

CORTLANDT STORAGE

23 ARLO LANE
CORTLANDT, NY
site plan approval

PROJECT:

CORTLANDT STORAGE
23 ARLO LANE
CORTLANDT, NY 10567

SECTION: 3406 BLOCK: 1 LOT: 1
ZONING: MD

PROPERTY OWNER / LANDLORD:

LEXINGTON 202 GROUP LLC,
23 ARLO LANE
CORTLANDT, NY

CONSULTANTS:

STRUCTURAL
MEKAE ENGINEERING & CONSULTING, LLC
185 MARSHALL LANE
DERBY, CT 06418
203-684-8134

MEP: FP
JOSELOW & ASSOCIATES, LLC
30 GLENN STREET
WHITE PLAINS, NY 10603
212-736-2584 EXT. 202

ARCHITECT:

Design Development, pllc
165 Mamaroneck Ave, fl. 2
White Plains, NY 10601
914.949.4272 t.
914.949.4278 f.

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CONSULTANCY

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ARCHITECT OF RECORD

2/02/2020 ISSUED TO PLANNING & ZONING
12/21/2020 ISSUED FOR SITE PLAN APPROVAL

MARK	DATE	ISSUE

REVISIONS
PROJECT NO: FER-02

CAD DWG FILE: 23 ARLO LANE.DWG
DRAWN BY: MLT

CHK'D BY: MLT

SHEET TITLE:

COVER SHEET, DRAWING
LIST, PROJECT INFORMATION
& SITE PLAN

DRAWING NO.:

G-001
SHEET 1 OF 5

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF THE CONVERSION OF AN EXISTING 19,000 S.F. ONE (WITH MEZZANINE) MANUFACTURING BUILDING INTO A NEW 16,000 S.F. ONE-STORY SELF-STORAGE FACILITY.

PROJECT SCOPE

- THE PROJECT SCOPE INCLUDES:
- THE INTERIOR DEMOLITION OF THE SECOND FLOOR AND ALL RELATED BUILDING SYSTEMS.
 - CONSTRUCT NEW GRADE LEVEL BATHROOMS IN COMPLIANCE WITH CURRENT CODE.
 - THE INSTALLATION OF STORAGE UNITS
 - INSTALLATION OF NEW DOORS.
 - INSTALLATION OF NEW ELECTRICAL PANEL, DISTRIBUTION AND LIGHTING.
 - NEW HVAC TO BRING BUILDING TO MINIMUM CODE REQUIREMENT.
 - NEW FIRE ALARM SYSTEM.
 - NEW AUTOMATIC FIRE SUPPRESSION SYSTEM.

ZONING INFORMATION:

CORTLANDT, NY

ZONE: MD (DESIGN INDUSTRIAL)
SECTION: 34.06 BLOCK: 1 LOT: 1
SITE AREA: 217,810 SQ.FT. (5 ACRES)

BUILDING AREA: 15,975 S.F. GRADE
3,000 S.F. MEZZANINE (TO B REMOVED)

HEIGHT: SINGLE STORY

USE:
EXISTING: MANUFACTURING
PROPOSED: SELF-STORAGE

FIRE SUPPRESSION:
EXISTING: NON-SPRINKLERED
PROPOSED: SPRINKLERED

BUILDING CODE INFORMATION:

- CODES IN EFFECT:**
- 2020 BUILDING CODE OF NEW YORK STATE
 - 2020 EXISTING BUILDING CODE OF NEW YORK STATE
 - 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
 - ICC/ANSI A117.1-2009 ACCESSIBLE AND USEABLE BUILDING AND FACILITIES

CHAPTER 3 - OCCUPANCY CLASSIFICATION AND USE
OCCUPANCY CLASSIFICATION
SECTION 311.1- MODERATE HAZARD STORAGE (S-1)

CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE
N/A

CHAPTER 5 GENERAL BUILDING HEIGHT AND AREA
TABLE 504.3 - SINGLE-STORY PERMITTED BASED ON CONSTRUCTION CLASS AND OCCUPANCY
TABLE 506.2 - ALLOWABLE AREA OF 70,000 S.F. BASED ON CONSTRUCTION CLASS AND OCCUPANCY

CHAPTER 6 TYPES OF CONSTRUCTION
CONSTRUCTION TYPE
TABLE 601 - TYPE III
TABLE 602 - FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR BEARING WALLS IS 2 HR

CHAPTER 7 FIRE AND SMOKE PROTECTION FEATURES
SECTION 703.3 - THE FIRE-RESISTANCE RATING OF BUILDING ELEMENTS, COMPONENTS OR ASSEMBLIES SHALL BE DETERMINED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E119 OR UL 263 OR IN ACCORDANCE WITH THIS SECTION

BUILDING STRUCTURAL FRAME IS STEEL AND ASSUMED TO HAVE 0 HR FIRE RATING AND ARE EXISTING
BUILDING EXTERIOR WALLS ARE CMU AND ASSUMED TO HAVE 2 HR FIRE RATING AND ARE EXISTING

TABLE 705.8 - ALL EXISTING OPENINGS IN EXTERIOR WALL ARE IN COMPLIANCE WITH THIS TABLE

SECTION 714 - THE FIRE-RESISTANCE RATING OF PENETRATIONS SHALL BE DETERMINED IN ACCORDANCE WITH THIS SECTIONS .

SECTION 715 - FIRE-RESISTANT JOINT SYSTEMS SHALL BE DETERMINED IN ACCORDANCE WITH THIS SECTION

CHAPTER 8 INTERIOR FINISHES
SECTION 803.1.2 - INTERIOR WALL AND CEILING FINISHES SHALL BE IN COMPLIANT WITH NFPA 286

TABLE 803.11 - INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS B FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX

CHAPTER 9 FIRE PROTECTION AND LIFE SAFETY SYSTEMS
SECTION 903.2.9 - AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED WHEN THERE IS AN S-1 FIRE AREA IN EXCESS OF 12,000SF.

