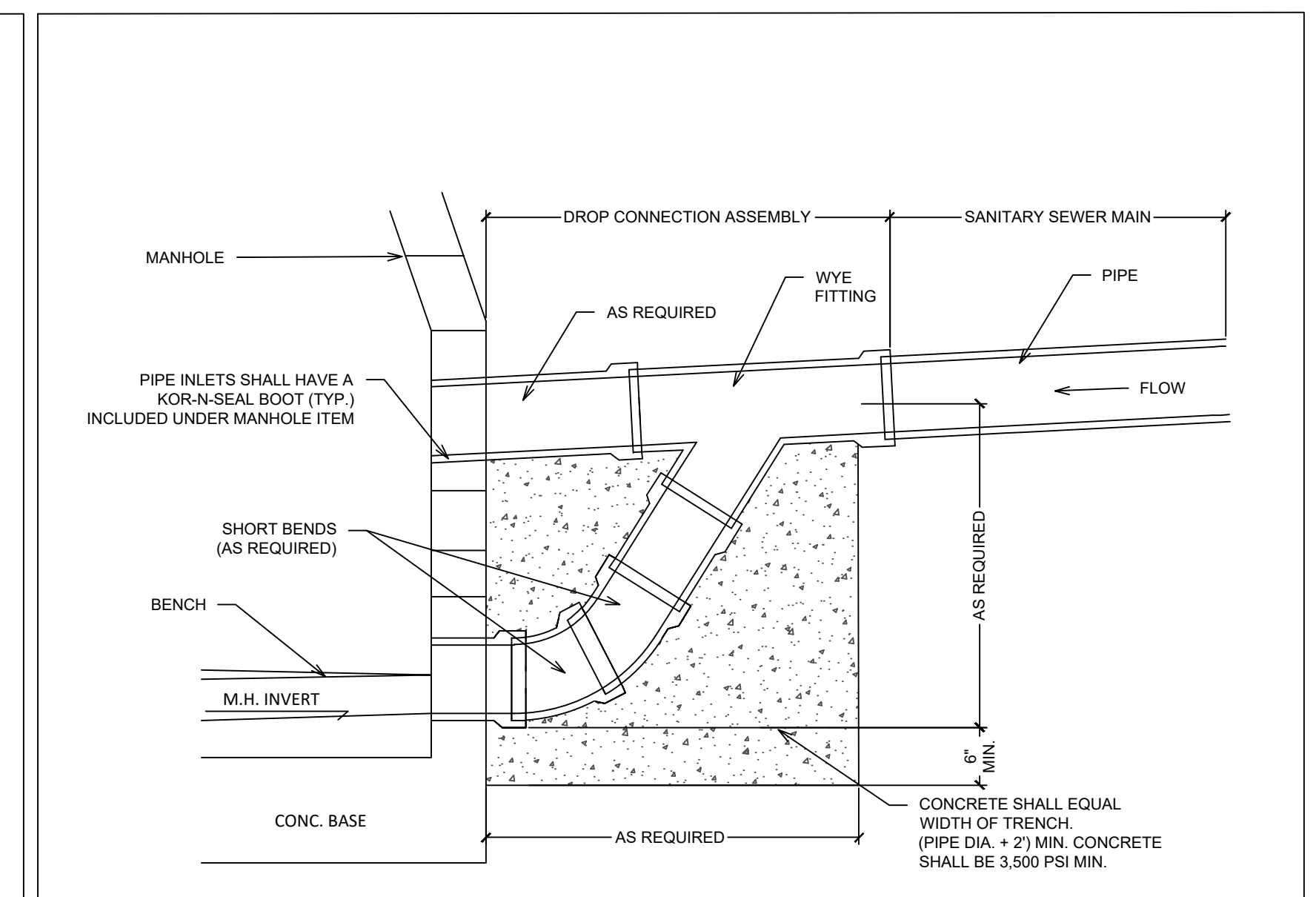
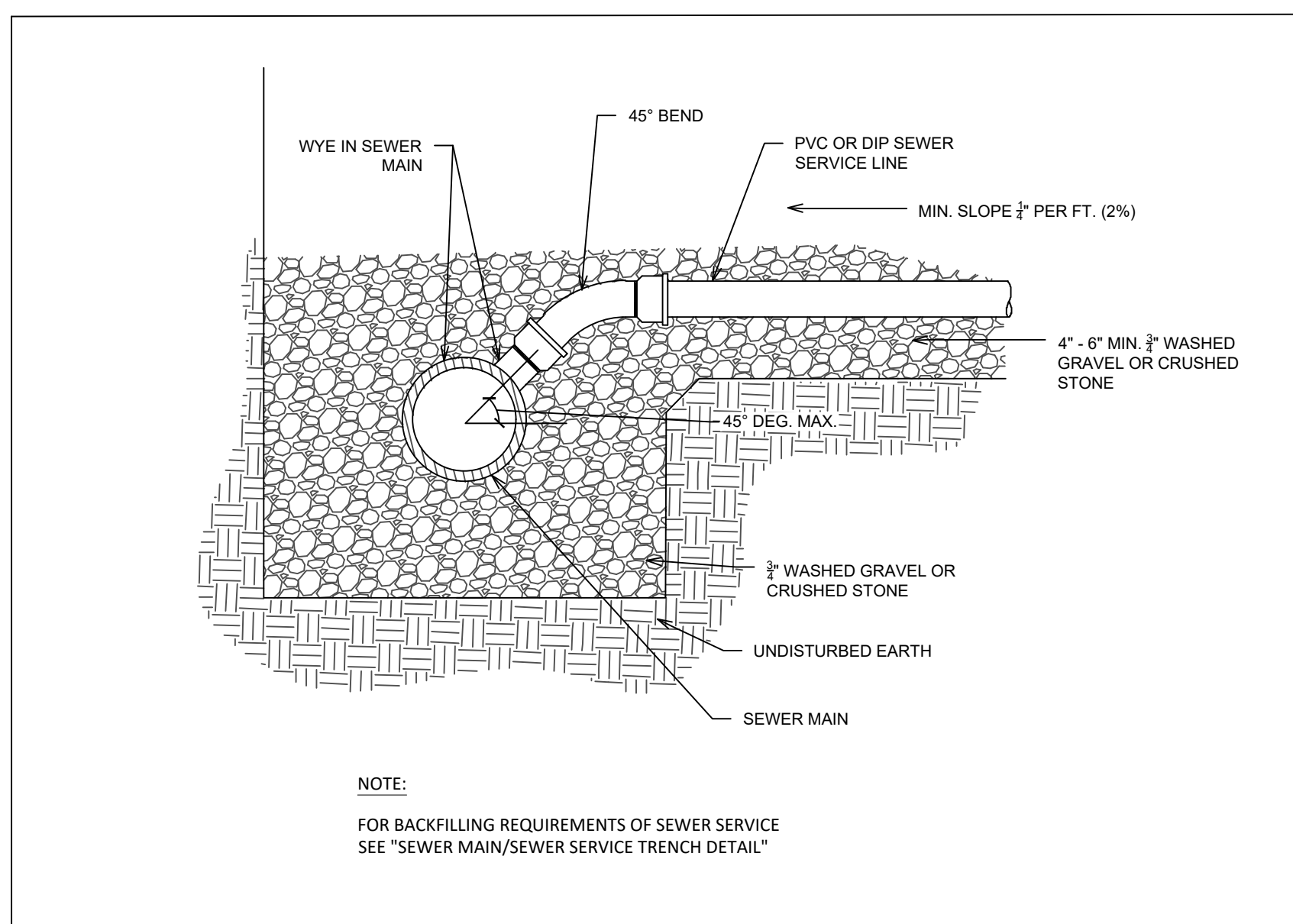
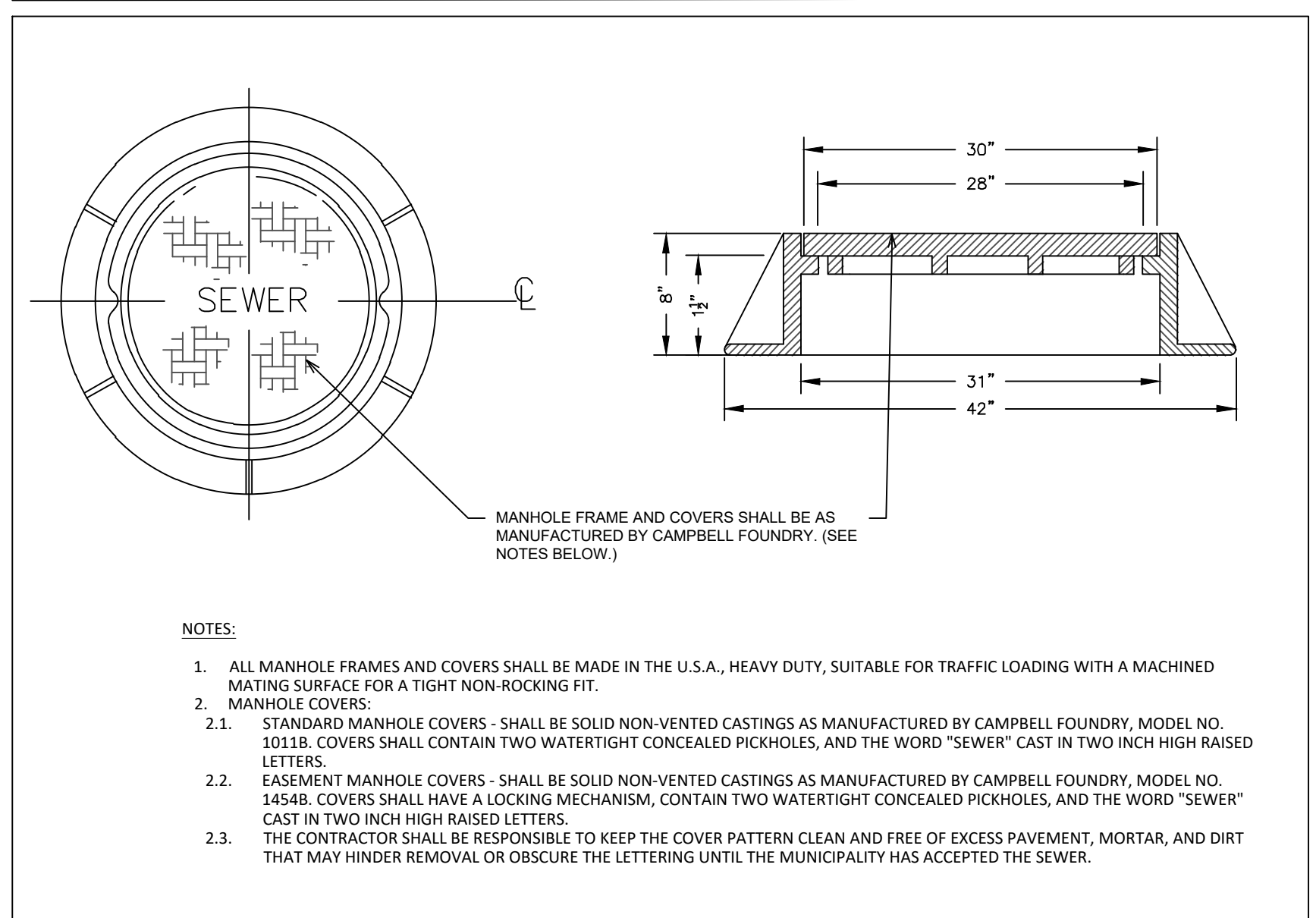


SANITARY SEWER MANHOLE SCALE: N.T.S. 1

CLEANOUT ASSEMBLY SCALE: N.T.S. 2

SANITARY SEWER - WATER MAIN CROSSING SCALE: N.T.S. 3

TRENCH DETAIL SCALE: N.T.S. 4



MANHOLE FRAME AND COVER SCALE: N.T.S. 5

SANITARY SEWER SERVICE LINE SCALE: N.T.S. 6

MANHOLE DROP CONNECTION SCALE: N.T.S. 7

MANHOLE STEPS SCALE: N.T.S. 8

**TYPICAL CLEAN FILL SIEVE ANALYSIS REQUIREMENTS FOR ALL UTILITY & PIPING BACKFILL REQUIREMENTS**

ENGINEERED FILL MATERIAL SHALL BE WELL-TO-MODERATELY WELL-GRADED GRANULAR SOILS AS EXCAVATED, IMPORTED, SCREENED, OR BLENDED, OR PROCESSED ROCK FROM ON-SITE SOURCES MEETING THE FOLLOWING REQUIREMENTS:

SIEVE OPENING	TOTAL PERCENT PASSING BY WEIGHT
4"	100
3/4"	70-100
NO. 4	40-100
NO. 10	20-100
NO. 40	5-40
NO. 100	0-30
NO. 200	0-12

