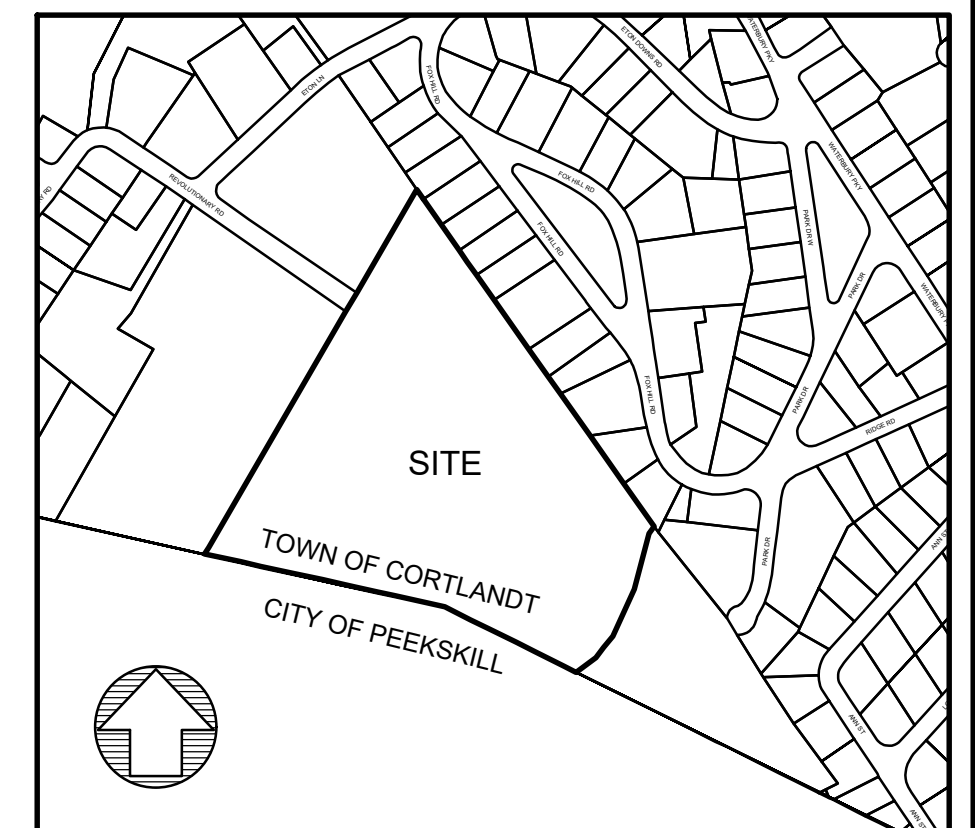
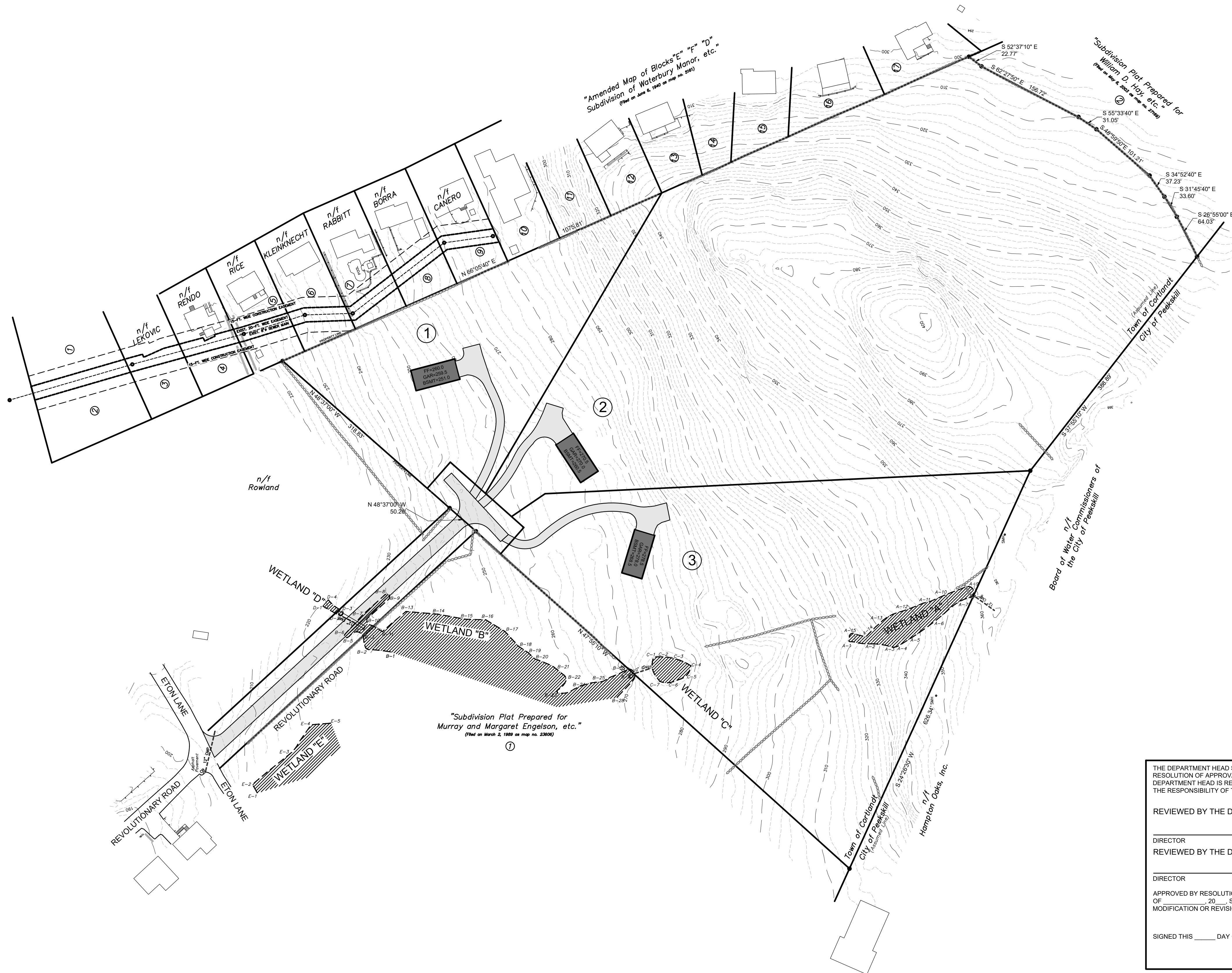
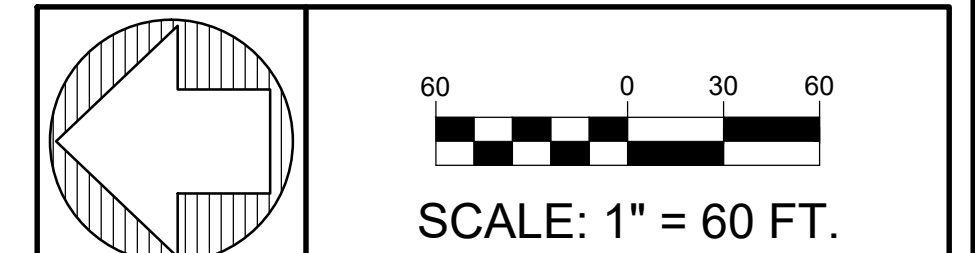


# PRELIMINARY SUBDIVISION PLAN FOR POMONA DEVELOPMENT, LLC



VICINITY MAP SCALE: 1" = 500'

**Dig Safely.**  
**New York**  
(800) 962-7962  
www.digsafelynewyork.com



SCALE: 1" = 60 FT.