CHAPTER 10 MEANS OF EGRESS
TABLE 1004.1.2 - OCCUPANT LOAD - 300 GROSS FOR STORAGE AREAS

TABLE 1006.3.1 - MINIMUM NUMBER OF EXITS - 2

SECTION 1009.1 - NOT LESS THAN 2 M3QNS OF EGRESS ARE REQUIRED TO BE ACCESSIBLE

TABLE 1017.2 - EXIT ACCESS TRAVEL DISTANCE FOR AN S-1 SPRINKLERED BUILDING IS 250'

CHAPTER 11 ACCESSIBILITY
SECTION 1104.1 - AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED FROM ACCESSIBLE PARKING

TABLE 1106.1 - 1 HANDICAPPED ACCESSIBLE PARKING SPACE SHALL BE PROVIDED

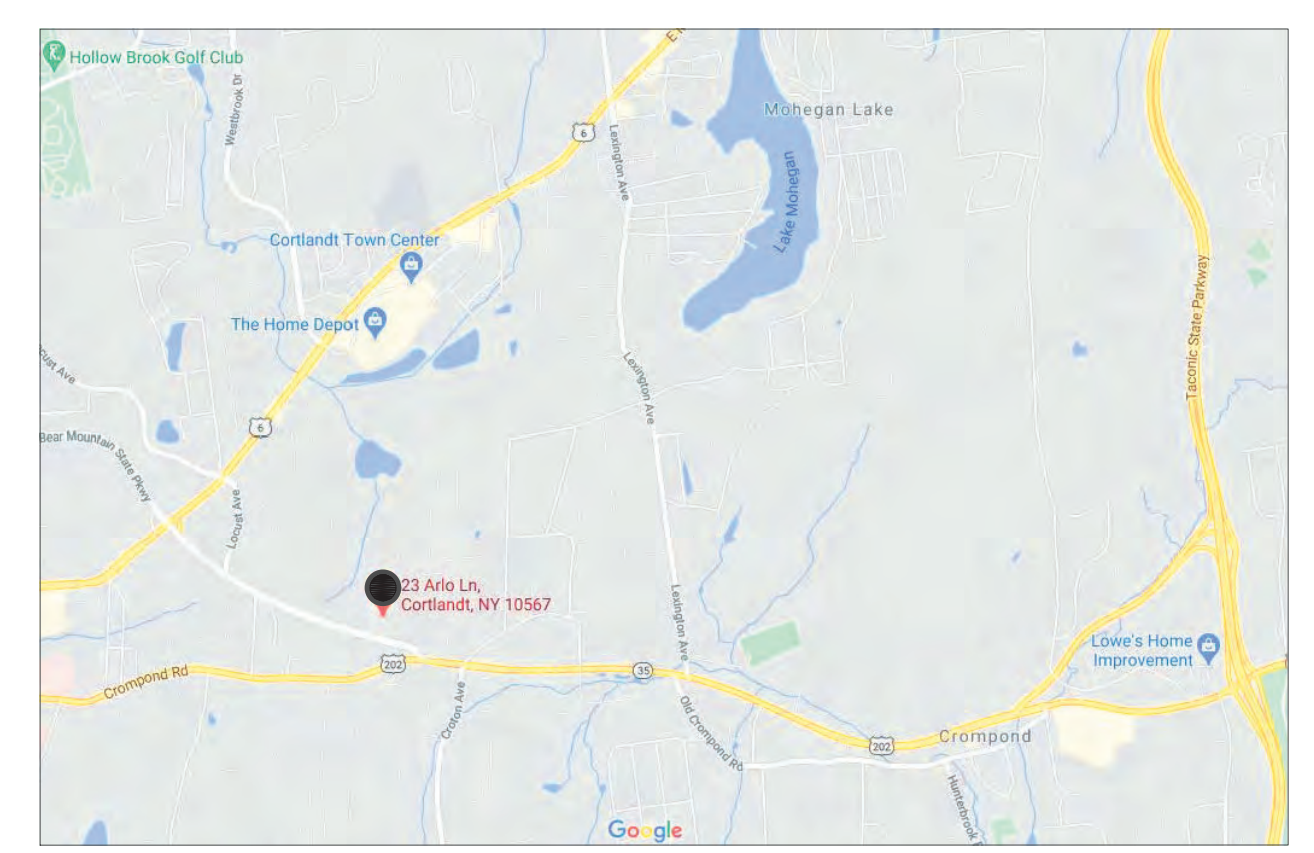
SECTION 1109.2 - EACH TOILET ROOM SHALL BE ACCESSIBLE AND ALONG AN ACCESSIBLE ROUTE

SECTION 1109.9 - AT LEAST 5 PERCENT THE STORAGE UNIT SHALL BE ACCESSIBLE. WITH A MINIMUM OF 1 ACCESSIBLE UNIT PER TYPE.

CHAPTER 29 PLUMBING SYSTEMS
TABLE 2902.1
1 SINK AND 1 TOILET SHALL BE PROVIDED PER SEX
1 DRINKING FOUNTAIN SHALL BE PROVIDED
1 SERVICE SINK SHALL BE PROVIDED

ARCHITECTURAL DRAWING LISTS

SHEET #	SHEET NAME
G-001	COVER PAGE
A-000	SURVEY
A-001	EXISTING SITE & DEMOLITION PLAN
A-002	SITE LIGHTING PLAN & SPEC
A-101	PROPOSED FLOOR PLANS
A-200	PROPOSED FRONT ELEVATION & RENDERING
A-201	PROPOSED ELEVATIONS