NOTE: RECYCLED MATERIAL IS NOT PERMITTED

**SEWER MAIN NOTES:**

- ALL SEWER MAIN PIPING SHALL BE CL-52 DIP GASKETED GRAVITY SEWER PIPE.
- ALL INDIVIDUAL SEWER SERVICES SHALL BE 4 INCH SDR-35 PVC GASKETED GRAVITY SEWER PIPE (UP TO FIVE (5) FEET OF THE BUILDING FOUNDATION). WITHIN FIVE (5) FEET OF THE BUILDING FOUNDATION THE SEWER SERVICE PIPE SHALL BE PER LOCAL BUILDING CODES. CLEANOUTS WILL BE REQUIRED AT ALL CHANGES IN PIPE DIRECTION AND EVERY 50 FEET.
- SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" CAST ON THE COVERS.
- THE PRECAST CONCRETE STRUCTURE SHALL COMPLY WITH ASTM SPECIFICATION C-478 ALL NECESSARY PATCHING SHALL BE ACCOMPLISHED WITH NON-SHRINK CEMENT GROUT EQUAL TO "SIKA-SET" AS MANUFACTURED BY SIKA CHEMICAL COMPANY.
- THE PROPOSED SEWER MAINS WILL BE INSTALLED A MINIMUM OF 10'-0" HORIZONTALLY AND 18" VERTICALLY FROM ALL WATERMANS.
- ALL SEWER MANHOLES ARE TO BE CONSTRUCTED WITH COMPRESSION TYPE RESILIENT SEAL ASSEMBLY.
- GASKETS OR COLLARS FOR SANITARY SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE WATER TIGHT AND COMPATIBLE WITH THE TYPE OF PIPING BEING USED.
- THE LENGTH OF SANITARY SEWER PIPES ENTERING OR LEAVING ANY MANHOLE SHALL BE GREATER THAN 2'-0" AND LESS THAN 6'-0"
- SEWERS SHALL BE TESTED EITHER HYDROSTATICALLY USING AN INFILTRATION OR EVAPORATION TEST OR WITH A LOW PRESSURE AIR TEST. THE TESTS SHALL BE CONDUCTED ON THE SANITARY SEWER SECTIONS. INFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE PER MILE OF PIPE PER DAY. RESULTS SHALL BE SUBMITTED TO THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND SHALL BE PERFORMED UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER. LOW-PRESSURE AIR TEST MUST CONFORM TO NYSDEC PAMPHLET TYP 15 419/989.
- MANHOLES SHALL BE TESTED EITHER BY VACUUM OR HYDROSTATIC TESTING. RESULTS SHALL BE SUBMITTED TO THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND SHALL BE PERFORMED UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER. LOW-PRESSURE AIR TEST MUST CONFORM TO NYSDEC PAMPHLET TYP 15 419/989.
- UPON COMPLETION AND PRIOR TO USE, TWO (2) SETS OF AS-BUILT PLANS MUST BE SUBMITTED TO THE WCDOH TOGETHER WITH NYS LICENSED PROFESSIONAL ENGINEERS CERTIFICATION OF CONSTRUCTION AND ACCEPTABLE RESULTS OF AIR OR WATER TESTING OF THE SEWER PIPES AND MANHOLES. THE SURVEY SHALL BE SIGNED AND SEALED BY A LICENSED NYS SURVEYOR.
- A MINIMUM OF 48 HOUR ADVANCED NOTIFICATION TO THE WCDOH IS REQUIRED FOR ANY LEAKAGE TESTING OF THE SEWER MAIN AND MANHOLES.

TRENCH FILL MATERIAL SPECIFICATIONS SCALE: N.T.S. 9

SEWER MAIN NOTES SCALE: N.T.S. 10

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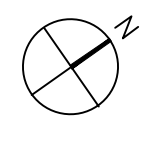
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**SANITARY SEWER DETAILS**

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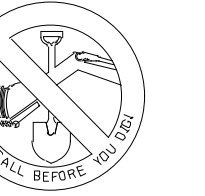
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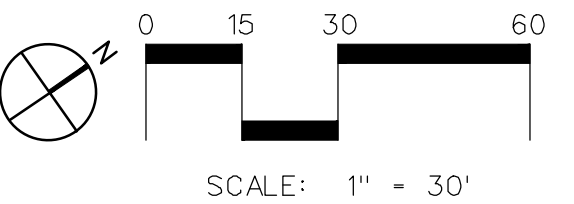
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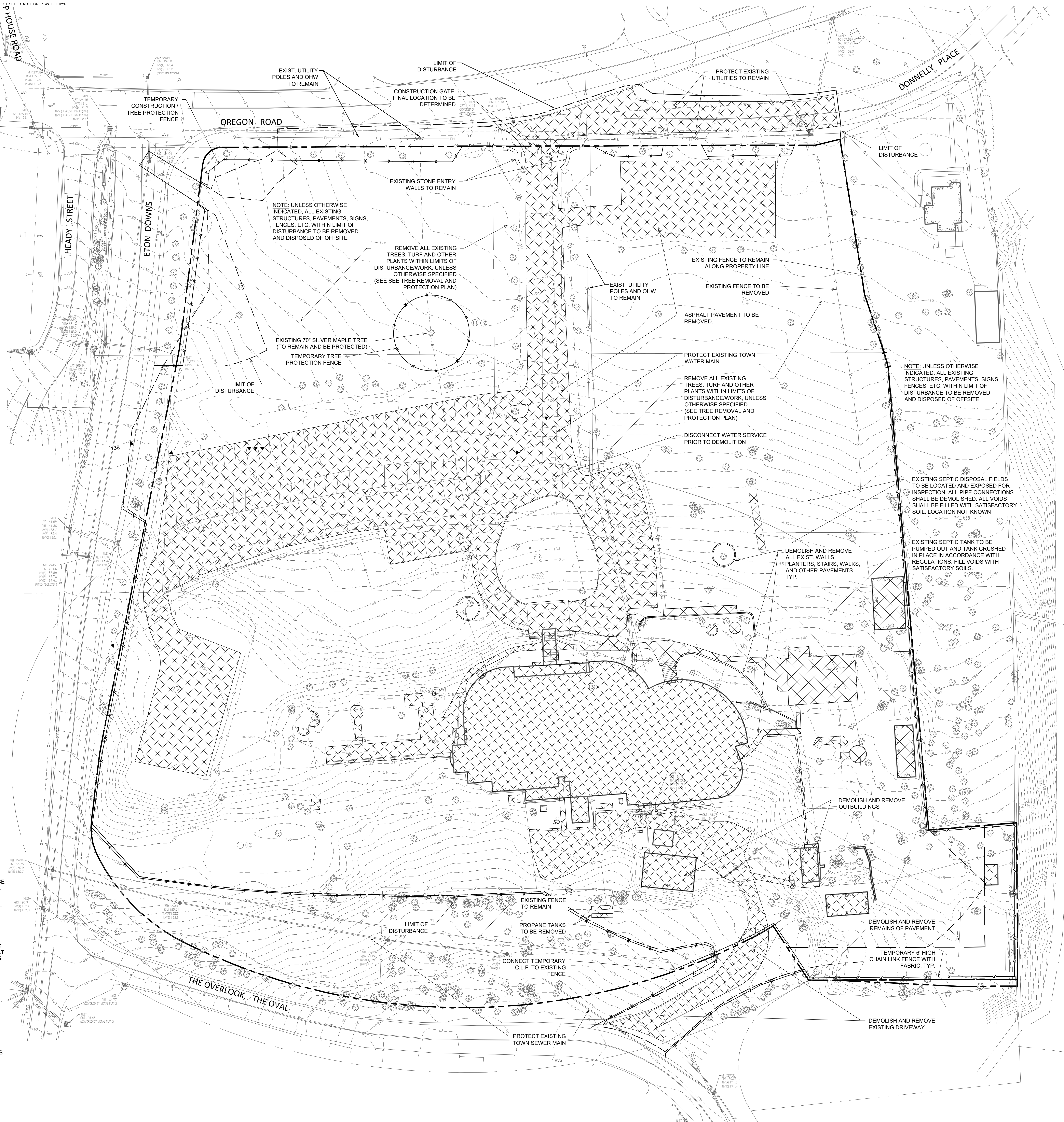
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GENERAL NOTES

- WORK OF THIS CONTRACT IS TO INCLUDE, BUT NOT LIMITED TO, DEMOLITION OF EXISTING BUILDING FOUNDATIONS, SITE IMPROVEMENTS, UTILITIES, UTILITY STRUCTURES, SITE LIGHTING, UNDERGROUND TANKS, ASPHALT/CONCRETE PAVEMENT, CURBING, CONCRETE AND/OR ASPHALT RAMPS, SIDEWALKS, FENCING, RAILINGS, SIGNAGE, AND MISCELLANEOUS STRUCTURES.
- NO DEMOLITION ACTIVITY OUTSIDE OF A FULLY ENCLOSED STRUCTURE CAN BE PERFORMED AFTER 8:00 PM OR BEFORE 7:30 AM ON WEEKDAYS OR BEFORE 10:00 AM ON WEEKENDS AND NATIONAL AND STATE HOLIDAYS, UNLESS THERE IS IMMINENT DANGER TO LIFE OR PROPERTY.
- PRIOR TO STARTING ANY DEMOLITION OPERATIONS, ALL ACTIVE UTILITIES SHOULD BE IDENTIFIED, MARKED OUT IN THE FIELD, AND SECURED AS NECESSARY.
- ALL EROSION AND SEDIMENT CONTROLS TO BE INSTALLED PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. SEE SOIL EROSION AND SEDIMENT CONTROL PLANS.
- CONDUCT A PRE-DEMOLITION CONFERENCE AT THE PROJECT SITE A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING ANY DEMOLITION WORK. THE MEETING WILL BE ARRANGED BY THE OWNER UPON NOTIFICATION OF THE CONTRACTOR AND IS TO BE ATTENDED BY REPRESENTATIVES OF THE CONTRACTOR, OWNER, CONSTRUCTION MANAGER, AND REPRESENTATIVES OF THE COLLEGE.
- ADJOINING PROPERTY OWNERS WILL CONTINUE TO OCCUPY THEIR FACILITIES IMMEDIATELY ADJACENT TO THE PROJECT SITE. THUS, THE CONTRACTOR MUST CONDUCT HIS OPERATIONS IN SUCH A MANNER AND MAKE ANY ARRANGEMENTS NECESSARY SO THAT THE ADJOINING PROPERTY OWNER'S USE OF THEIR FACILITIES WILL NOT BE DISRUPTED DURING THE COURSE OF THE DEMOLITION WORK.
- PROVIDE NOT LESS THAN SEVENTY-TWO (72) HOURS NOTICE TO THE OWNER AND ADJACENT PROPERTY OWNERS OF ACTIVITIES THAT WILL AFFECT THEIR RESPECTIVE USE OF THEIR PROPERTY.
- DO NOT CLOSE OR OBSTRUCT ACCESS TO ANY ADJACENT FACILITIES WITHOUT WRITTEN PERMISSION FROM EITHER AUTHORITIES HAVING JURISDICTION (AHJ) OR THE AFFECTED PROPERTY OWNER.
- PRIOR TO DEMOLITION OBTAIN CLEARANCE FROM THE TOWN OF CORTLANDT BUILDING DEPARTMENT THAT HAZARDOUS MATERIALS, IF ANY, HAVE BEEN ABATED.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- EXISTING UTILITIES. MAINTAIN ACTIVE UTILITY SERVICES INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO AUTHORITIES HAVING JURISDICTION.
- PROTECT EXISTING SITE IMPROVEMENTS, UTILITIES, AND LANDSCAPING SHOWN TO REMAIN.
- DEMOLISH ALL ITEMS, AS EITHER INDICATED ON THE PLANS OR ENCOUNTERED IN THE FIELD DURING THE COURSE OF THE WORK, COMPLETELY.
- USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT SPREAD OF DUST AND DIRT. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION.
- DEMOLISH EXISTING FOUNDATIONS AND FOOTINGS, FOUNDATION WALLS, SLABS AND OTHER BELOW-GRADE CONSTRUCTION WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON BELOW-GRADE CONSTRUCTION OUTSIDE THIS AREA PROVIDED IT DOES NOT IMPACT THE INSTALLATION OF ANY UG UTILITY OR RETAINING WALL FOUNDATION SYSTEMS.
- FILL ABANDONED UTILITY STRUCTURES AND PIPING WITH EITHER LEAN CONCRETE OR SOIL MATERIALS APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
- UNLESS DIRECTED OTHERWISE BY THE OWNER, COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM BUILDING DEMOLITION OPERATIONS WITH SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER AND/OR ENGINEER.
- UNIFORMLY ROUGH GRADE AREA OF DEMOLISHED CONSTRUCTION TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
- STOCKPILE PROCESSED MATERIALS ON-SITE WITHOUT INTERMIXING WITH OTHER MATERIALS. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
- STOCKPILE MATERIALS IN DESIGNATED AREAS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS OR AS APPROVED IN THE FIELD BY THE OWNER OR CONSTRUCTION MANAGER.
- OTHER ASPHALTIC MATERIALS AND DELETERIOUS BUILDING MATERIALS SUCH AS WOOD, INSULATION, METAL, SHINGLES, ETC. SHOULD NOT BE USED AS GENERAL STRUCTURAL FILL MATERIAL.
- EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.
- ON-SITE BURNING OF RUBBISH AND OTHER DEBRIS WILL NOT BE PERMITTED.
- APPLICANT SHALL FILE A DEMOLITION PERMIT WITH THE DEPARTMENT OF TECHNICAL SERVICES - CODE ENFORCEMENT DIVISION PRIOR TO THE REMOVAL OF ANY STRUCTURE.
- PRIOR TO ANY DEMOLITION OCCURRING IN TOWN RIGHT-OF-WAY (DONNELLY PLACE AND THE OVAL) A ROAD OPENING PERMIT SHALL BE FILED AND OBTAINED THROUGH THE DEPARTMENT OF ENVIRONMENTAL SERVICES.
- ALL STRUCTURES SHALL BE TESTED FOR LEAD, ASBESTOS AND OTHER HAZARDOUS MATERIALS IN ACCORDANCE WITH THE NYS UNIFORM FIRE PREVENTION AND BUILDING CODE, AND NYCRR BY A LICENSED AND CERTIFIED TESTER. ALL HAZARDOUS MATERIAL SHALL BE PROPERLY ABATED AND LAWFULLY DISPOSED OF OFF-SITE.
- ALL ON-SITE EXISTING WASTEWATER SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH GUIDELINES AND GENERALLY ACCEPTED ENGINEERING BEST PRACTICE. ALL MATERIAL SHALL BE LAWFULLY DISPOSED OF OFF-SITE.
- ALL ASPHALT PAVEMENT REMOVED FROM THE SITE AND DONNELLY PLACE RIGHT-OF-WAY SHALL BE LAWFULLY DISPOSED OF OFF-SITE AND NOT MIXED WITH OTHER CONSTRUCTION DEBRIS.
- ALL IMPORTED FILL MATERIAL SHALL BE UNRESTRICTED RESIDENTIAL USE IN ACCORDANCE WITH NYSDEC SOIL OBJECTIVE CLEAN-UP REQUIREMENTS. NO RECYCLED MATERIAL SHALL BE USED AS FILL WITHIN AREAS THAT WILL BE PLANTED, GRASSED OR OTHERWISE STABILIZED.
- ALL EXISTING UTILITIES (WATER SERVICES, SANITARY, TELECOMMUNICATIONS, POWER, ETC) SHALL BE EXCAVATED AND REMOVED FROM THE SITE. ALL EXISTING WATER SERVICES SHALL BE CUT AND CAPPED AS CLOSE TO THE CURB STOP AS REASONABLY PRACTICAL. THE TOWN OF CORTLANDT DES - WATER DIVISION SHALL BE CONTACTED TO INSPECT SAID WORK.