OWNER/APPLICANT

POMONA DEVELOPMENT, LLC

200 HIGH POINT DRIVE, PH-3  
HARTSDALE, NEW YORK 10530

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
• COPYRIGHT © 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:

SECTION: 23.15  
BLOCK: 1  
LOT: 43  
SUBLOT: ---  
DRAWN BY: JCA  
CHECKED: KCS/TC3  
PROJECT: BOGA-REVOLUTIONARY RD  
DATE: MAY 19, 2021  
JOB #: 150207



TIMOTHY L. CRONIN III, P.E.  
LICENSE #062980

**CRONIN ENGINEERING**  
PROFESSIONAL ENGINEERING & CONSULTING  
(914) 736-3664

39 Arlo Lane  
Cortlandt Manor, New York 10567

COVER SHEET

**SUBDIVISION PLAN  
FOR  
POMONA  
DEVELOPMENT**

LOCATION:  
REVOLUTIONARY ROAD  
CORTLANDT MANOR, NEW YORK

SHEET 1 OF 14

CS

LIST OF DRAWINGS				
SHEET #	SHEET X OF Y	TITLE	ISSUE DATE	LAST REVISED
CS	1 OF 14	COVER SHEET	MAY 19, 2021	---
EC-1.1	2 OF 14	EXISTING CONDITIONS PLAN	MAY 19, 2021	---
SP-2.1	3 OF 14	PRELIMINARY SUBDIVISION PLAN	MAY 19, 2021	---
ZC-3.1	4 OF 14	ZONING COMPLIANCE PLAN	MAY 19, 2021	---
UG-4.1	5 OF 14	UTILITY AND GRADING PLAN	MAY 19, 2021	---
UG-4.2	6 OF 14	STORMWATER PLAN	TO BE ISSUED	---
RP-5.1	7 OF 14	ACCESS DRIVE PROFILE	MAY 19, 2021	---
UP-6.1	8 OF 14	SANITARY SEWER & WATER MAIN PROFILES	TO BE ISSUED	---
ESC-7.1	9 OF 14	SWPPP-EROSION AND SEDIMENT CONTROL PLAN	MAY 19, 2021	---
ESC-7.2	10 OF 14	SWPPP-EROSION AND SEDIMENT CONTROL DETAILS	MAY 19, 2021	---
CD-8.1	11 OF 14	SANITARY SEWER CONSTRUCTION DETAILS & NOTES	MAY 19, 2021	---
CD-8.2	12 OF 14	WATER MAIN CONSTRUCTION DETAILS & NOTES	MAY 19, 2021	---
CD-8.3	13 OF 14	STORMWATER CONSTRUCTION DETAILS & NOTES	TO BE ISSUED	---
TP-9.1	14 OF 14	TREE PROTECTION PLAN	MAY 19, 2021	---

THE DEPARTMENT HEAD SIGNATURES INDICATE THAT THIS DRAWING OR SET OF DRAWINGS IS CONSISTENT WITH THE PLANNING BOARD RESOLUTION OF APPROVAL AND WITH THE GENERAL REQUIREMENTS AND POLICIES OF THE TOWN OF CORTLANDT FOR WHICH THE DEPARTMENT HEAD IS RESPONSIBLE. THE PROJECT DESIGN INCLUDING ALL PUBLIC HEALTH AND SAFETY CONSIDERATIONS ARE SOLELY THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL WHO HAS SIGNED AND SEALED THE DRAWINGS.

REVIEWED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
REVIEWED BY THE DEPARTMENT OF TECHNICAL SERVICES

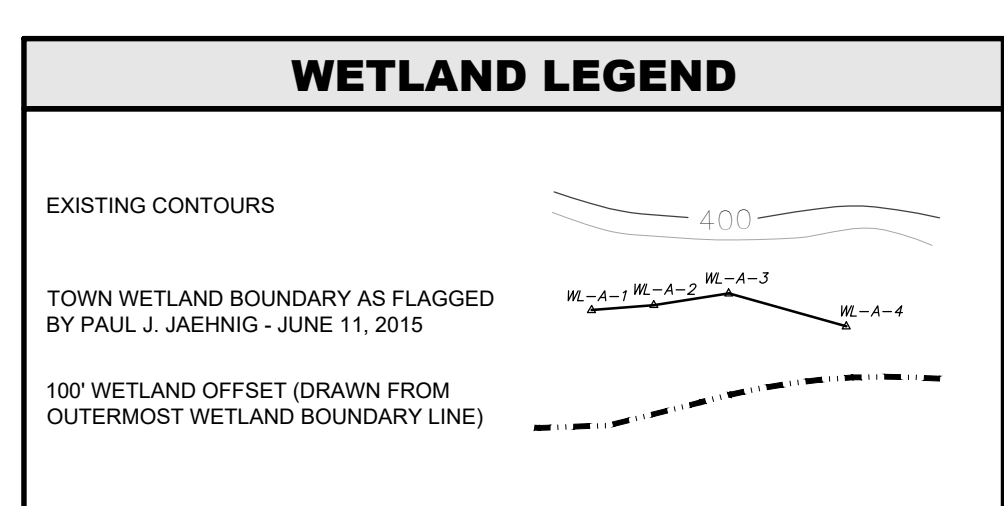
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY RESOLUTION NO. \_\_\_\_\_ OF THE PLANNING BOARD OF THE TOWN OF CORTLANDT, NEW YORK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION IN THIS PLAN, OR SITE DEVELOPMENT PLAN, AFTER THE ABOVE DATE, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_  
CHAIRPERSON OF THE PLANNING BOARD

# TOWN OF CORTLANDT, NEW YORK

- GENERAL NOTES**
1. PARCEL TAX MAP DESIGNATION: SECTION: 23.15, BLOCK: 1, LOTS 43
  2. TOTAL AREA OF PARCEL = 4731.176 S.F. OR 10.76 ACRES.
  3. SURVEY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A FILE PROVIDED BY INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
  4. WETLAND INFORMATION SHOWN HEREON WAS FLAGGED BY PAUL J. JAENIG ON JUNE 11, 2015.
  5. TREES SHOWN ARE SURVEY LOCATED BY INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. & TREE INFO IS BASED ON A TREE REPORT PREPARED BY BARTLETT TREE EXPERTS ON JANUARY 11, 2017. SEE TREE REPORT FOR ADDITIONAL INFORMATION PERTAINING TO THE EXISTING TREES ON SITE.
  6. LOCATIONS OF STRUCTURES OUTSIDE OF PROPERTY LIMITS ARE BASED ON BOTH SURVEY INFORMATION AND AVAILABLE INFORMATION FROM THE WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEM.
  7. THE SUBJECT SITE IS LOCATED IN THE TOWN OR CORTLANDT R-20 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT.
  8. THE SUBJECT SITE IS LOCATED IN THE HUDSON RIVER WATERSHED.



**SOIL DATA CHART (USDA)**

SOIL SYMBOL	DESCRIPTION
NON-WETLAND SOILS	
PnC	PAXTON FINE SANDY LOAM, WELL DRAINED, 8 TO 15 PERCENT SLOPES
PnD	PAXTON FINE SANDY LOAM, WELL DRAINED, 15 TO 25 PERCENT SLOPES
Ub1	UDORTMENTS, CUT, FILL & GRADED SOILS, WELL DRAINED, SLOPES VARY
Ub2	UDORTMENTS, CUT, FILL & GRADED SOILS, MODERATELY WELL DRAINED, SLOPES 0 TO 3%
Wsb	WOODBIDGE LOAM, MODERATELY WELL DRAINED, SLOPES 0 TO 8%
WETLAND SOILS	
Aq	AQUENTS, POORLY DRAINED, 0 TO 3 PERCENT SLOPES
RdB	RIDGEBUR LOAM, POORLY DRAINED, 3 TO 8 PERCENT SLOPES