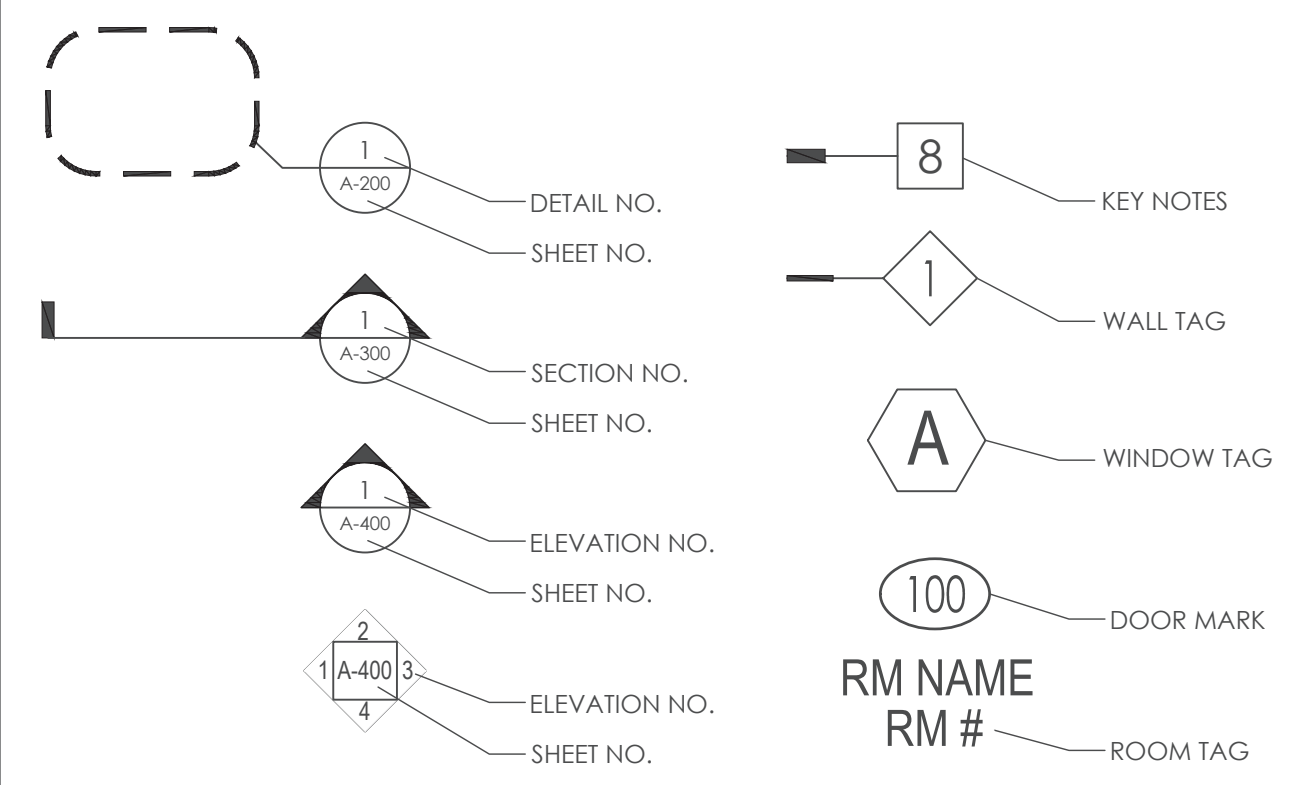


ARIEL MAP

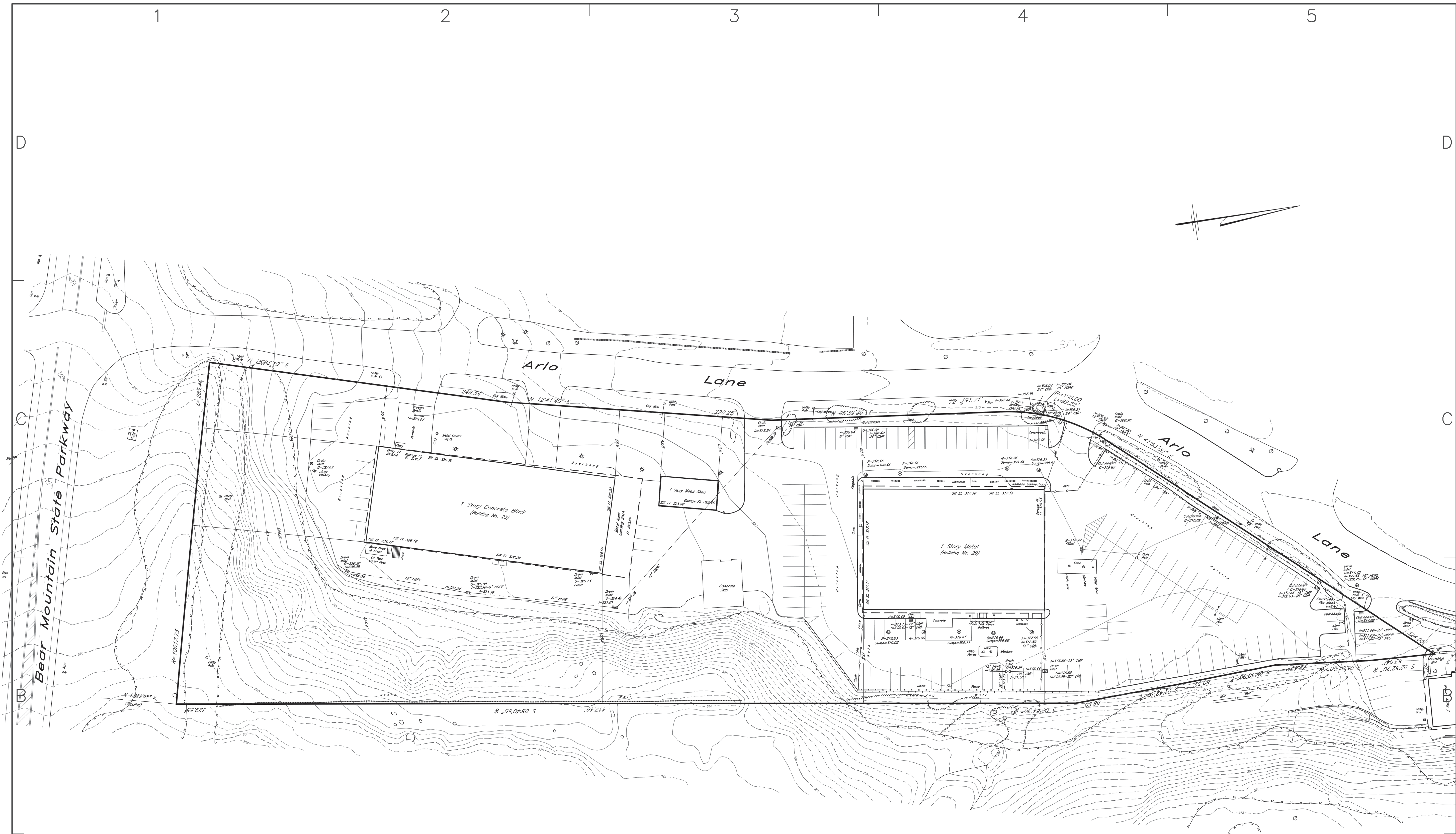


SATELLITE MAP

GRAPHIC SYMBOL:



2/2/2021 1:24 PM G:\01 STUDIO IN FER02 - CORTLANDT\23 ARLO LANE.DWG



Survey of Property
 prepared for
Lexington 202 Group LLC
 in the Town of
Cortlandt
 Westchester County, N.Y.
 Scale 1"=40' Dec. 23, 2020

A
 Horizontal Datum: NAD83
 Lot Area = 212,810 sq. ft. or 5.0002 acres
 Subsurface structures and their encroachments, if any exist, are not shown hereon.
 Unauthorized alterations or additions to a survey map is a violation of section 7206, sub-section 2, of the New York State Education Law.
 Only copies of the original survey marked with the land surveyor's inked or embossed seal shall be considered a true and valid copy.
 Declarations indicated hereon signify that this survey was prepared in accordance with the working code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run to the person for whom the survey is prepared only, and on his behalf to the Title Company, governmental agency and hearing institution listed hereon, and to the assignees of the holding institution. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
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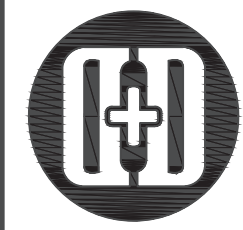
Topography added Jan. 26, 2021.
 The premises being Tax Lot 1, Block 1, Map 34.06 as shown on the official Tax Assessment Maps for the Town of Cortlandt.

Ward Carpenter Engineers, Inc.
 76 Mamaroneck Avenue
 White Plains, N.Y. 10601

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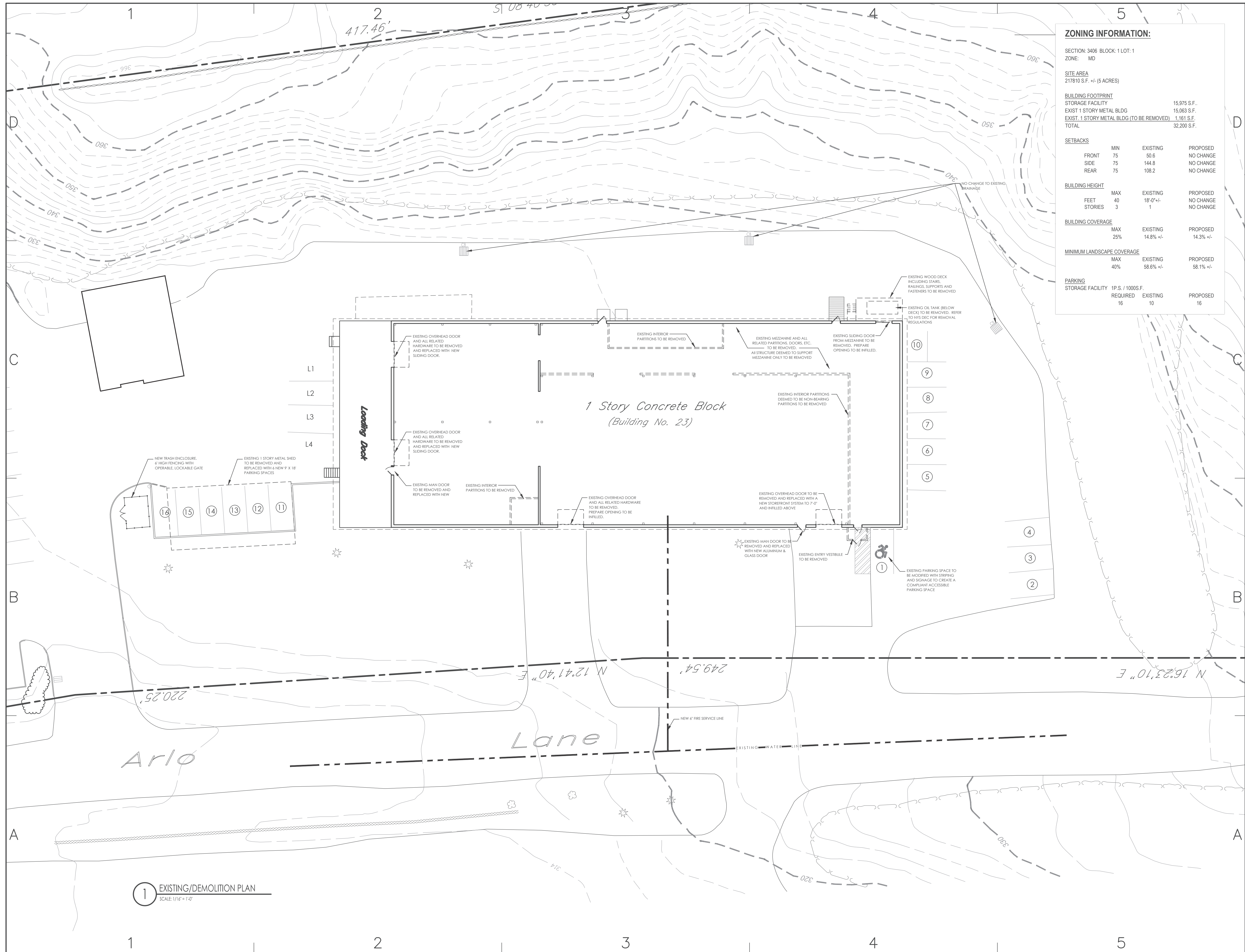
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	12/21/2020	ISSUED FOR SITE PLAN APPROVAL
REVISIONS		
PROJECT NO: FER-02		
CAD DWG FILE: 23 ARLO LANE.DWG		
DRAWN BY: MLT		
CHKD BY: MLT		
SHEET TITLE: EXISTING SURVEY		

DRAWING NO.:
A-000
 SHEET 1 OF 5

2/2/2021 1:24 PM G:\01 STUDIO R\FER02-CORTLANDT\23 ARLO LANE.DWG



ZONING INFORMATION:

SECTION: 3406 BLOCK: 1 LOT: 1
 ZONE: MD

SITE AREA
 217810 S.F. +/- (5 ACRES)

BUILDING FOOTPRINT		15,975 S.F.
STORAGE FACILITY		15,975 S.F.
EXIST 1 STORY METAL BLDG		1,161 S.F.
EXIST 1 STORY METAL BLDG (TO BE REMOVED)		1,161 S.F.
TOTAL		32,200 S.F.