STEEP SLOPES NOTES:

- DISTURBANCE OF STEEP SLOPES SHALL BE UNDERTAKEN IN WORKABLE UNITS IN WHICH THE DISTURBANCE CAN BE COMPLETED AND STABILIZED IN ONE CONSTRUCTION SEASON SO THAT AREAS ARE NOT LEFT BARE AND EXPOSED DURING THE WINTER AND SPRING THAW PERIODS (DECEMBER 15 THROUGH APRIL 15).
- DISTURBANCE OF EXISTING VEGETATIVE GROUND COVER SHALL NOT TAKE PLACE MORE THAN 15 DAYS PRIOR TO GRADING AND CONSTRUCTION.
- TEMPORARY SOIL STABILIZATION, INCLUDING, IF APPROPRIATE, TEMPORARY STABILIZATION MEASURES SUCH AS NETTING OR MULCHING TO SECURE SOIL DURING THE GROW-IN PERIOD, MUST BE APPLIED TO AN AREA OF DISTURBANCE WITHIN TWO DAYS OF ESTABLISHING THE FINAL GRADE, AND PERMANENT STABILIZATION MUST BE APPLIED WITHIN 15 DAYS OF ESTABLISHING THE FINAL GRADE.
- SOIL STABILIZATION MUST BE APPLIED WITHIN TWO DAYS OF DISTURBANCE IF THE FINAL GRADE IS NOT EXPECTED TO BE ESTABLISHED WITHIN 60 DAYS.
- MEASURES FOR THE CONTROL OF EROSION AND SEDIMENTATION SHALL BE UNDERTAKEN CONSISTENT WITH THE WESTCHESTER COUNTY SOIL AND WATER CONSERVATION DISTRICTS BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL AND NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, AS AMENDED, OR THEIR EQUIVALENTS SATISFACTORY TO THE APPROVAL AUTHORITY.



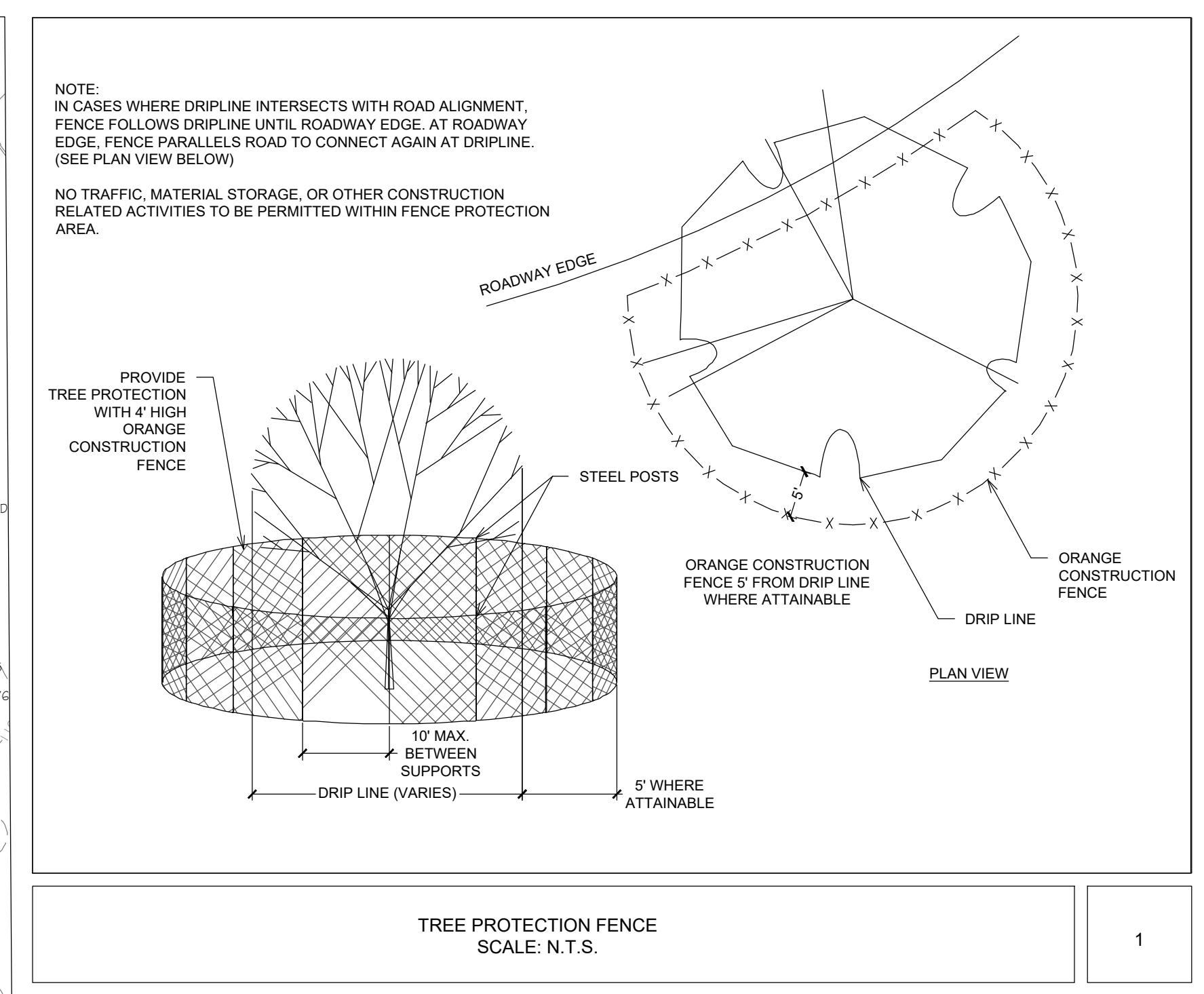
SITE DEMOLITION PLAN

DRAWING TITLE: SITE DEMOLITION PLAN

DRAWN BY: HV      CHECKED BY: GMS

PROJECT NO.: 858      DATE: 06/23/21

DRAWING NO.: SP-7.1



- NOTES:
- "a" DENOTES SPECIMEN, PROTECTED & SIGNIFICANT TREE DATA AS PER BARTLETT INVENTORY & REPORT DATED 6/4/21
  - DURING CONSTRUCTION, TREES SHALL BE FURTHER EVALUATED BY PROJECT ENGINEER FOR HAZARD RISK AND CONDITION AND REMOVED IF WARRANTED.

**OVERLOOK TERRACE**

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**OWNER / APPLICANT**  
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Port Chester, NY 10573

**THE NRP GROUP LLC**  
1600 District Avenue, Suite 315  
Burlington, MA 01803

**PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT**

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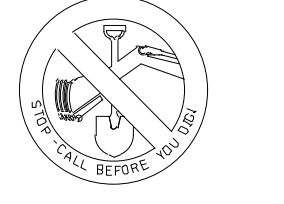
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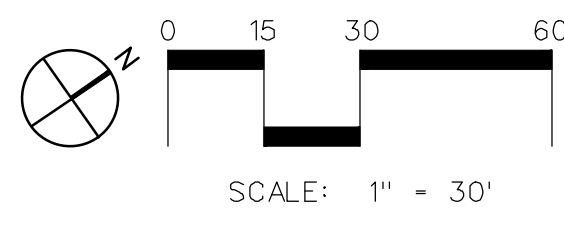
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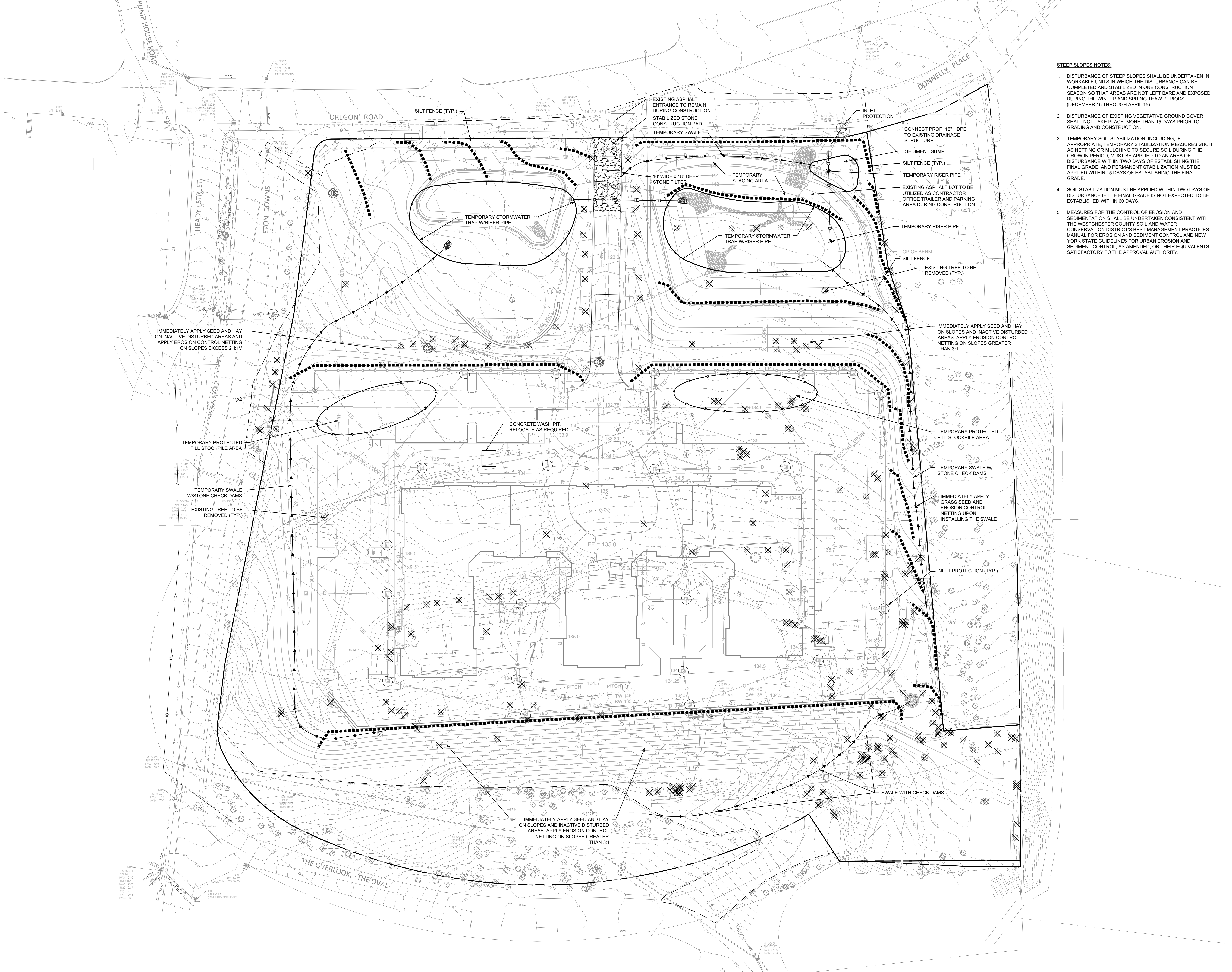
NO.	DATE	ISSUE
05/19/21		PLANNING BOARD SUBMISSION
06/23/21		PLANNING BOARD SUBMISSION
09/22/21		REVISED PER TOWN AND CONSULTANT COMMENTS