**WETLAND AREAS**

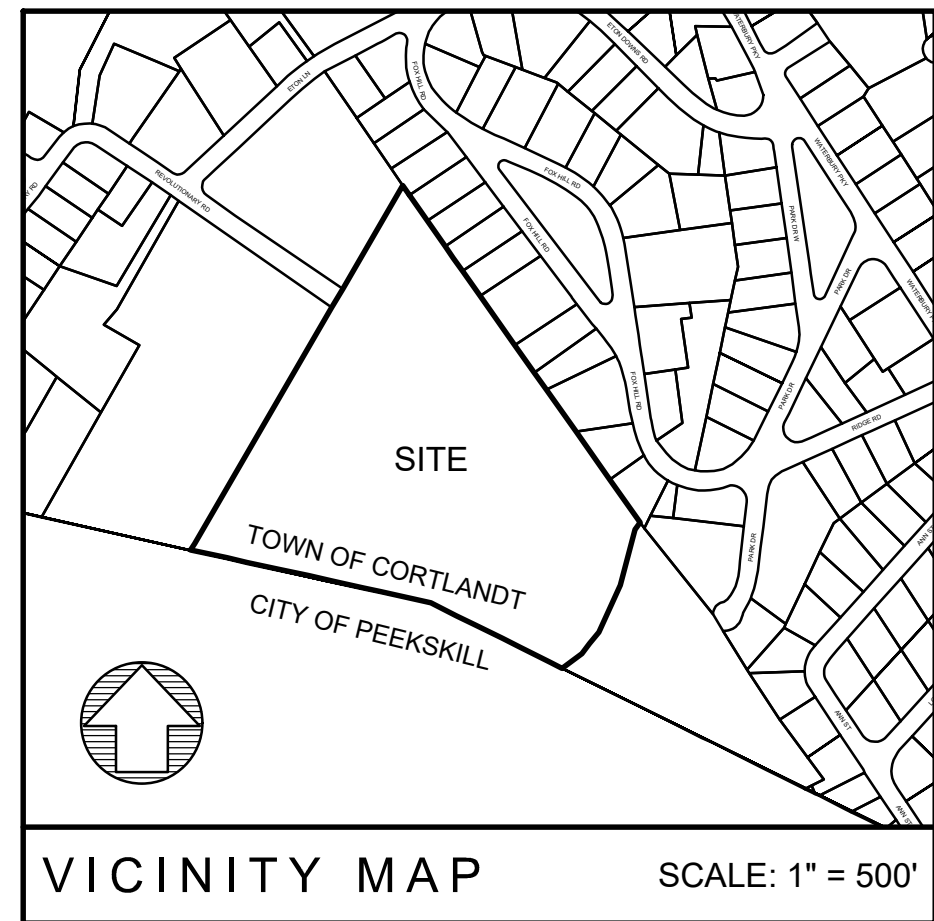
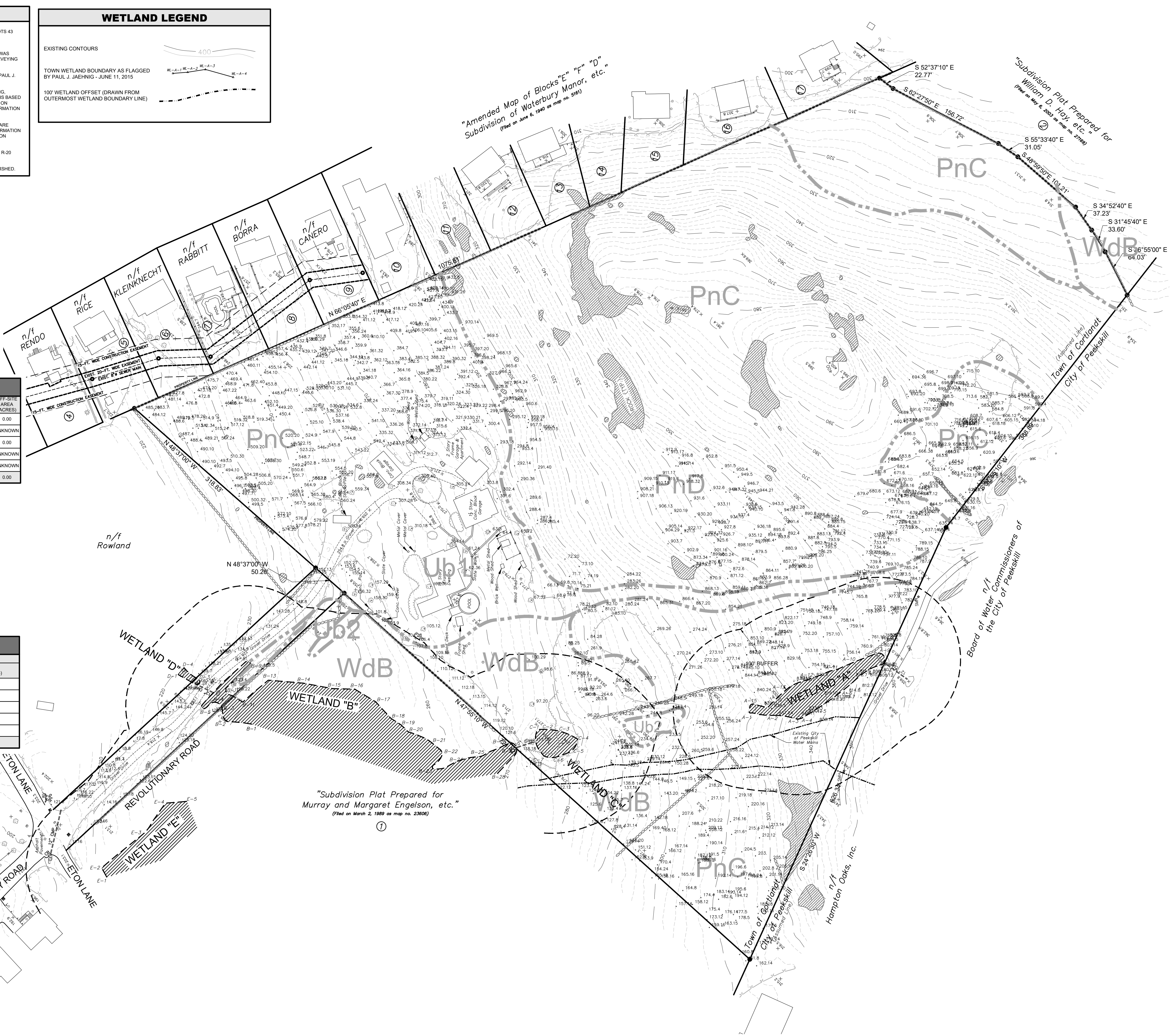
DESCRIPTION	ON-SITE AREA (S.F.)	ON-SITE AREA (ACRES)	OFF-SITE AREA (S.F.)	OFF-SITE AREA (ACRES)
WETLAND "A"	5,061	0.12	0	0.00
WETLAND "B"	0	0.00	UNKNOWN	UNKNOWN
WETLAND "C"	1,561	0.04	0	0.00
WETLAND "D"	0	0.00	UNKNOWN	UNKNOWN
WETLAND "E"	0	0.00	UNKNOWN	UNKNOWN
TOTAL	6,622	0.15	0	0.00

**LAND COVER**

DESCRIPTION	EXISTING		
	AREA (S.F.)	AREA (ACRES)	% OF PROPERTY
MEADOW (BRUSHLAND)	47,329	1.09	3.0
FORESTED	643,864	14.78	41.2
FRESHWATER WETLAND	6,622	0.15	0.4
UNVEGETATED	21,207	0.49	1.4
BLDGS, WALKWAYS & OTHER IMPERVIOUS	8,808	0.20	0.6
DRIVEWAYS	3,546	0.08	0.2
GROSS PARCEL AREA	731,176	16.6	46.8

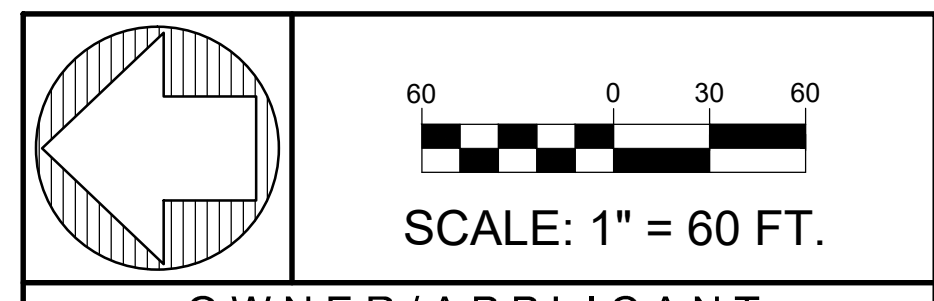
**IMPERVIOUS AREAS**

DESCRIPTION	EXISTING	
	AREA (S.F.)	AREA (ACRES)
ROADS	4799	0.11
DRIVEWAYS	3546	0.08
WALKWAYS	685	0.02
BUILDINGS	7,392	0.17
POOLS	731	0.02
TOTAL	17,153	0.39



**Dig Safely. New York**  
**800-962-7962**  
 www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care



**OWNER/APPLICANT**  
**POMONA DEVELOPMENT, LLC**  
 200 HIGH POINT DRIVE, PH-3  
 HARTSDALE, NEW YORK 10530

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
 • COPYRIGHT © 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