SETBACKS			
	MIN	EXISTING	PROPOSED
FRONT	75	50.6	NO CHANGE
SIDE	75	144.8	NO CHANGE
REAR	75	108.2	NO CHANGE

BUILDING HEIGHT			
	MAX	EXISTING	PROPOSED
FEET	40	18'-0" +/-	NO CHANGE
STORIES	3	1	NO CHANGE

BUILDING COVERAGE			
	MAX	EXISTING	PROPOSED
	25%	14.8% +/-	14.3% +/-

MINIMUM LANDSCAPE COVERAGE			
	MAX	EXISTING	PROPOSED
	40%	58.6% +/-	58.1% +/-

PARKING			
STORAGE FACILITY 1P.S. / 1000S.F.			
	REQUIRED	EXISTING	PROPOSED
	16	10	16

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REVISIONS

PROJECT NO: FER-02
 CAD DWG FILE: 23 ARLO LANE.DWG
 DRAWN BY: MLT
 CHKD BY: MLT

SHEET TITLE:
**EXISTING SITE & DEMOLITION
 PLAN**

DRAWING NO.:

A-001

SHEET 1 OF 5

1 EXISTING/DEMOLITION PLAN
 SCALE: 1/16" = 1'-0"

2/2/2021 1:24 PM G:\01 STUDIO R\FER02 - CORTLANDT\23 ARLO LANE.DWG



WDGE1 LED Architectural Wall Sconce

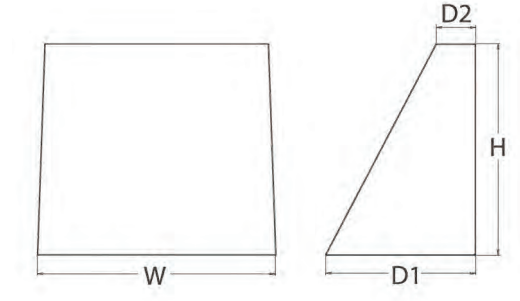


Catalog Number _____
 Name _____
 Title _____
 Date _____

Introduction
 The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

- Specifications**
- Depth (D1): 5.5"
 - Depth (D2): 1.5"
 - Height: 8"
 - Width: 9"
 - Weight: 9 lbs (without options)



WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	—	—	1,200	2,000	—	—	—	—
WDGE2 LED	10W	18W	Standalone / Night	1,200	2,000	3,000	4,500	6,000	—
WDGE3 LED	15W	18W	Standalone / Night	7,500	8,500	10,000	12,000	—	—
WDGE4 LED	—	—	Standalone / Night	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Description	Voltage	Mounting
WDGE1 LED	P1	27K 2700K	90CRI	VF Visual comfort focused throw	MVOLT 347V	SRM Surface mounting bracket
		30K 3000K		VW Visual comfort wide		
		35K 3500K				
		40K 4000K				
		50K 5000K				

Options	Finish
EWMI Emergency battery backup, Certified in CA Title 20 MAZERS (4W, 0°C min)	DDBXD Dark bronze
FE Photocell, Button type	DBLXD Black
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD Natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (P88W). Total of 4 entry points.	DSSXD Sandstone

Accessories

WDGMS DDBXD U WDGE 3/8inch Architectural Wall Spacer (Specify finish)
 WDGSP88W DDBXD U WDGE1 surface-mounted back box (Specify finish)

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

Performance Data

Lumen Output
 Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Opt. Type	Color Temp.	CRI	Beam Spread	Beam Angle	Beam Diameter @ 10ft	Beam Diameter @ 20ft	Beam Diameter @ 30ft	Beam Diameter @ 40ft	Beam Diameter @ 50ft	Beam Diameter @ 60ft	Beam Diameter @ 70ft	Beam Diameter @ 80ft	Beam Diameter @ 90ft	Beam Diameter @ 100ft	
P1	10W	VF	30K	90	15°	1.57m	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
							0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
							0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
							0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
P2	15W	VF	30K	90	15°	1.57m	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
							0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
							0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
							0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0

Electrical Load

Performance Package	System Watts	30W	30W	30W	30W
P1	10W	0.042	0.049	0.043	0.038
	15W	—	—	—	0.046
P2	15W	0.132	0.081	0.072	0.064
	18W	—	—	—	0.056

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Opt. Type	Lumens
EWMI	VF	646
	VW	647

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumens Multiplier
0°C	1.03
32°F	1.02
10°C	1.01
50°F	1.01
20°C	1.00
68°F	1.00
25°C	0.99
77°F	0.99
30°C	0.98
86°F	0.98
40°C	0.98
104°F	0.98

Projected LED Lumen Maintenance

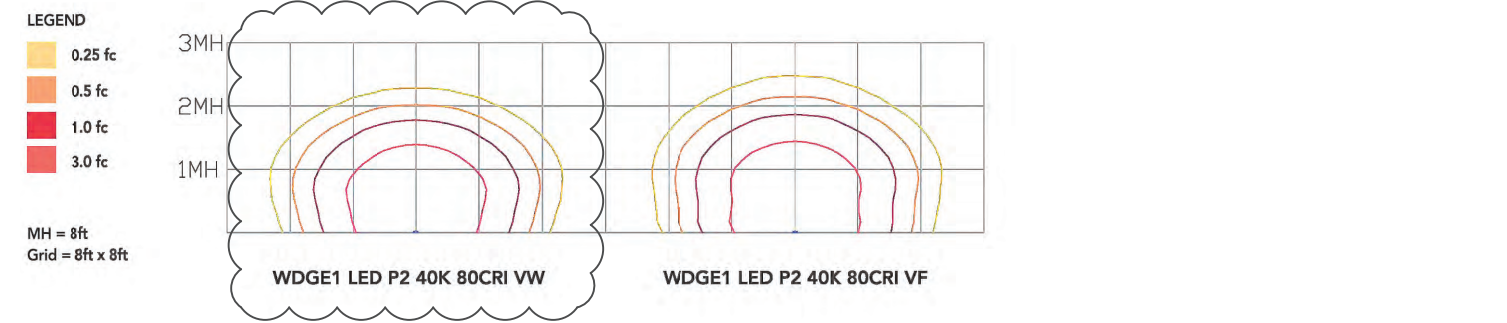
Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLM, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