**TREE REMOVAL AND PRESERVATION PLAN**

DRAWN BY: RCC/DMM  
PROJECT NO.: 858  
DRAWING NO.:

CHECKED BY: GMS  
DATE: 05/19/21

**SP-7.2**



**STEEP SLOPES NOTES:**

1. DISTURBANCE OF STEEP SLOPES SHALL BE UNDERTAKEN IN WORKABLE UNITS IN WHICH THE DISTURBANCE CAN BE COMPLETED AND STABILIZED IN ONE CONSTRUCTION SEASON SO THAT AREAS ARE NOT LEFT BARE AND EXPOSED DURING THE WINTER AND SPRING THAW PERIODS (DECEMBER 15 THROUGH APRIL 15).
2. DISTURBANCE OF EXISTING VEGETATIVE GROUND COVER SHALL NOT TAKE PLACE MORE THAN 15 DAYS PRIOR TO GRADING AND CONSTRUCTION.
3. TEMPORARY SOIL STABILIZATION, INCLUDING, IF APPROPRIATE, TEMPORARY STABILIZATION MEASURES SUCH AS NETTING OR MULCHING TO SECURE SOIL DURING THE GROW-IN PERIOD, MUST BE APPLIED TO AN AREA OF DISTURBANCE WITHIN TWO DAYS OF ESTABLISHING THE FINAL GRADE, AND PERMANENT STABILIZATION MUST BE APPLIED WITHIN 15 DAYS OF ESTABLISHING THE FINAL GRADE.
4. SOIL STABILIZATION MUST BE APPLIED WITHIN TWO DAYS OF DISTURBANCE IF THE FINAL GRADE IS NOT EXPECTED TO BE ESTABLISHED WITHIN 60 DAYS.
5. MEASURES FOR THE CONTROL OF EROSION AND SEDIMENTATION SHALL BE UNDERTAKEN CONSISTENT WITH THE WESTCHESTER COUNTY SOIL AND WATER CONSERVATION DISTRICT'S BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL AND NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, AS AMENDED, OR THEIR EQUIVALENTS SATISFACTORY TO THE APPROVAL AUTHORITY.

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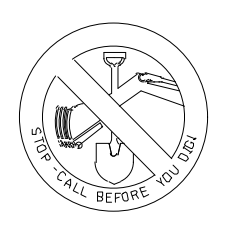
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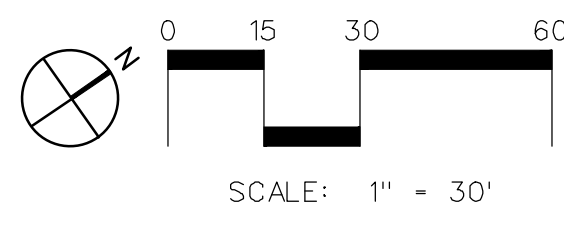
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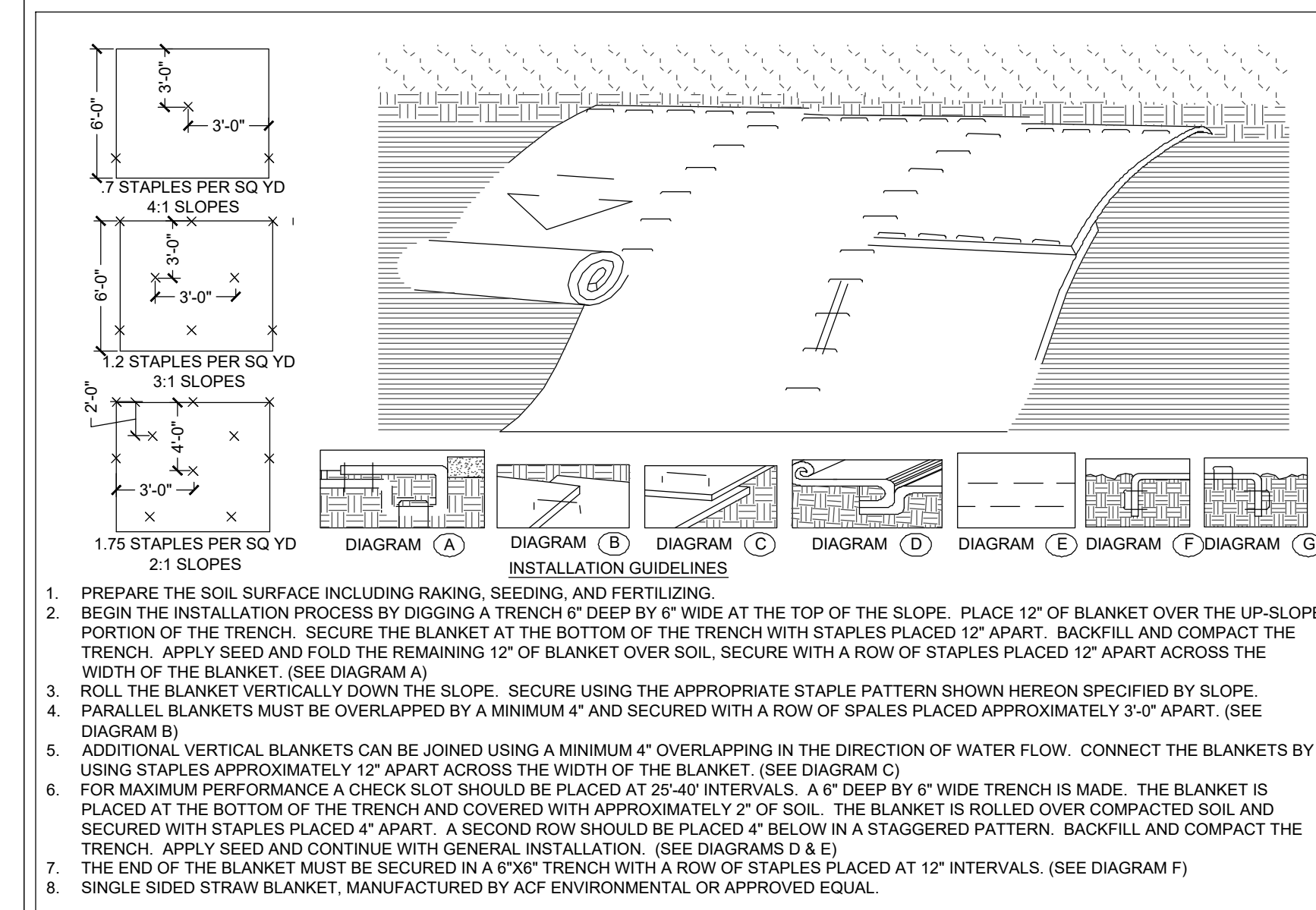
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08/22/21	REVISED PER TOWN AND CONSULTANT COMMENTS	

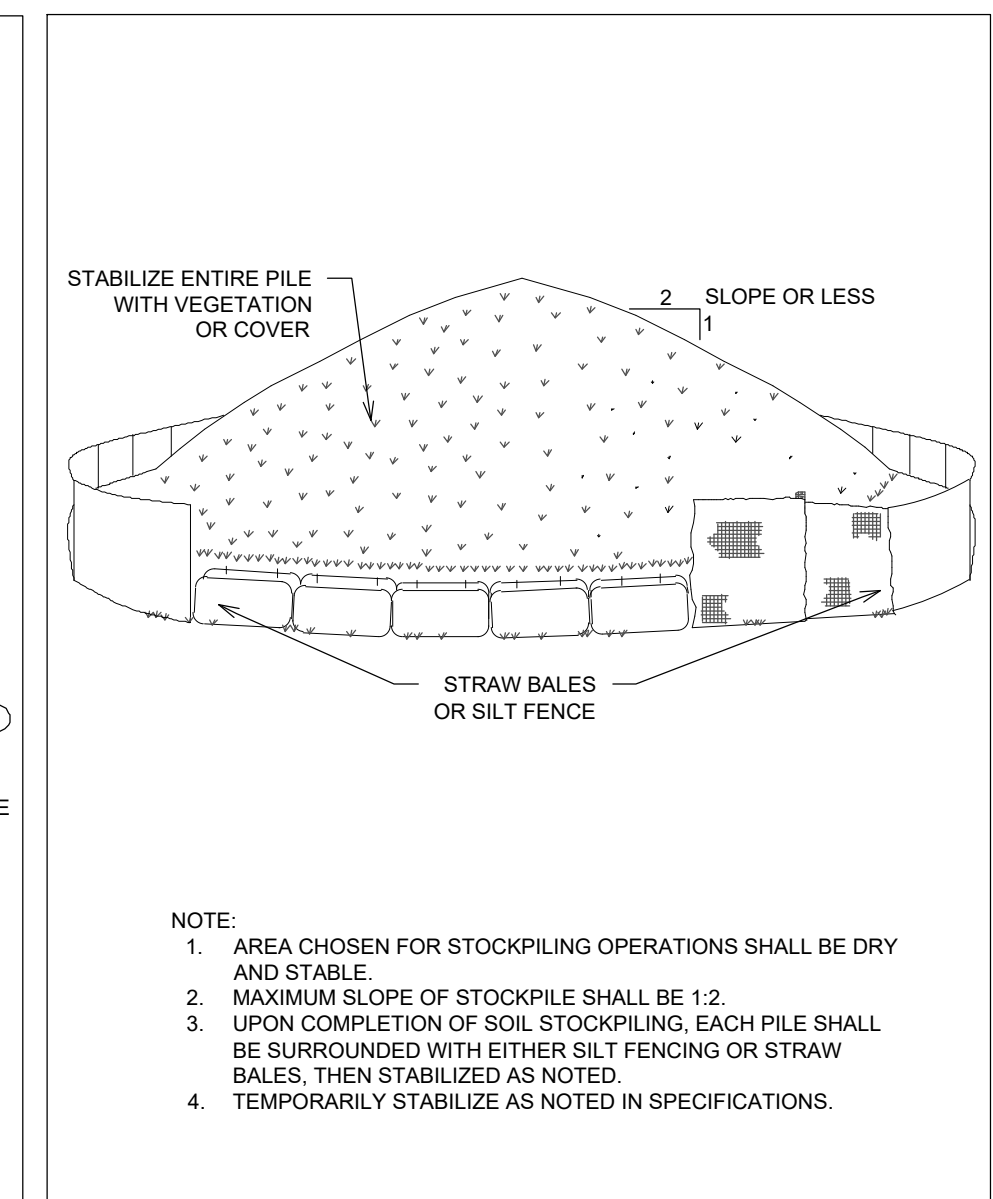
DRAWING TITLE:

**EROSION AND SEDIMENT CONTROL PLAN**

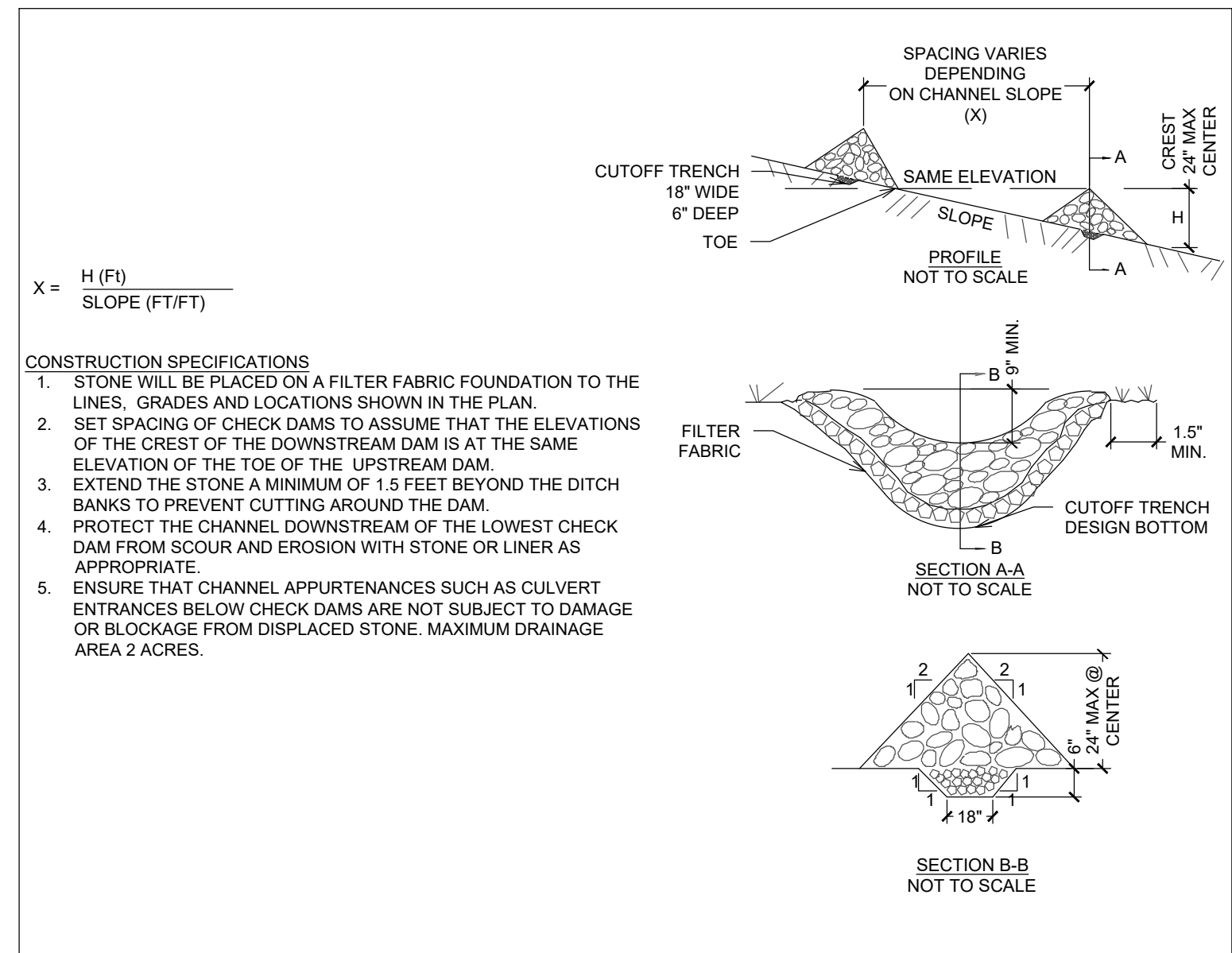
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	PROJECT NO.: 858	DATE: 06/23/21
DRAWING NO.: <b>SP-8.1</b>		