**REVISIONS**

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:  
 SECTION: 23.15  
 BLOCK: 1  
 LOT: 43  
 SUBLOT: -----  
 DRAWN BY: JCA  
 CHECKED: KCS/TC3  
 PROJECT: BOGA-REVOLUTIONARY RD  
 DATE: MAY 19, 2021  
 JOB #: 150207

**STATE OF NEW YORK**  
 TIMOTHY L. CRONIN III  
 LICENSED PROFESSIONAL ENGINEER  
 062980  
 TIMOTHY L. CRONIN III, P.E.  
 LICENSE #062980

**CRONIN ENGINEERING**  
 PROFESSIONAL ENGINEERING & CONSULTING  
 (914) 736-3664

**39 Arlo Lane**  
**Cortlandt Manor, New York 10567**

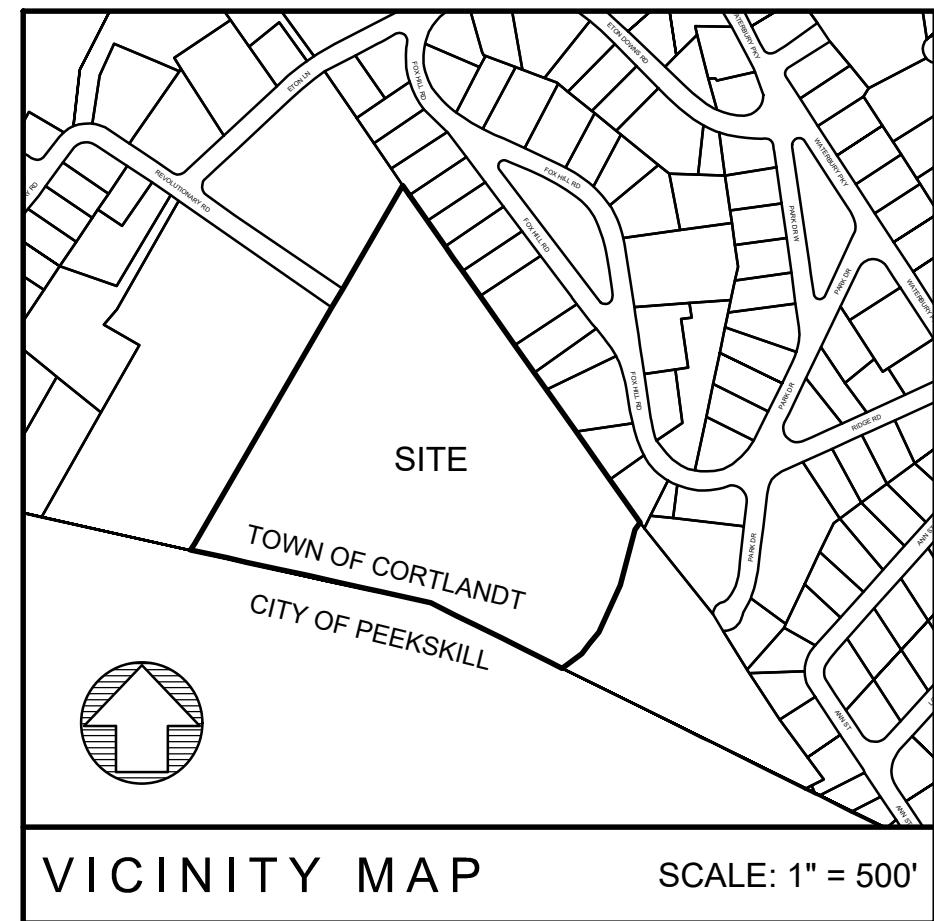
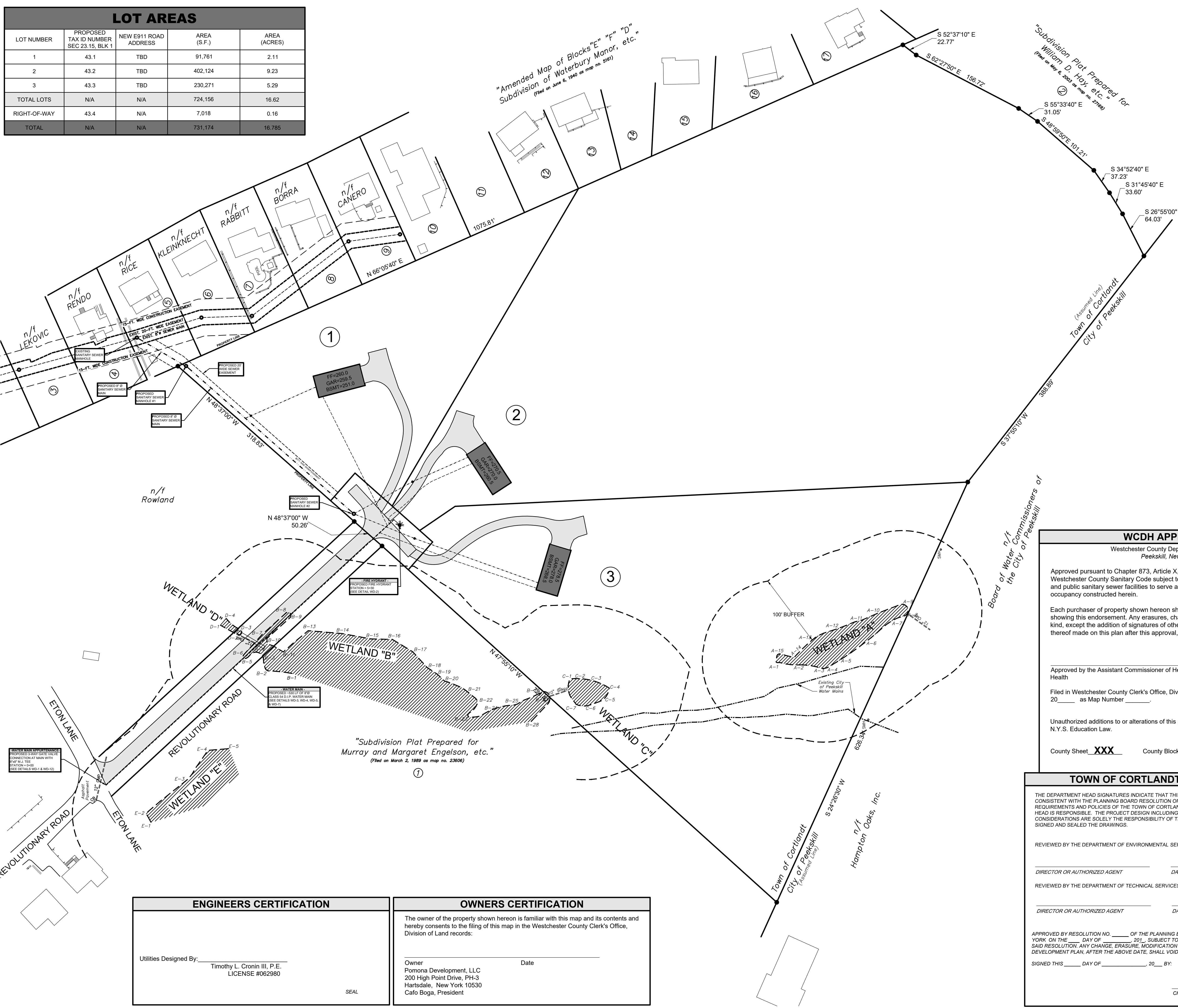
**EXISTING CONDITIONS**

**SUBDIVISION PLAN FOR POMONA DEVELOPMENT**

LOCATION:  
 REVOLUTIONARY ROAD  
 CORTLANDT MANOR, NEW YORK

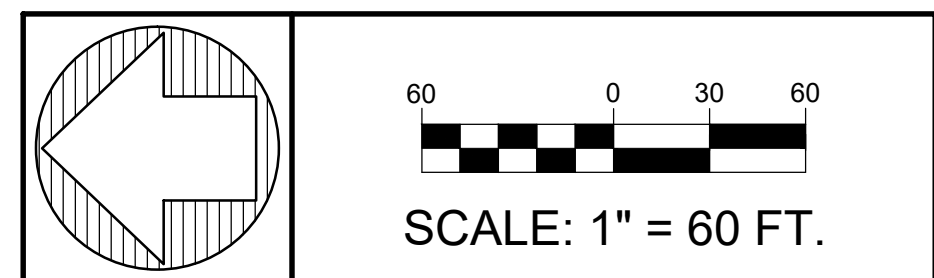
SHEET 2 OF 14      EC-1.1

LOT AREAS				
LOT NUMBER	PROPOSED TAX ID NUMBER SEC 23.15, BLK 1	NEW E911 ROAD ADDRESS	AREA (S.F.)	AREA (ACRES)
1	43.1	TBD	91,761	2.11
2	43.2	TBD	402,124	9.23
3	43.3	TBD	230,271	5.29
TOTAL LOTS	N/A	N/A	724,156	16.62
RIGHT-OF-WAY	43.4	N/A	7,018	0.16
TOTAL	N/A	N/A	731,174	16.785