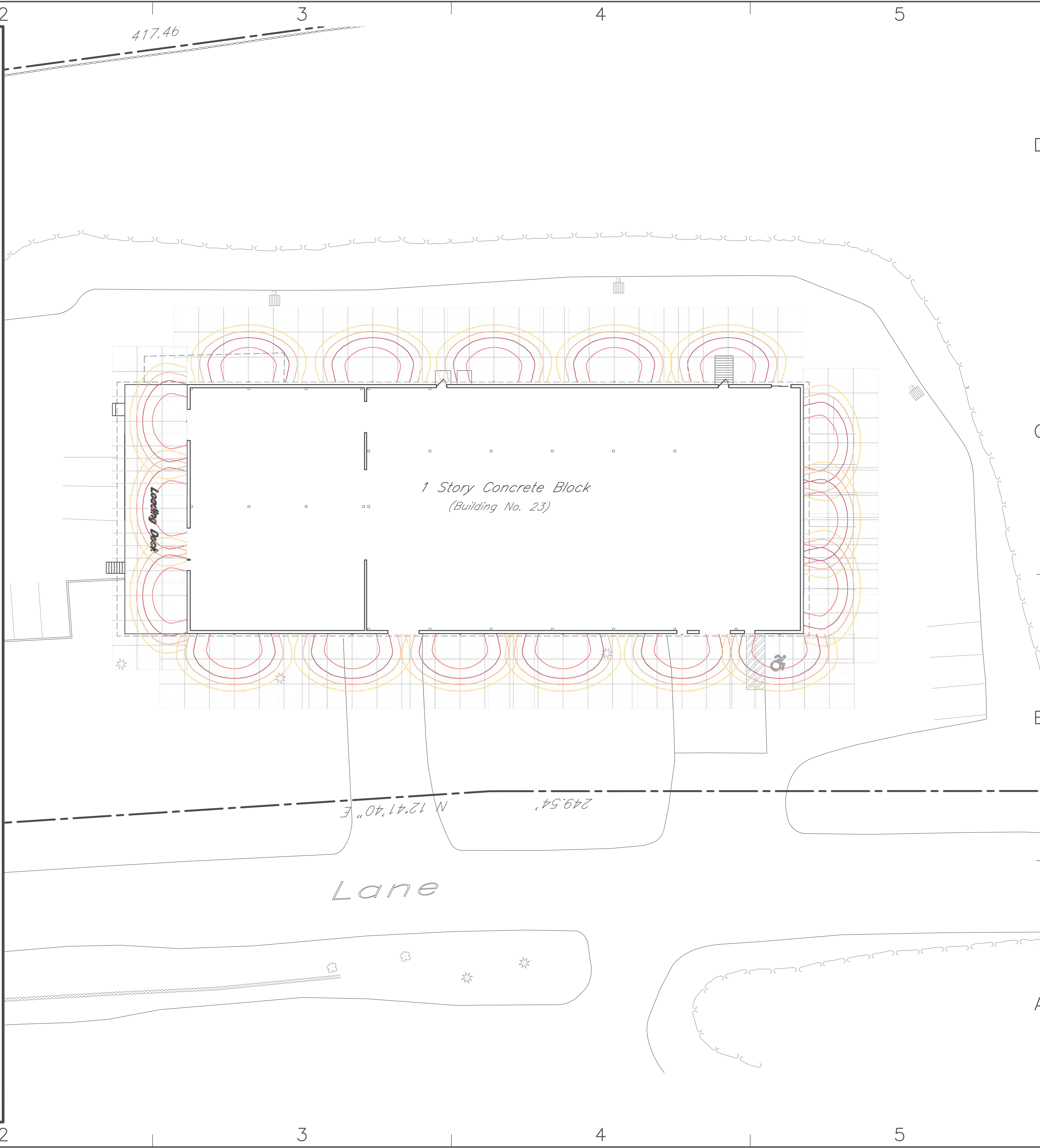


Emergency Egress Options

Emergency Battery Backup

1 EXISTING/DEMOLITION PLAN
 SCALE: 1/16" = 1'-0"

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com



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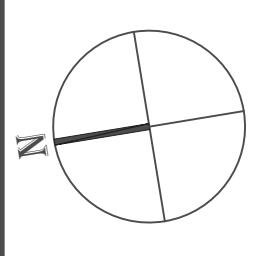
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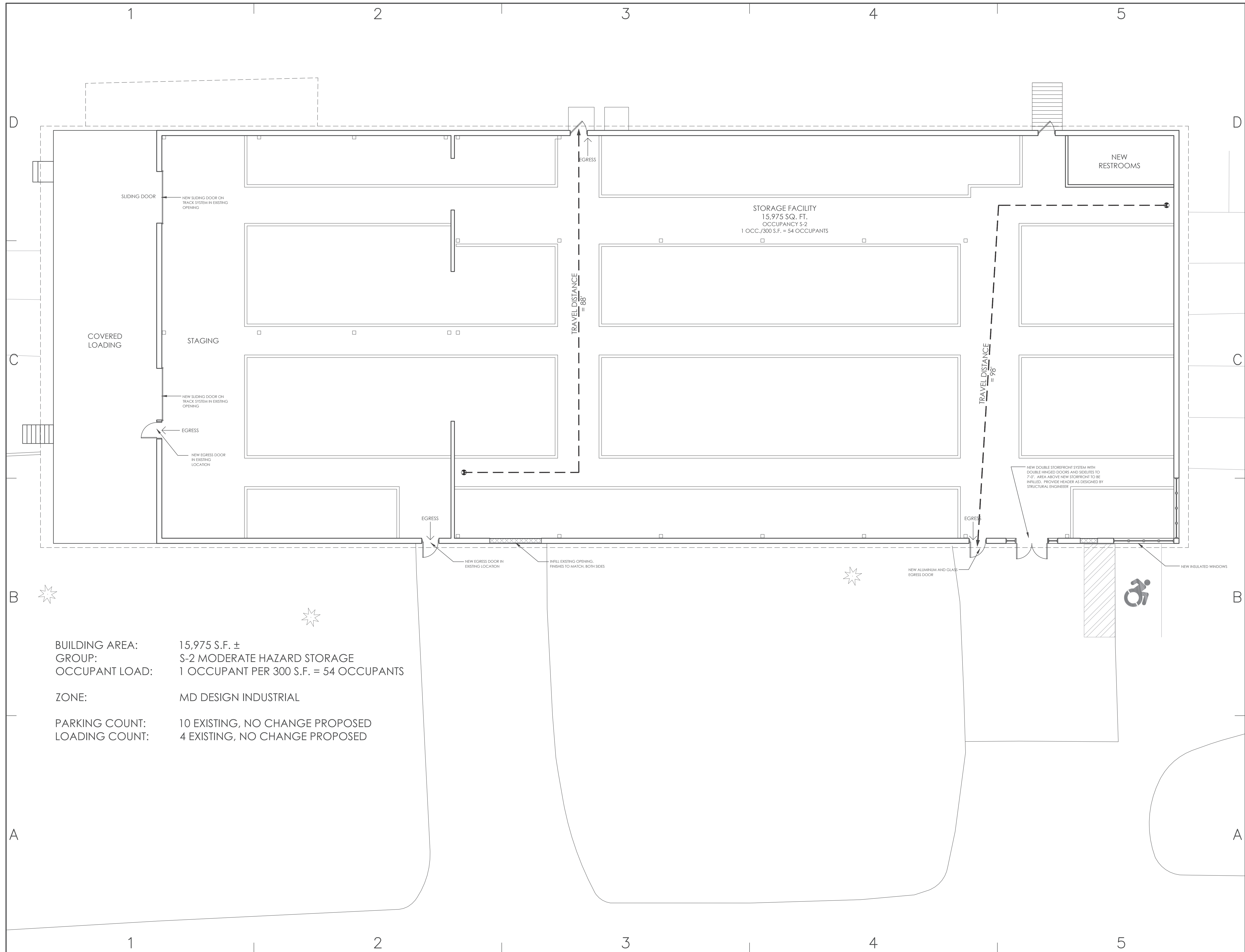
REVISIONS