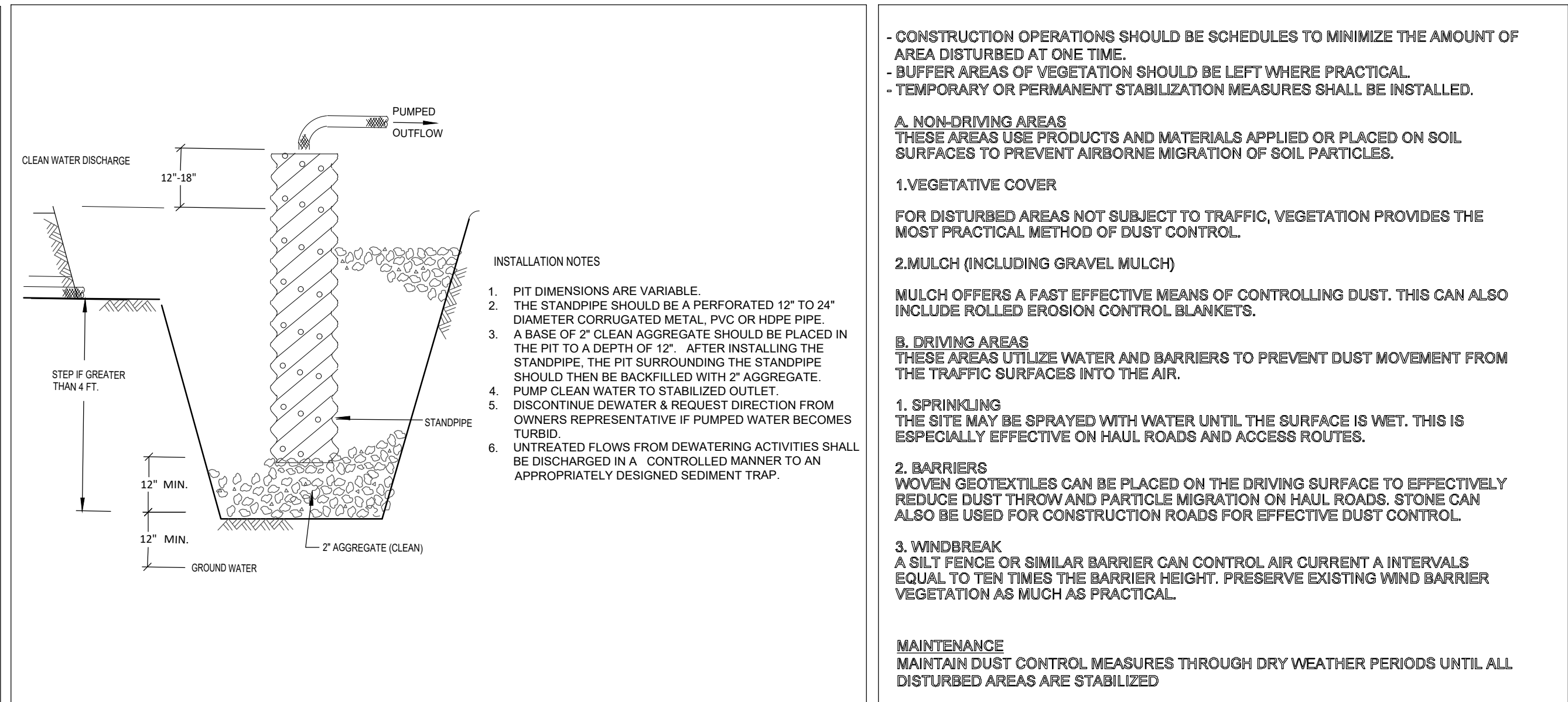
1. ROLLED EROSION CONTROL MAT (FOR SLOPES GREATER THAN 3:1 OR WHERE SPECIFIED) SCALE: N.T.S.