**Dig Safely. New York**  
**800-962-7962**  
 www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care



OWNER/APPLICANT  
**POMONA DEVELOPMENT, LLC**  
 200 HIGH POINT DRIVE, PH-3  
 HARTSDALE, NEW YORK 10530

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
 • COPYRIGHT 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

**WCDH APPROVAL**  
 Westchester County Department of Health  
 Peekskill, New York

Approved pursuant to Chapter 873, Article X, Sections 873.951 and 873.1021 of the Westchester County Sanitary Code subject to the provision of public water supply and public sanitary sewer facilities to serve all structures intended for human occupancy constructed herein.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement. Any erasures, changes, additions or alterations of any kind, except the addition of signatures of other approving authority and the date thereof made on this plan after this approval, shall invalidate this approval.

Approved by the Assistant Commissioner of Health on Behalf of the Department of Health

Filed in Westchester County Clerk's Office, Division of Land Records, on \_\_\_\_\_, 20\_\_\_\_ as Map Number \_\_\_\_\_.

Unauthorized additions to or alterations of this plan is a violation of Section 7209 of the N.Y.S. Education Law.

County Sheet **XXX** County Block **XXXXX**

**TOWN OF CORTLANDT APPROVAL**

THE DEPARTMENT HEAD SIGNATURES INDICATE THAT THIS DRAWING OR SET OF DRAWINGS IS CONSISTENT WITH THE PLANNING BOARD RESOLUTION OF APPROVAL AND WITH THE GENERAL REQUIREMENTS AND POLICIES OF THE TOWN OF CORTLANDT FOR WHICH THE DEPARTMENT HEAD IS RESPONSIBLE. THE PROJECT DESIGN INCLUDING ALL PUBLIC HEALTH AND SAFETY CONSIDERATIONS ARE SOLELY THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL WHO HAS SIGNED AND SEALED THE DRAWINGS.

REVIEWED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES:  
 \_\_\_\_\_ DATE \_\_\_\_\_  
 DIRECTOR OR AUTHORIZED AGENT

REVIEWED BY THE DEPARTMENT OF TECHNICAL SERVICES:  
 \_\_\_\_\_ DATE \_\_\_\_\_  
 DIRECTOR OR AUTHORIZED AGENT

APPROVED BY RESOLUTION NO. \_\_\_\_\_ OF THE PLANNING BOARD OF THE TOWN OF CORTLANDT, NEW YORK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION IN THIS PLAT OR SITE DEVELOPMENT PLAN, AFTER THE ABOVE DATE, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY:  
 \_\_\_\_\_  
 CHAIRMAN OF THE PLANNING BOARD

REVISIONS		
#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:	
SECTION:	23.15
BLOCK:	1
LOT:	43
SUBLOT:	----
DRAWN BY:	JCA
CHECKED:	KCS/TC3
PROJECT:	BOGA-REVOLUTIONARY RD
DATE:	MAY 19, 2021
JOB #:	150207

TIMOTHY L. CRONIN III, P.E.  
 LICENSE #062980

**CRONIN ENGINEERING**  
 PROFESSIONAL ENGINEERING & CONSULTING  
 (914) 736-3664

**39 Arlo Lane**  
**Cortlandt Manor, New York 10567**

**SUBDIVISION PLAT**  
**SUBDIVISION PLAN FOR POMONA DEVELOPMENT**

LOCATION:  
 REVOLUTIONARY ROAD  
 CORTLANDT MANOR, NEW YORK

SHEET 3 OF 14      SP-2.1

**ENGINEERS CERTIFICATION**

Utilities Designed By: \_\_\_\_\_  
 Timothy L. Cronin III, P.E.  
 LICENSE #062980

SEAL

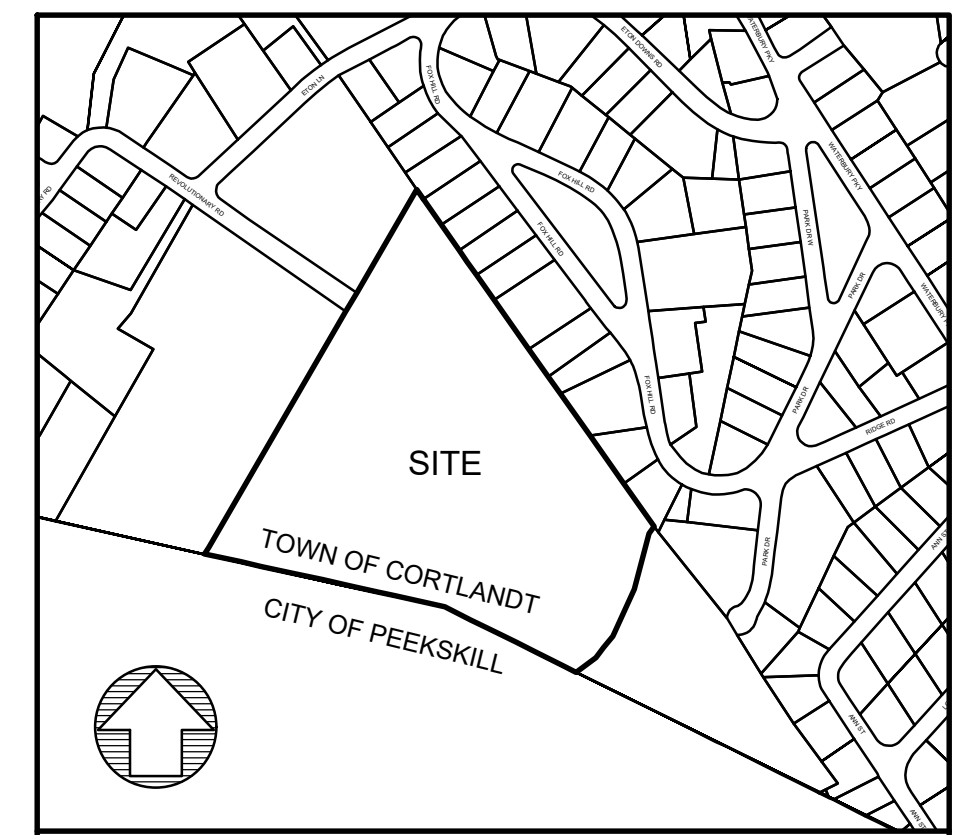
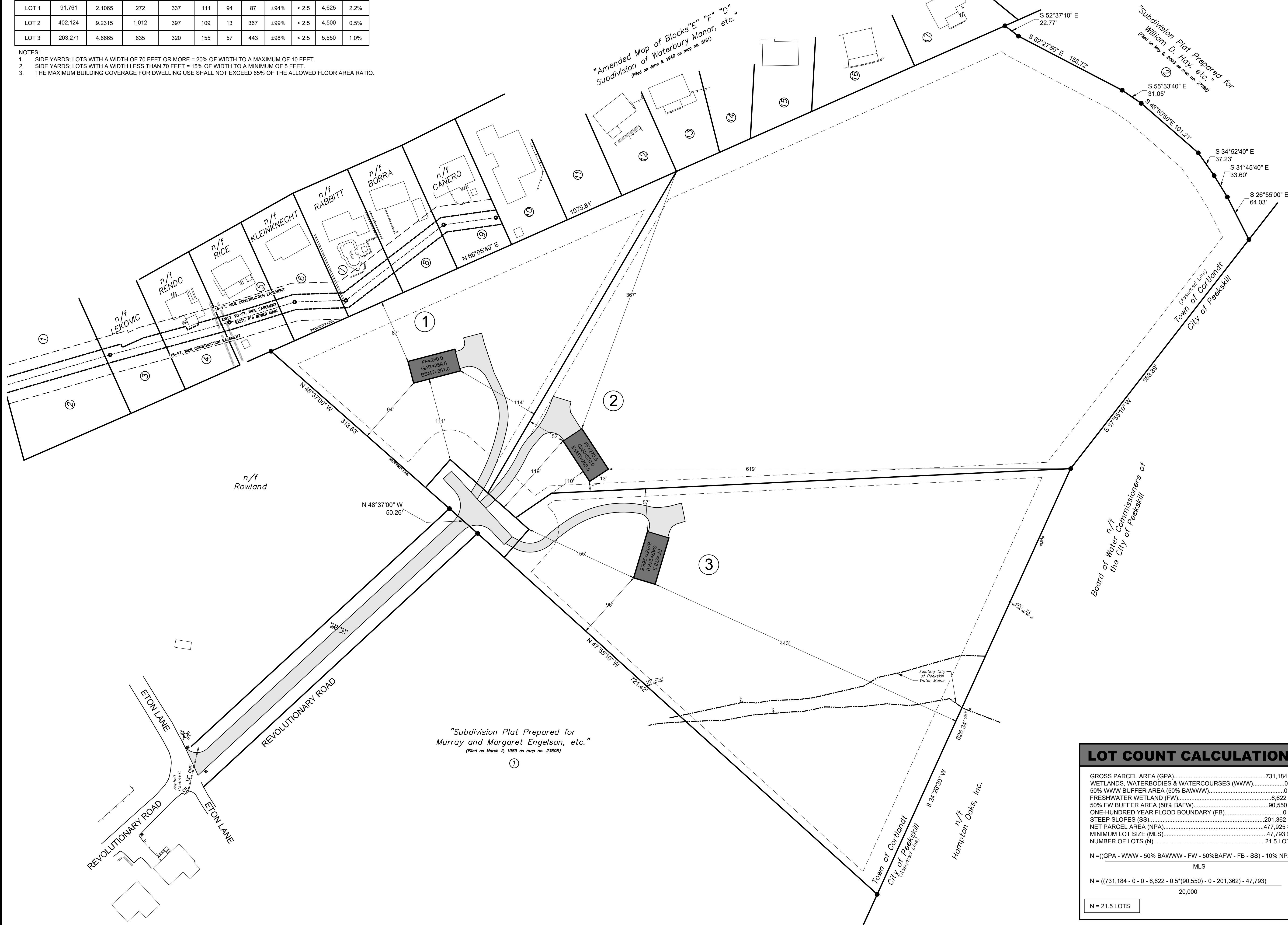
**OWNERS CERTIFICATION**