MARK	DATE	ISSUE

PROJECT NO: FER-02
 CAD DWG FILE: 23 ARLO LANE.DWG
 DRAWN BY: MLT
 CHKD BY: MLT
 SHEET TITLE: SITE LIGHTING PLAN

DRAWING NO.:
A-002
 SHEET 1 OF 5

2/2/2021 1:27 PM G:\01 STUDIO R\FER02 - CORTLANDT\23 ARLO LANE.DWG



BUILDING AREA: 15,975 S.F. ±
 GROUP: S-2 MODERATE HAZARD STORAGE
 OCCUPANT LOAD: 1 OCCUPANT PER 300 S.F. = 54 OCCUPANTS

 ZONE: MD DESIGN INDUSTRIAL

 PARKING COUNT: 10 EXISTING, NO CHANGE PROPOSED
 LOADING COUNT: 4 EXISTING, NO CHANGE PROPOSED

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 SHEET TITLE:
PROPOSED FLOOR PLAN
 DRAWING NO.:

A-100
 SHEET 1 OF 5

2/2/2021 1:27 PM, G:\01 STUDIO R\FER02 - CORTLANDT\23 ARLO LANE.DWG

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2

3

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D

C

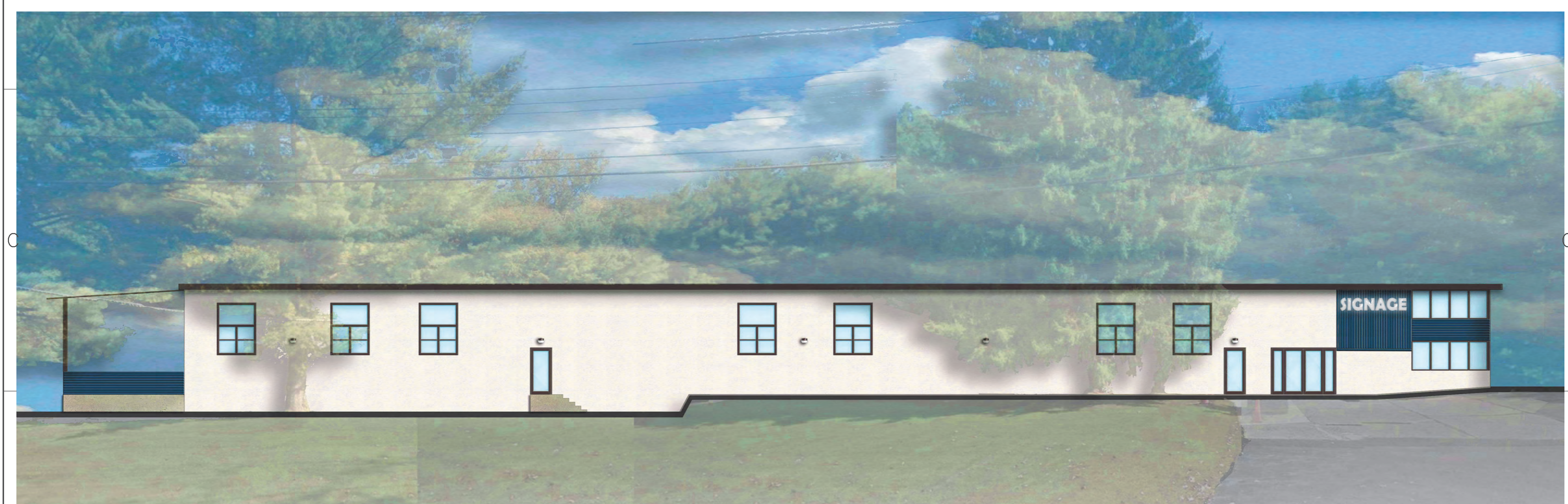
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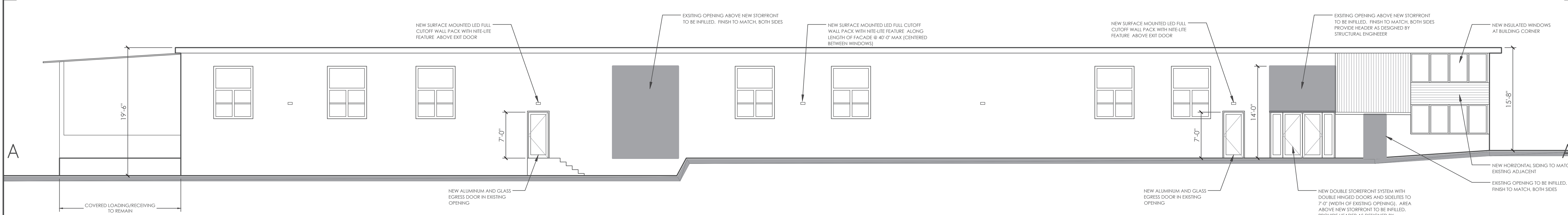
B