2. SOIL STOCKPILE SCALE: N.T.S.

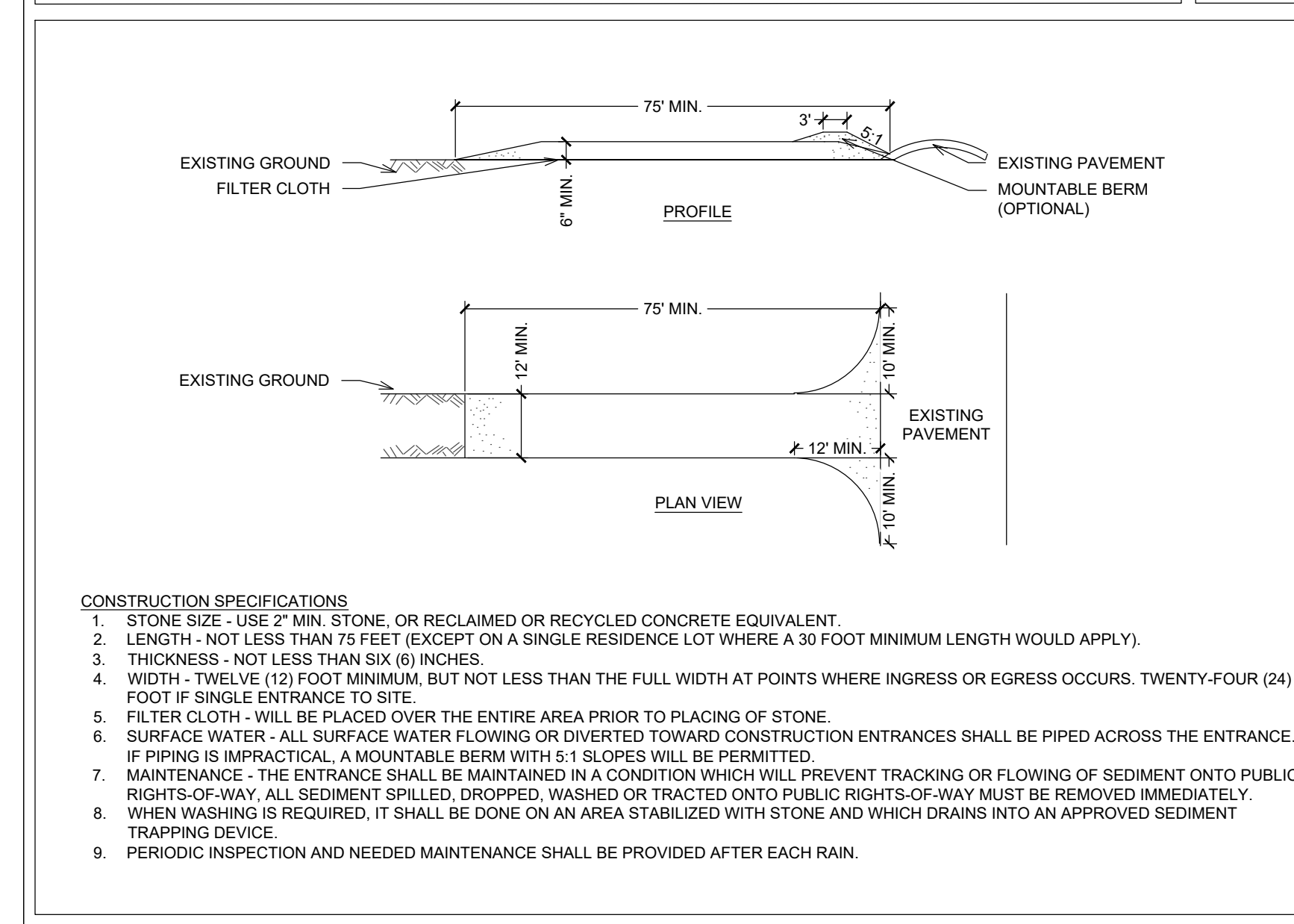


3. STONE CHECK DAM SCALE: N.T.S.

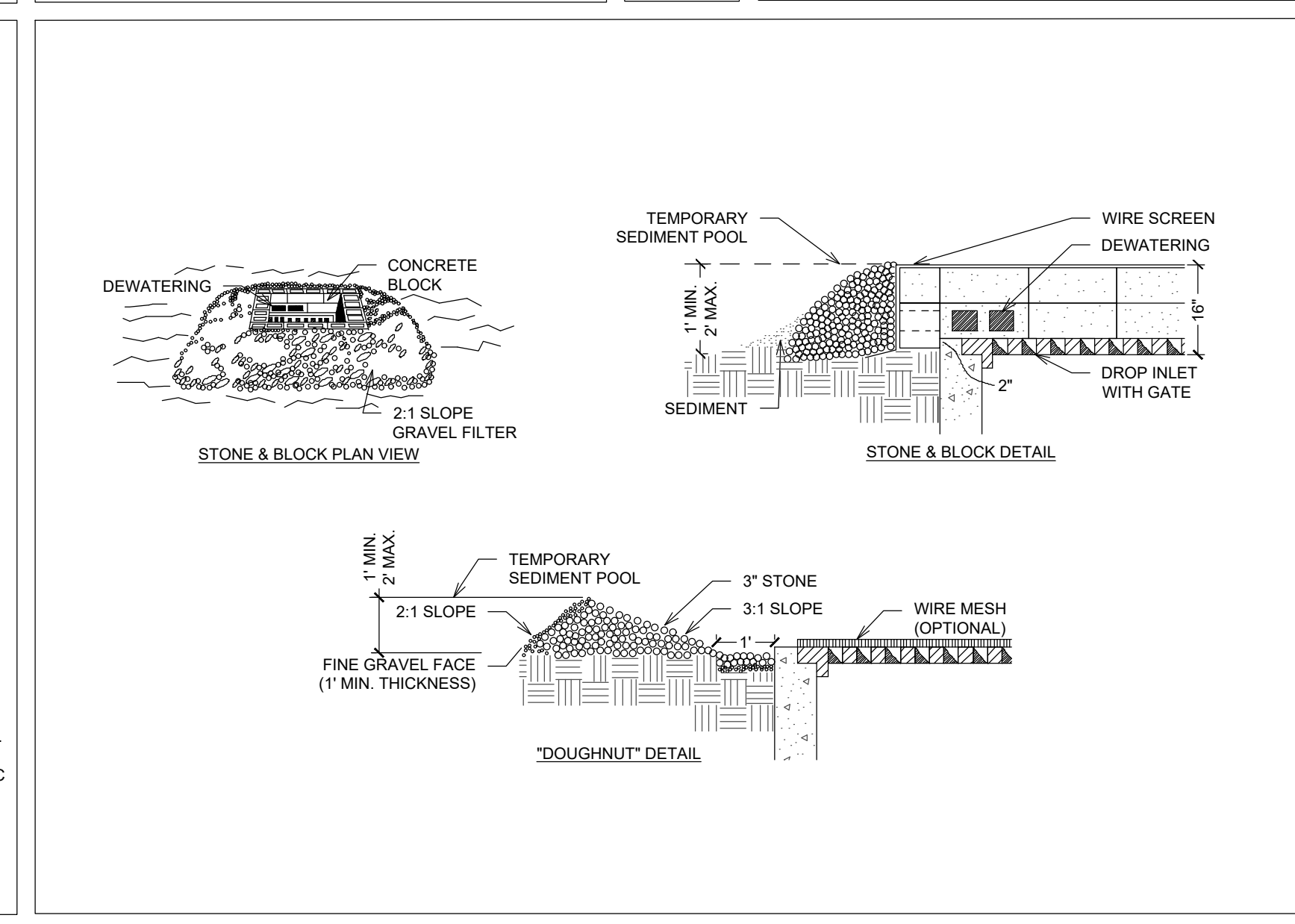


4. DEWATERING PIT SCALE: N.T.S.

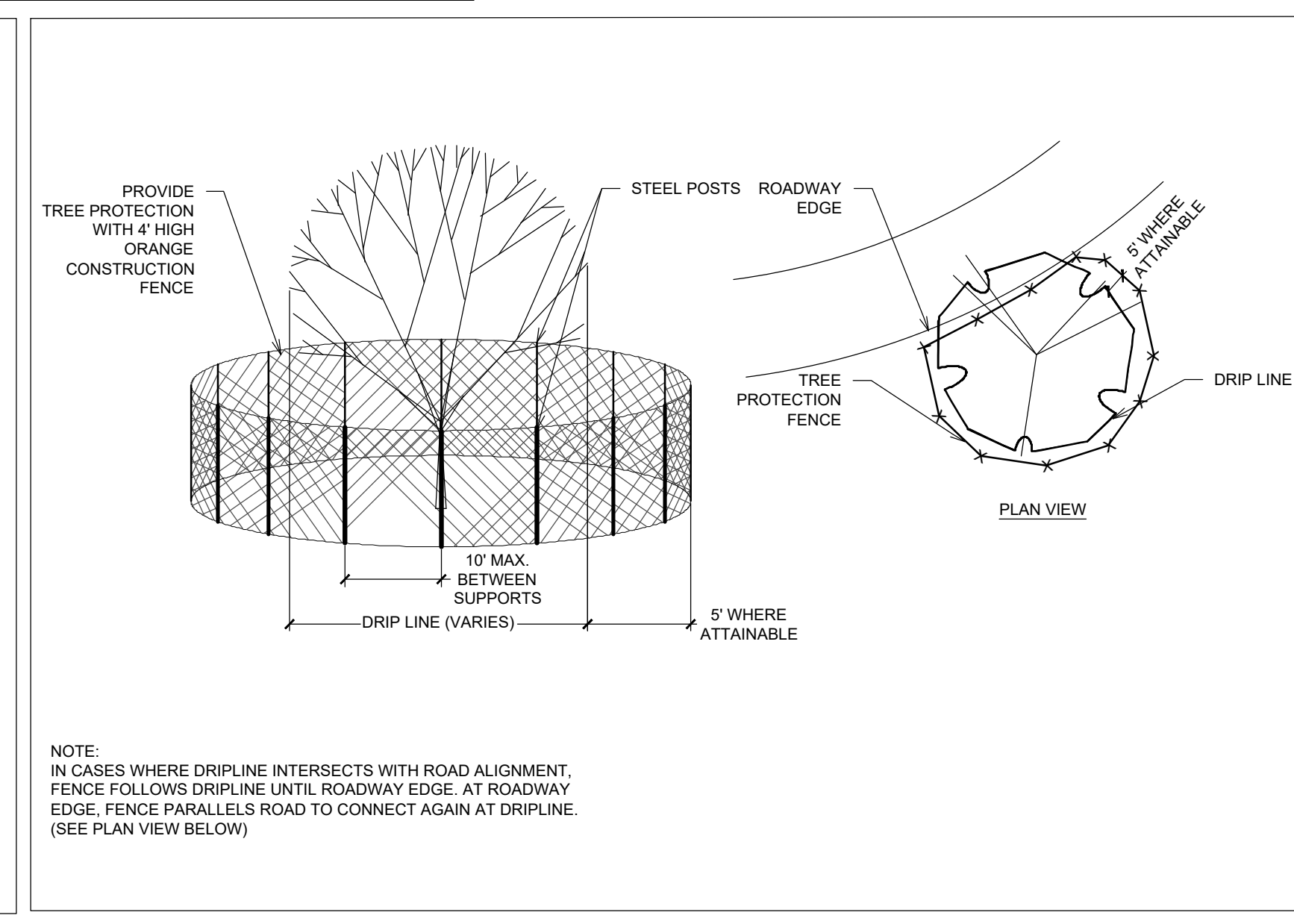
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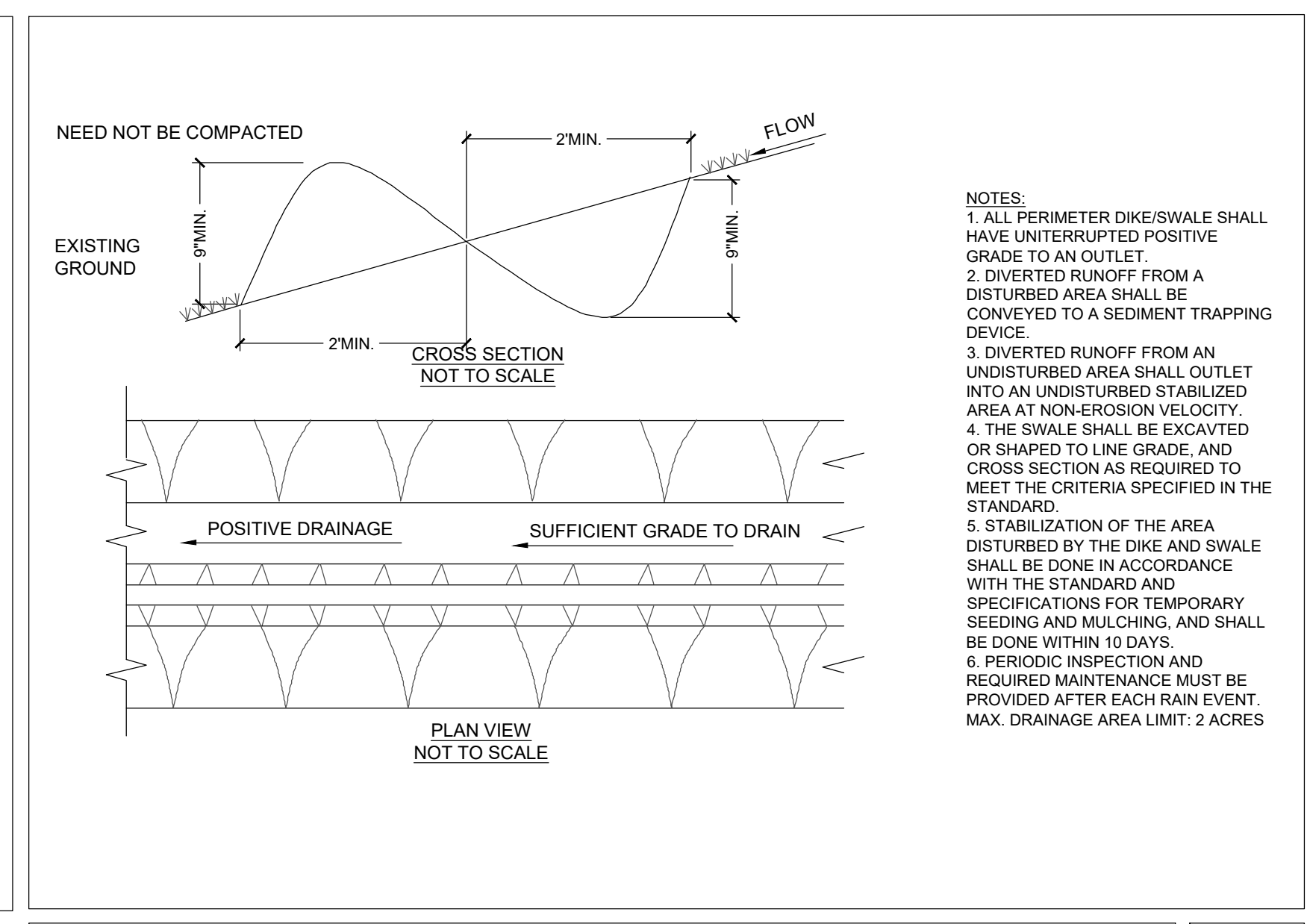
5. FILTER CLOTH SCALE: N.T.S.



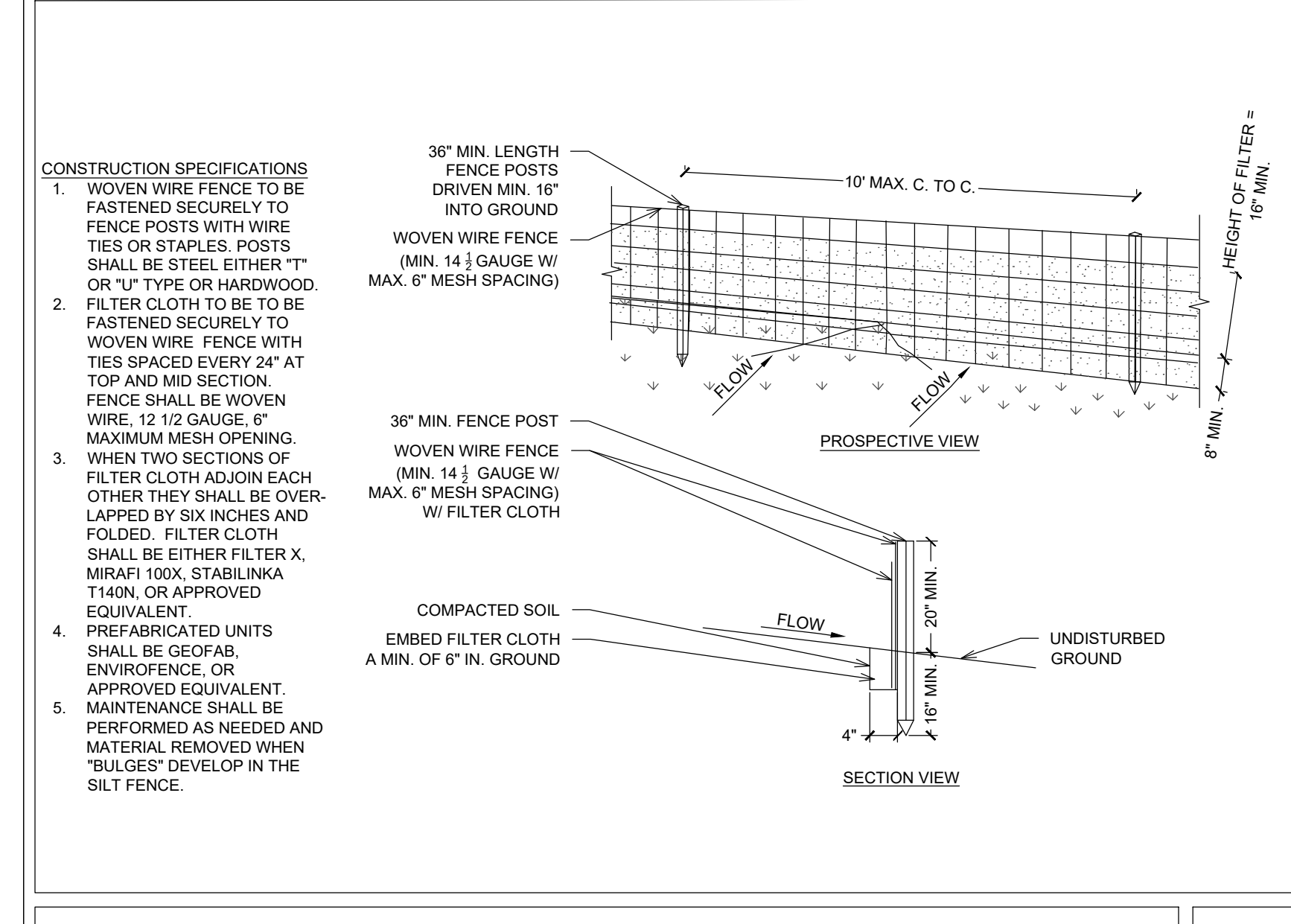
6. STABILIZED CONSTRUCTION ENTRANCE SCALE: N.T.S.



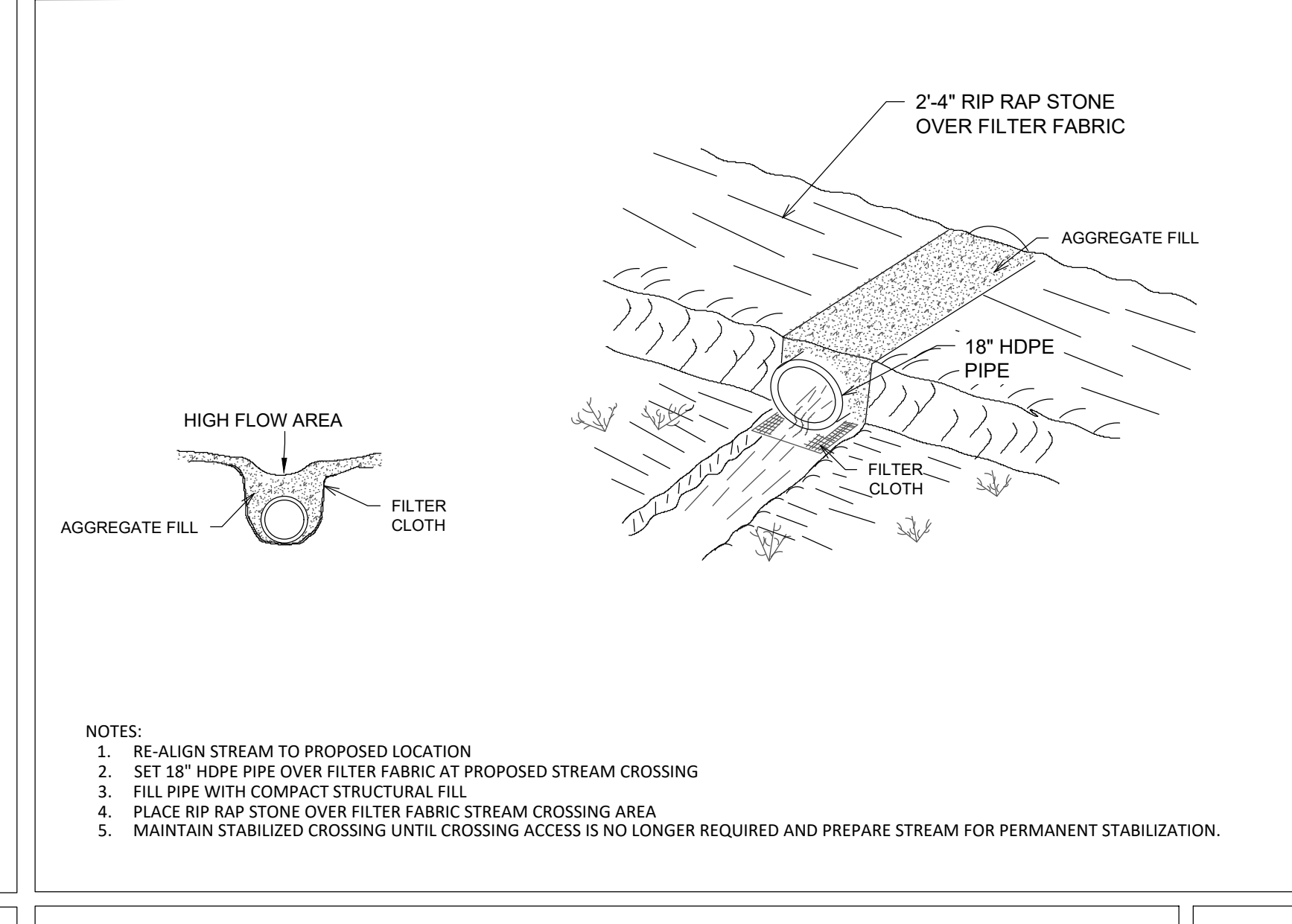
7. INLET PROTECTION SCALE: N.T.S.