The owner of the property shown hereon is familiar with this map and its contents and hereby consents to the filing of this map in the Westchester County Clerk's Office, Division of Land records:

Owner \_\_\_\_\_ Date \_\_\_\_\_  
 Pomona Development, LLC  
 200 High Point Drive, PH-3  
 Hartsdale, New York 10530  
 Cafo Boga, President

BULK ZONING REGULATION SCHEDULE R-20 ZONING DISTRICT											
DESCRIPTION	LOT AREA (SQ. FT.)	LOT AREA (ACRES)	LOT DEPTH (F.T.)	LOT WIDTH (F.T.)	FRONT YARD (F.T.)	SIDE YARD (F.T.)	REAR YARD (F.T.)	LANDSCAPE COVERAGE (% LOT AREA)	BUILDING HEIGHT (STORIES/ FEET)	FLOOR AREA (SQ. FT.)	BUILDING COVERAGE (%)
REQUIRED	20,000 (MIN.)	N/A	N/A	100 (MIN.)	40 (MIN.)	10 (MIN.)	30 (MIN.)	50% (MIN.)	2.5 OR 35' MAX.	MAX.	15% MAX.
LOT 1	91,761	2.1065	272	337	111	94	87	±94%	< 2.5	4,625	2.2%
LOT 2	402,124	9.2315	1,012	397	109	13	367	±99%	< 2.5	4,500	0.5%
LOT 3	203,271	4.6665	635	320	155	57	443	±98%	< 2.5	5,550	1.0%

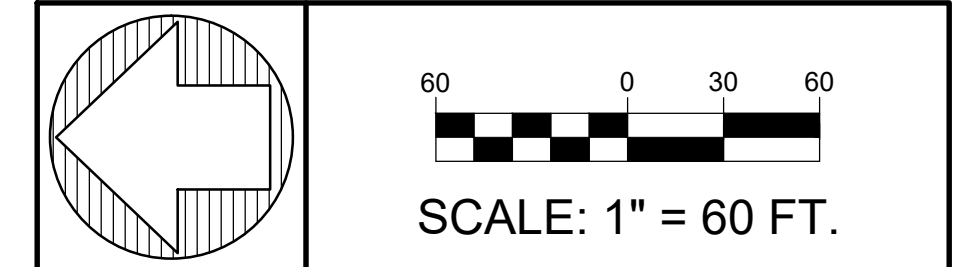
- NOTES:  
 1. SIDE YARDS: LOTS WITH A WIDTH OF 70 FEET OR MORE = 20% OF WIDTH TO A MAXIMUM OF 10 FEET.  
 2. SIDE YARDS: LOTS WITH A WIDTH LESS THAN 70 FEET = 15% OF WIDTH TO A MINIMUM OF 5 FEET.  
 3. THE MAXIMUM BUILDING COVERAGE FOR DWELLING USE SHALL NOT EXCEED 65% OF THE ALLOWED FLOOR AREA RATIO.



VICINITY MAP SCALE: 1" = 500'

**Dig Safely. New York**  
 800-962-7962  
 www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care



OWNER/APPLICANT  
**POMONA DEVELOPMENT, LLC**  
 200 HIGH POINT DRIVE, PH-3  
 HARTSDALE, NEW YORK 10530

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
 • COPYRIGHT 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS		
#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:	SECTION: 23.15
	BLOCK: 1
	LOT: 43
	SUBLOT: ----
	DRAWN BY: JCA
	CHECKED: KCS/TC3
	PROJECT: BOGA-REVOLUTIONARY RD
	DATE: MAY 19, 2021
	JOB #: 150207

STATE OF NEW YORK  
 TIMOTHY L. CRONIN III  
 LICENSED PROFESSIONAL ENGINEER  
 062980

TIMOTHY L. CRONIN III, P.E.  
 LICENSE #062980

**CRONIN ENGINEERING**  
 PROFESSIONAL ENGINEERING & CONSULTING  
 (914) 736-3664

39 Arlo Lane  
 Cortlandt Manor, New York 10567

ZONING COMPLIANCE  
**SUBDIVISION PLAN FOR POMONA DEVELOPMENT**  
 LOCATION:  
 REVOLUTIONARY ROAD  
 CORTLANDT MANOR, NEW YORK  
 SHEET 4 OF 14      ZC-3.1

**LOT COUNT CALCULATIONS**

GROSS PARCEL AREA (GPA)	731,184 SF
WETLANDS, WATERBODIES & WATERCOURSES (WWW)	0 SF
50% WWW BUFFER AREA (50% BAWWW)	0 SF
FRESHWATER WETLAND (FW)	6,622 SF
50% FW BUFFER AREA (50% BAFW)	90,550 SF
ONE-HUNDRED YEAR FLOOD BOUNDARY (FB)	0 SF
STEEP SLOPES (SS)	201,362 SF
NET PARCEL AREA (NPA)	477,925 SF
MINIMUM LOT SIZE (MLS)	47,793 SF
NUMBER OF LOTS (N)	21.5 LOTS