A

A



2 PROPOSED FRONT RENDERING
SCALE: N.T.S.



1 PROPOSED FRONTELEVATION
SCALE: *****

1

2

3

4

5

PROJECT:
CORTLANDT STORAGE
23 ARLO LANE
CORTLANDT, NY 10567
SECTION: 3406 BLOCK: 1 LOT: 1
ZONING: MD

PROPERTY OWNER / LANDLORD:
LEXINGTON 202 GROUP LLC,
23 ARLO LANE
CORTLANDT, NY

CONSULTANTS:
STRUCTURAL
MEKAEI ENGINEERING & CONSULTING, LLC
185 MARSHALL LANE
DERBY, CT 06418
203-684-8134
MEP, FP
JOSELOW & ASSOCIATES, LLC
30 GLENN STREET
WHITE PLAINS, NY 10603
212-736-2584 EXT. 202

ARCHITECT:
Design Development, pllc
165 Mamaroneck Ave, fl. 2
White Plains, NY 10601
914.949.4272 t.
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	12/21/2020	ISSUED FOR SITE PLAN APPROVAL

REVISIONS

PROJECT NO: FER-02

CAD DWG FILE: 23 ARLO LANE.DWG

DRAWN BY: MLT

CHK'D BY: MLT

SHEET TITLE:

PROPOSED FRONT
ELEVATION & RENDERING

DRAWING NO.:

A-200
SHEET 1 OF 5

2/2/2021 1:27 PM, G:\01 STUDIO R\FER02-CORTLANDT\23 ARLO LANE.DWG

PROJECT:
CORTLANDT STORAGE
 23 ARLO LANE
 CORTLANDT, NY 10567
 SECTION: 3406 BLOCK: 1 LOT: 1
 ZONING: MD

PROPERTY OWNER / LANDLORD:
 LEXINGTON 202 GROUP LLC,
 23 ARLO LANE
 CORTLANDT, NY

CONSULTANTS:
 STRUCTURAL
 MEKAEI ENGINEERING & CONSULTING, LLC
 185 MARSHALL LANE
 DERBY, CT 06418
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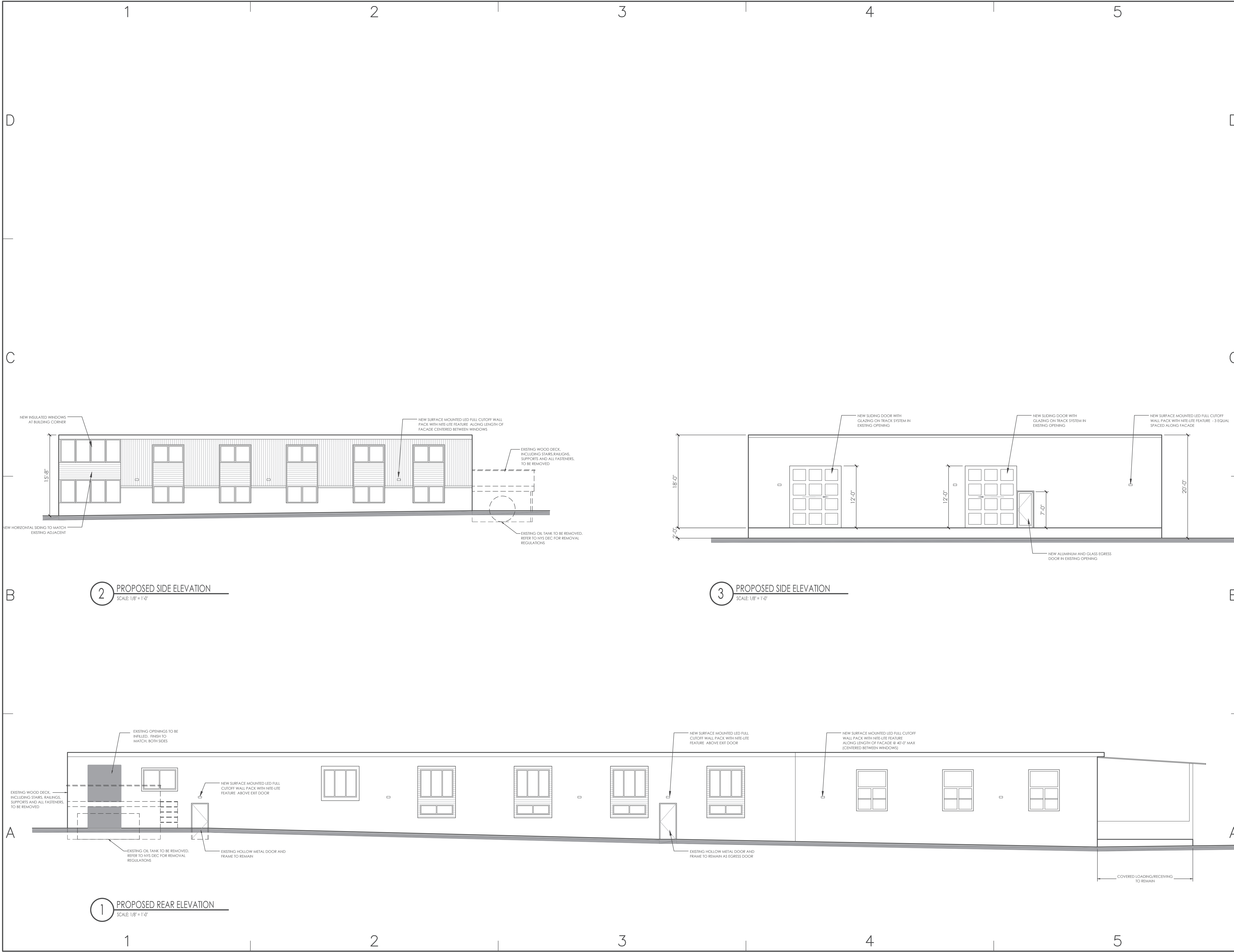
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REVISIONS		
PROJECT NO: FER-02		
CAD DWG FILE: 23_ARLO_LANE.DWG		
DRAWN BY: MLT		
CHK'D BY: MLT		
SHEET TITLE: PROPOSED ELEVATIONS		
DRAWING NO.:		

A-201
 SHEET 1 OF 5



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