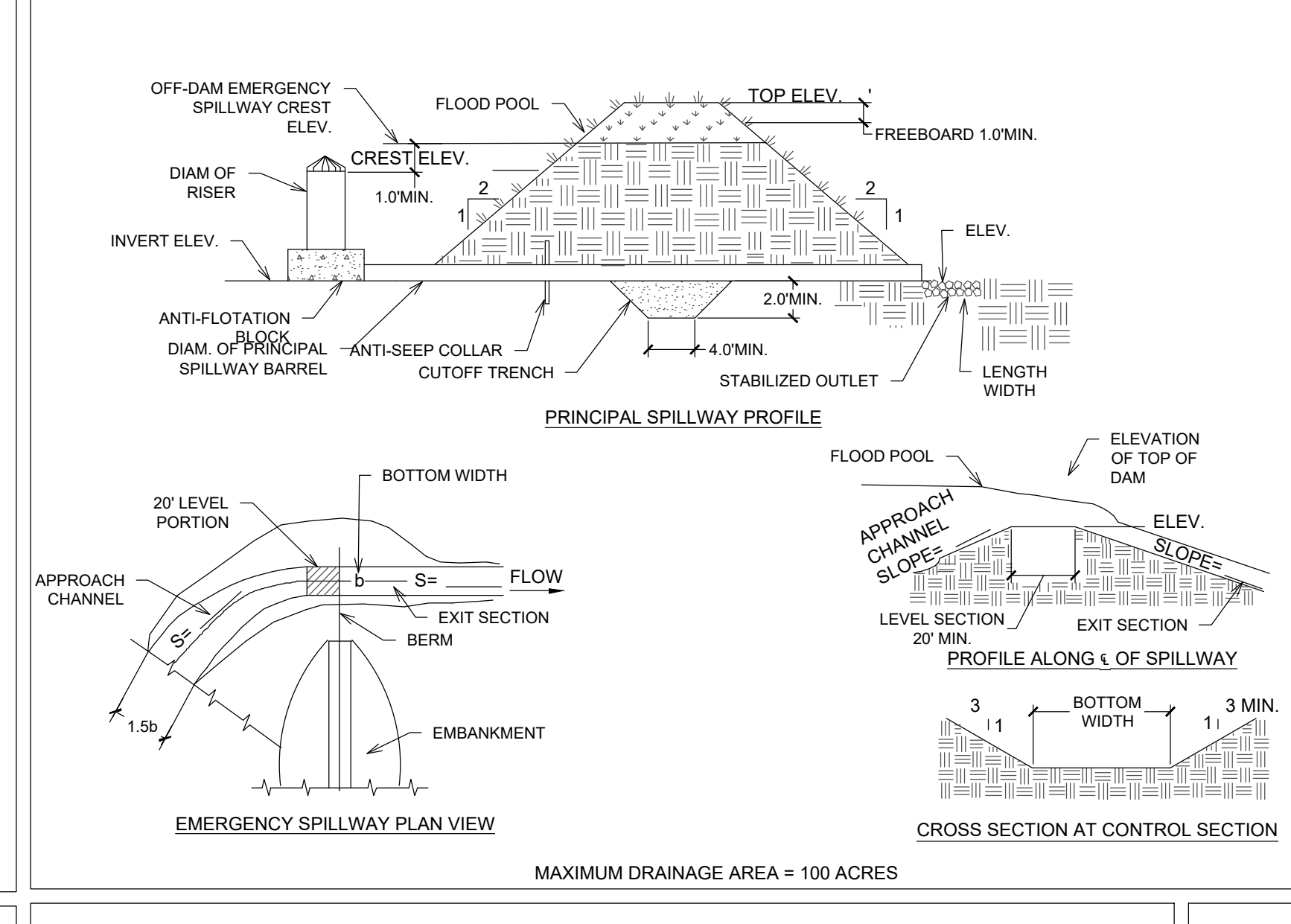
8. TREE PROTECTION FENCE LAYOUT SCALE: N.T.S.



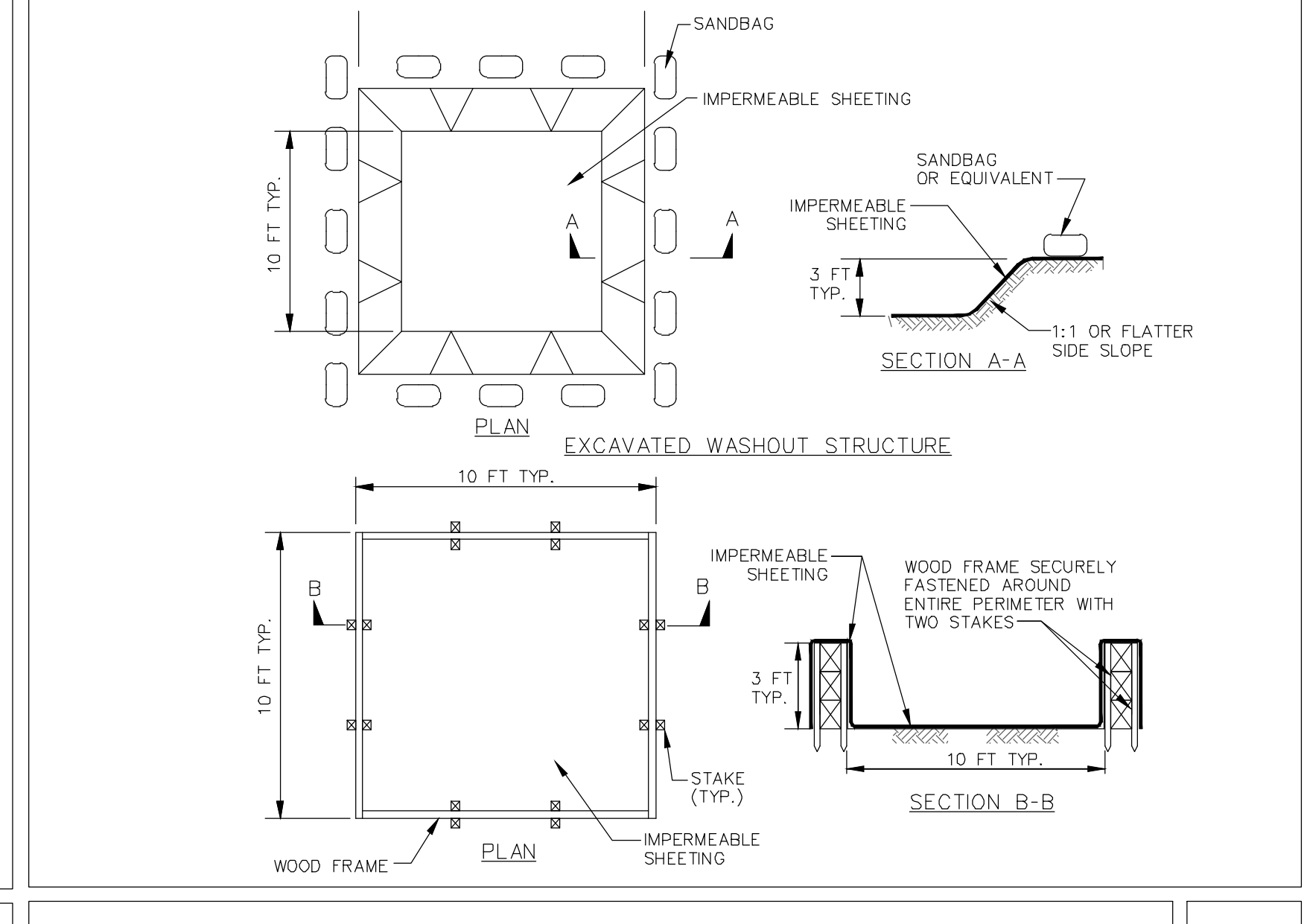
9. PERIMETER DIKE / SWALE SCALE: N.T.S.



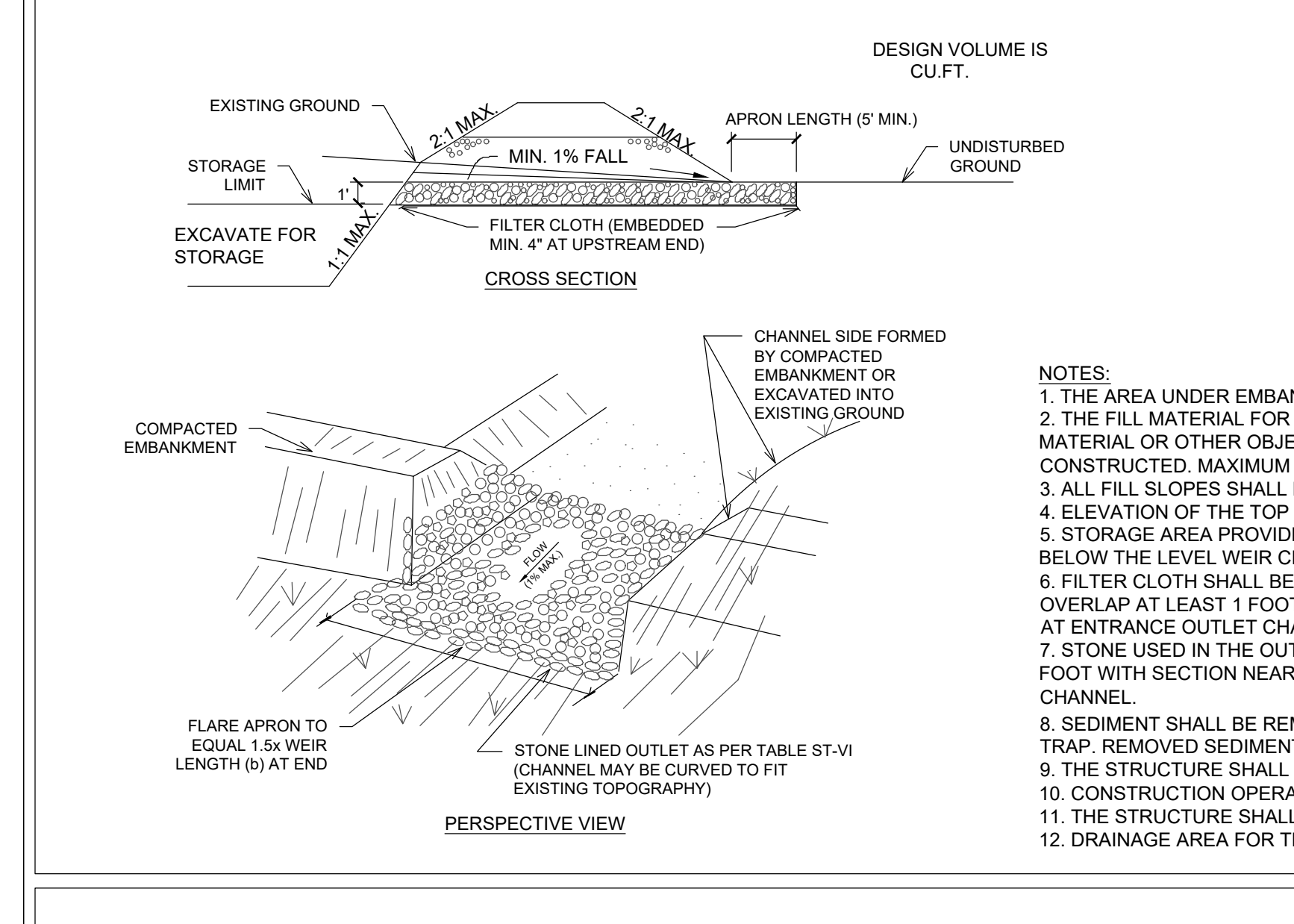
10. RIPRAP SEDIMENT TRAP SCALE: N.T.S.