N = (GPA - WWW - 50% BAWWW - FW - 50% BAFW - FB - SS) - 10% NPA

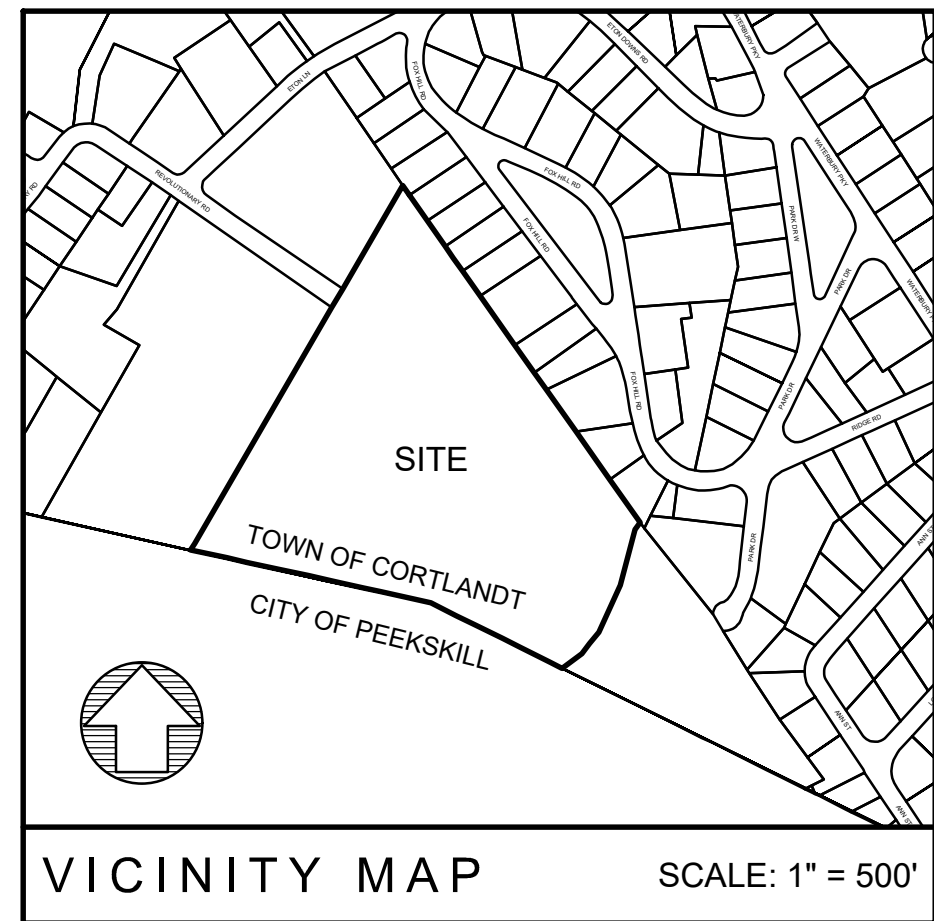
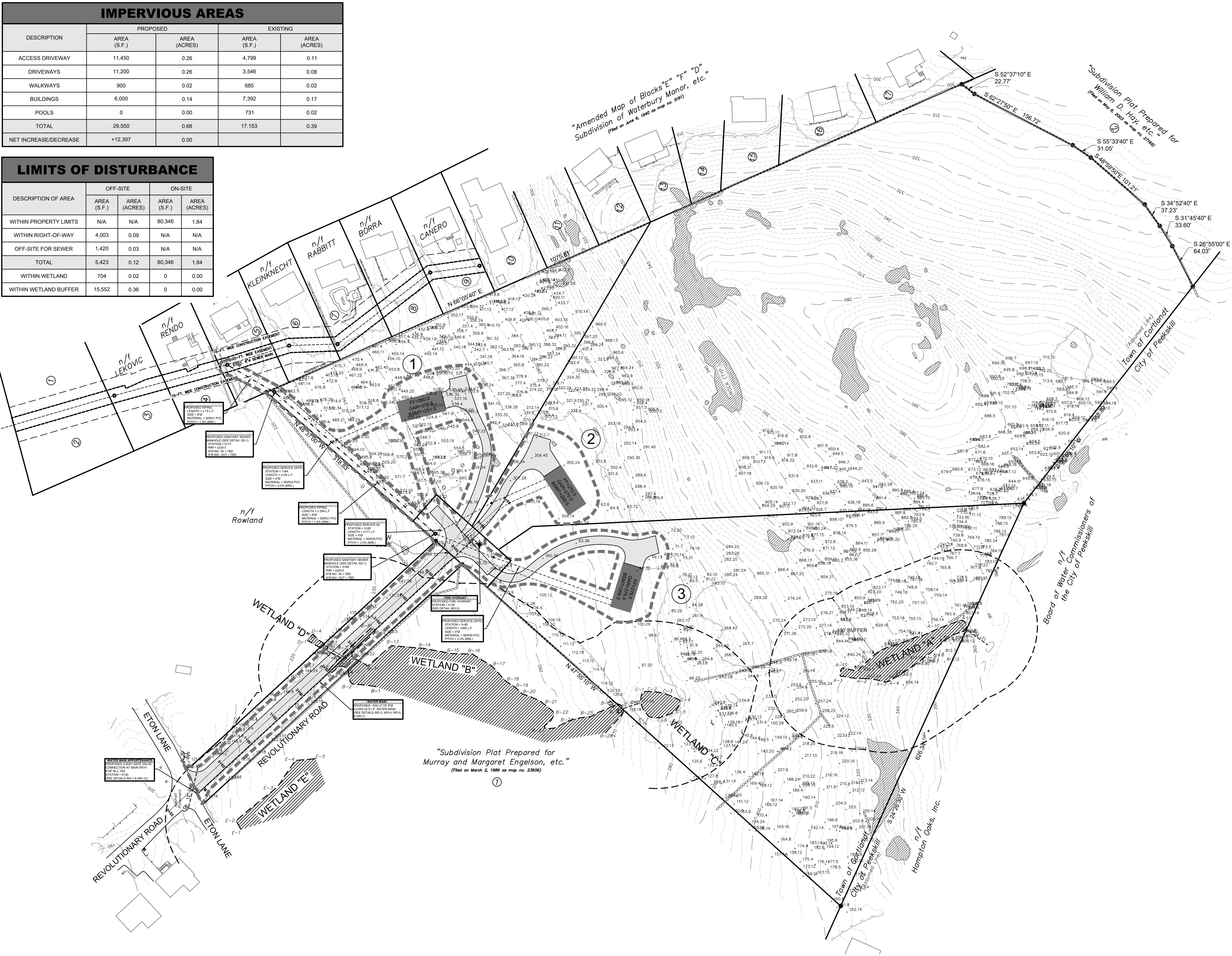
MLS

N = ((731,184 - 0 - 0 - 6,622 - 0.5\*(90,550) - 0 - 201,362) - 47,793) / 20,000

N = 21.5 LOTS

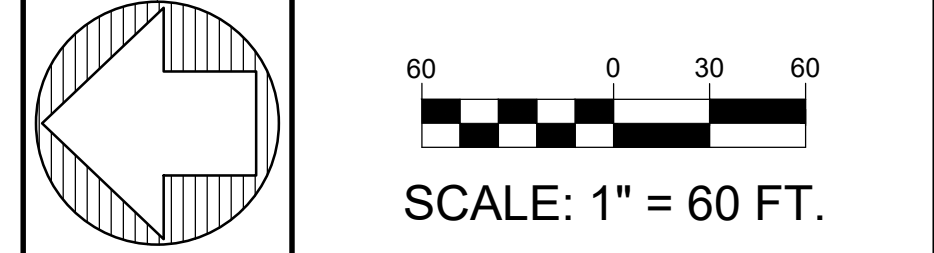
DESCRIPTION	PROPOSED		EXISTING	
	AREA (S.F.)	AREA (ACRES)	AREA (S.F.)	AREA (ACRES)
ACCESS DRIVEWAY	11,450	0.26	4,799	0.11
DRIVEWAYS	11,200	0.26	3,546	0.08
WALKWAYS	900	0.02	685	0.02
BUILDINGS	6,000	0.14	7,392	0.17
POOLS	0	0.00	731	0.02
TOTAL	29,550	0.68	17,153	0.39
NET INCREASE/DECREASE	+12,397	0.00		

DESCRIPTION OF AREA	OFF-SITE		ON-SITE	
	AREA (S.F.)	AREA (ACRES)	AREA (S.F.)	AREA (ACRES)
WITHIN PROPERTY LIMITS	N/A	N/A	80,346	1.84
WITHIN RIGHT-OF-WAY	4,003	0.09	N/A	N/A
OFF-SITE FOR SEWER	1,420	0.03	N/A	N/A
TOTAL	5,423	0.12	80,346	1.84
WITHIN WETLAND	704	0.02	0	0.00
WITHIN WETLAND BUFFER	15,552	0.36	0	0.00