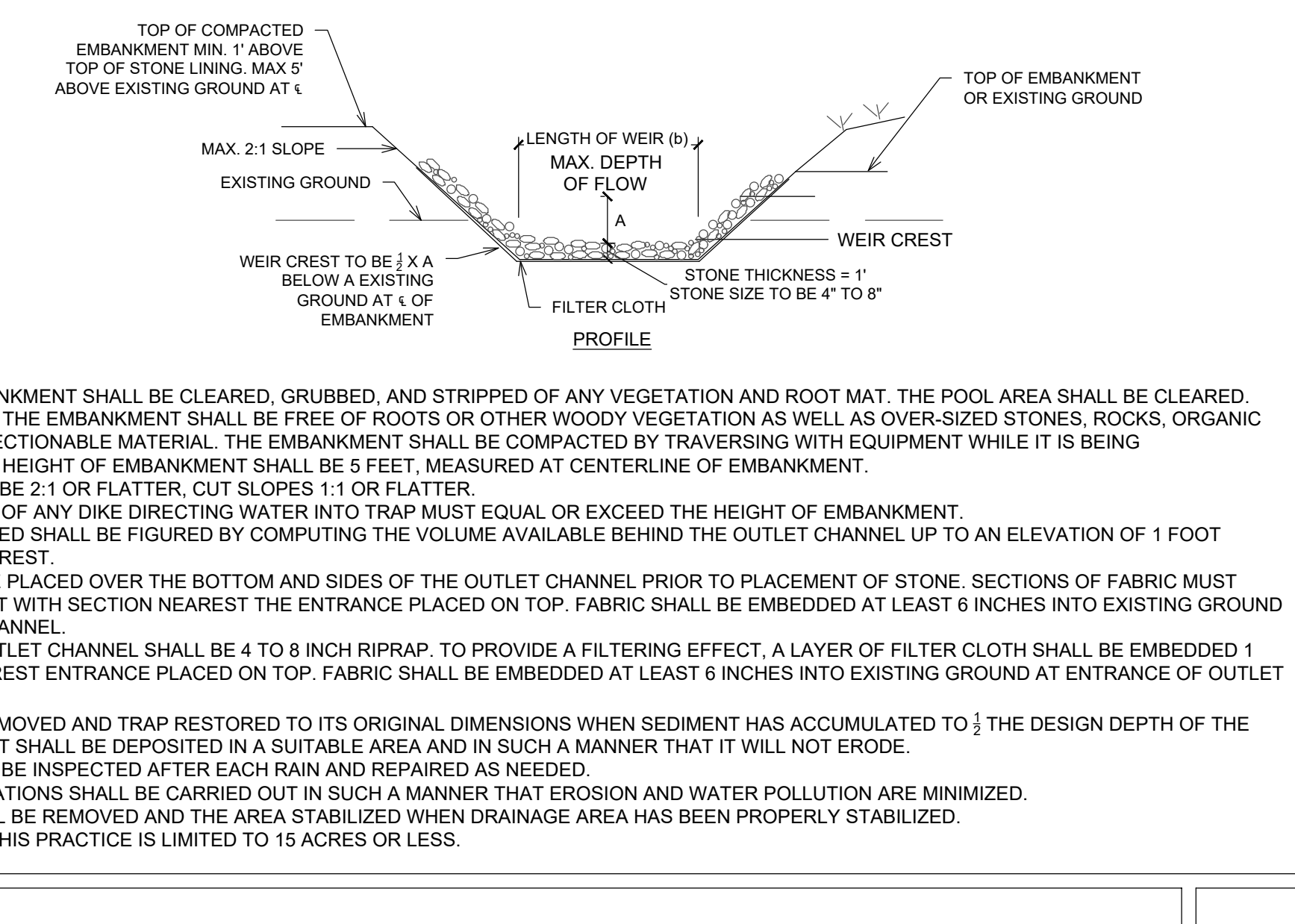
11. SEDIMENT BASIN WITH RISER PIPE SCALE: N.T.S.



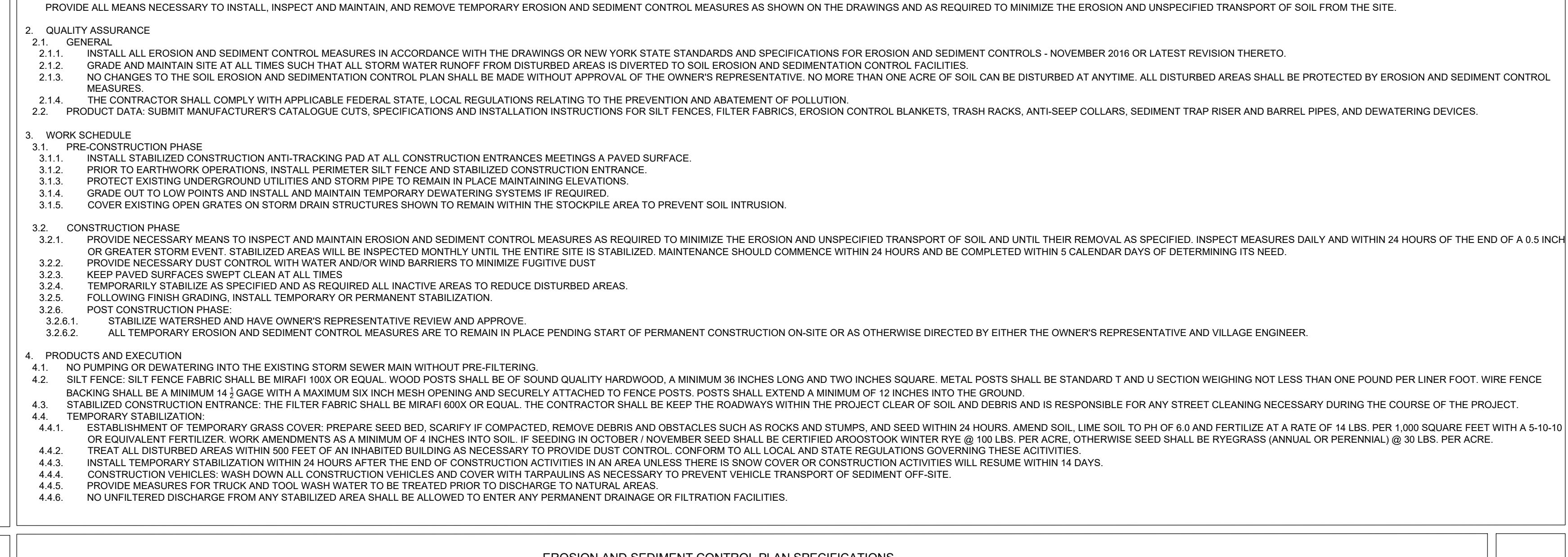
12. WASHOUT PIT SCALE: N.T.S.



13. SILTY FENCE SCALE: N.T.S.



14. TEMPORARY ACCESS CULVERT SCALE: N.T.S.



15. EROSION AND SEDIMENT CONTROL PLAN SPECIFICATIONS SCALE: N.T.S.

NOTES:  
1. ALL PERIMETER DIKE/SWALE SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.  
2. DIVERGED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.  
3. DIVERGED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSION VELOCITY.  
4. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED IN THE STANDARD.  
5. STABILIZATION OF THE AREA DISTURBED BY THE DIKE AND SWALE SHALL BE DONE IN ACCORDANCE WITH THE STANDARD AND SPECIFICATIONS FOR TEMPORARY SEEDING AND MULCHING, AND SHALL BE DONE WITHIN 10 DAYS.  
6. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT. MAX. DRAINAGE AREA LIMIT: 2 ACRES.

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DRAWING TITLE:  
**EROSION AND SEDIMENT CONTROL DETAILS**

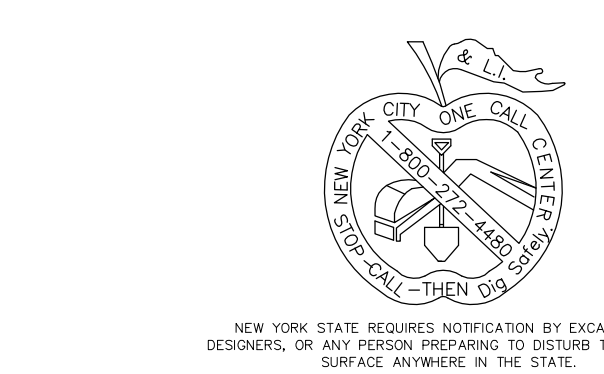
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PROJECT NO.: B58 DATE: 06/23/21  
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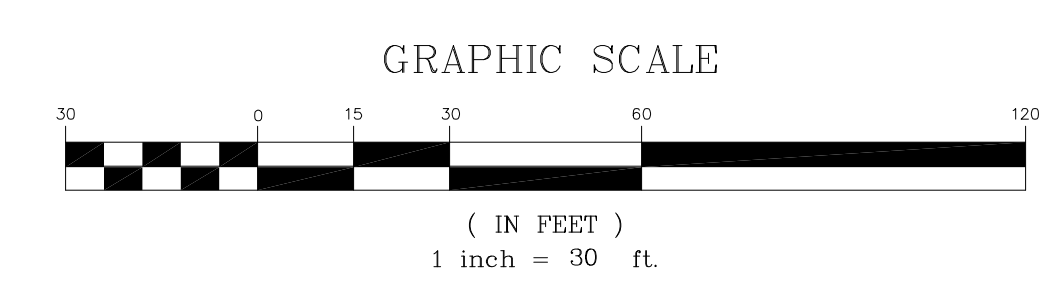
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UTILITY COMPANY	PHONE NUMBER
ALICE USA	800-262-8600
VERIZON VALHALLA HUDSON VALLEY	855-226-9564
VERIZON VALHALLA WESTCHESTER	855-226-9564
CONSOLIDATED EDISON COMPANY OF NY	718-472-2304
TOWN OF CORTLANDT	914-733-0076
WESTCHESTER COUNTY SEWER	914-813-5419

NOT ALL UTILITY COMPANIES RESPONDED TO THE MARKOUT REQUEST



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SEE SHEET 2 OF 2 FOR NOTES, REFERENCES & SCHEDULE A DESCRIPTION

**MAP LEGEND**

	PROPERTY LINE
	FENCE
	EXIST. BUILDING FOOTPRINT AT GROUND LEVEL & DOORWAY
	APPROX. LOCATION U.G. WATER LINE PER UTILITY MARKOUT
	APPROX. LOCATION U.G. GAS LINE PER UTILITY MARKOUT
	APPROX. LOCATION U.G. ELECTRIC LINE PER UTILITY MARKOUT
	APPROX. LOCATION U.G. STORM SEWER LINE PER UTILITY MARKOUT
	HYDRANT
	WATER VALVE
	GAS VALVE
	UNKNOWN VALVE
	GAS METER
	ELECTRIC METER
	LAMP
	AREA LIGHT
	MANHOLE
	INLET
	OVERHEAD WIRES
	TITLE REPORT EXCEPTION
	UTILITY POLE
	UTILITY POLE/RIGHT POLE
	GUY ANCHOR
	BOLLARD
	SIGN
	DEPRESSED CURB
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	CHAIN LINK FENCE
	STOP BAR
	WHITE LINE
	DOUBLE YELLOW LINE
	LANDSCAPED AREA
	METAL COVER
	ELECTRIC COVER
	NO PIPES VISIBLE
	MAILBOX
	ELECTRIC BOX
	ELECTRIC COVER
	BLUE LINE
	RAILROAD TIE WALL
	STONE WALL
	BLOCK WALL
	STOCKADE FENCE
	METAL GUIDE RAIL
	AIR CONDITIONING UNIT
	EDGE OF CONCRETE
	METAL SIDING
	WATER METER
	IRRIGATION COVER
	FLAG POLE
	CLEANOUT
	FRENCH DRAIN
	PARKING COUNT
	DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
	TREE

MISC. REVISION		T.J.D.	1-12-21
No.	DESCRIPTION OF REVISION	DATE	DATE
1			

FIELD DATE	FIELD BOOK	PAGE	FIELD CROW
04-04 - 04-20-18	91	70-72	B.F./L.R.
03-17 - 02-20-20	184	24	M.S./K.C.
11-23-20	147	48	K.C.

FILE NO.:	DRAWING NAME/SHEET NO.
G18087	G18087A.01.DWG 1 of 2

<p>ALTA/NSPS LAND TITLE SURVEY  <b>LOT 12, BLOCK 1, MAP 23.11</b>          119 OREGON ROAD          TOWN OF CORTLANDT          WESTCHESTER COUNTY          STATE OF NEW YORK</p>	<p>2865 US ROUTE 1          NORTH BRUNSWICK, NJ 08902          TELE: 732-422-6700          FAX: 732-464-8796          www.gallasurvey.com</p>
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<p><b>GALLAS SURVEYING GROUP</b></p>		<p><b>GREGORY S. GALLAS</b>          NEW YORK PROFESSIONAL LAND SURVEYOR #50124</p>	
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