**Dig Safely. New York**  
800-962-7962  
www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care



OWNER/APPLICANT  
**POMONA DEVELOPMENT, LLC**  
200 HIGH POINT DRIVE, PH-3  
HARTSDALE, NEW YORK 10530

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
• COPYRIGHT © 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS		
#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:	SECTION: 23.15
	BLOCK: 1
	LOT: 43
	SUBLOT: -----
	DRAWN BY: JCA
	CHECKED: KCS/TC3
	PROJECT: BOGA-REVOLUTIONARY RD
	DATE: MAY 19, 2021
	JOB #: 150207

TIMOTHY L. CRONIN III, P.E.  
LICENSE #062980

**CRONIN ENGINEERING**  
PROFESSIONAL ENGINEERING & CONSULTING  
(914) 736-3664

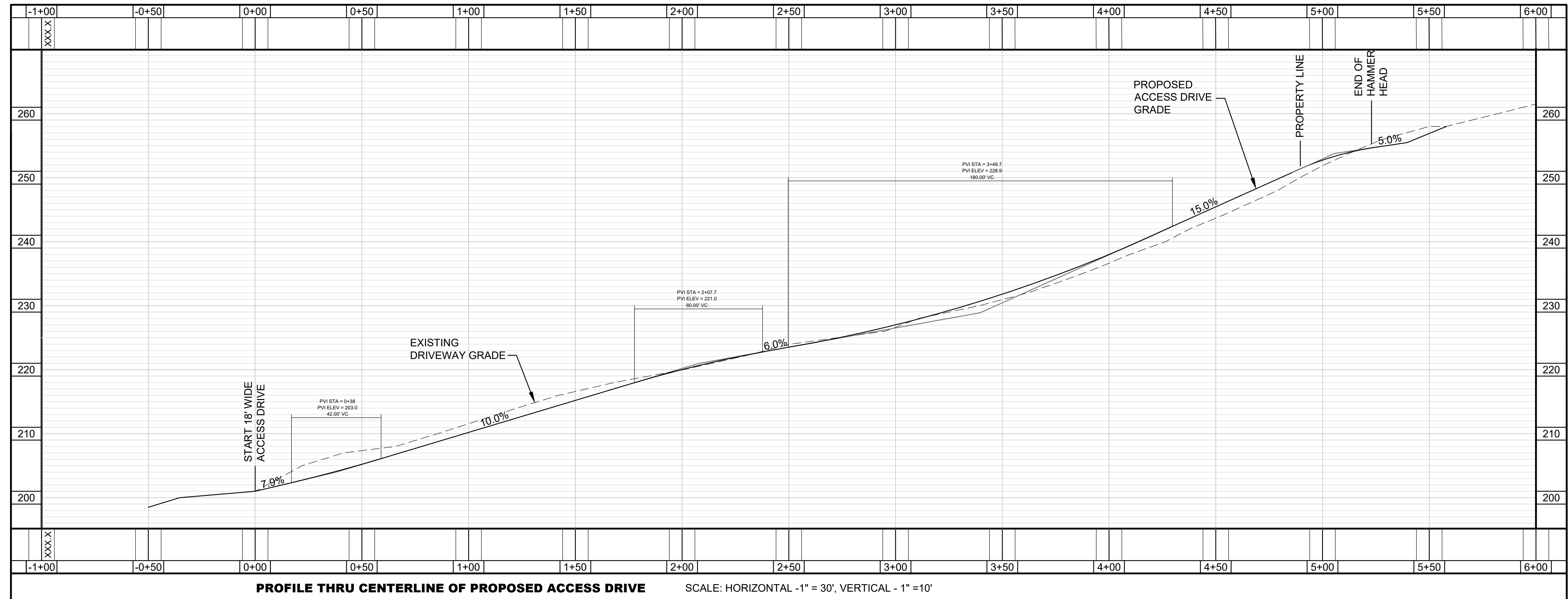
39 Arlo Lane  
Cortlandt Manor, New York 10567

UTILITY & GRADING PLAN

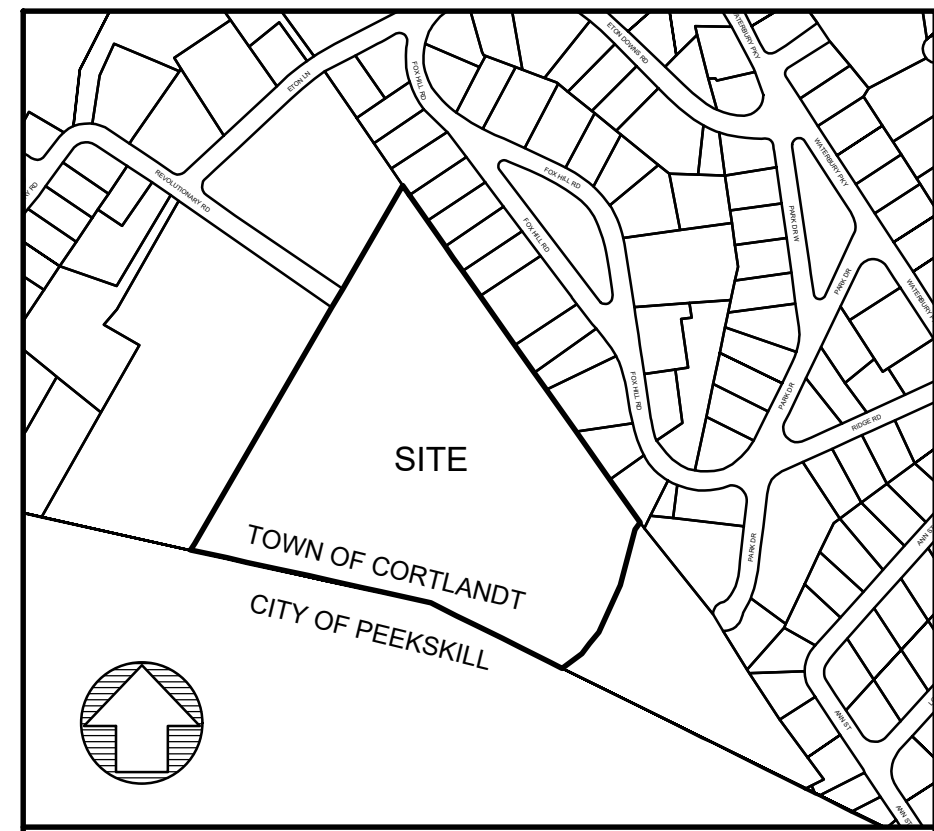
**SUBDIVISION PLAN FOR POMONA DEVELOPMENT**

LOCATION:  
REVOLUTIONARY ROAD  
CORTLANDT MANOR, NEW YORK

SHEET 5 OF 14      UG-4.1



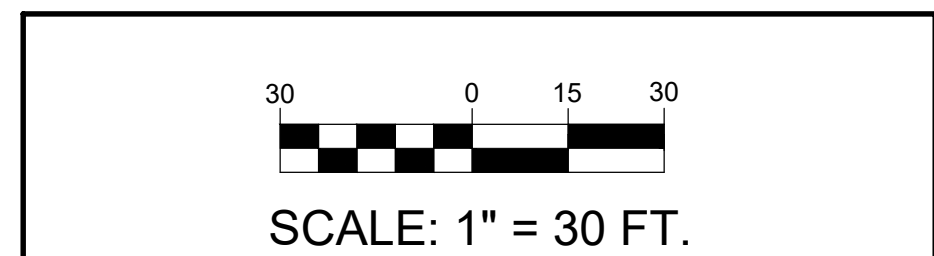
PROFILE THRU CENTERLINE OF PROPOSED ACCESS DRIVE SCALE: HORIZONTAL - 1" = 30', VERTICAL - 1" = 10'



VICINITY MAP SCALE: 1" = 500'

**Dig Safely. New York**  
 800-962-7962  
 www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care



OWNER/APPLICANT  
**POMONA DEVELOPMENT, LLC**  
 200 HIGH POINT DRIVE, PH-3  
 HARTSDALE, NEW YORK 10530

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
 • COPYRIGHT 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS		
#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:	
SECTION:	23.15
BLOCK:	1
LOT:	43
SUBLOT:	----
DRAWN BY:	JCA
CHECKED:	KCS/TC3
PROJECT:	BOGA-REVOLUTIONARY RD
DATE:	MAY 19, 2021
JOB #:	150207

TIMOTHY L. CRONIN III, P.E.  
 LICENSE #062980

**CRONIN ENGINEERING**  
 PROFESSIONAL ENGINEERING & CONSULTING  
 (914) 736-3664

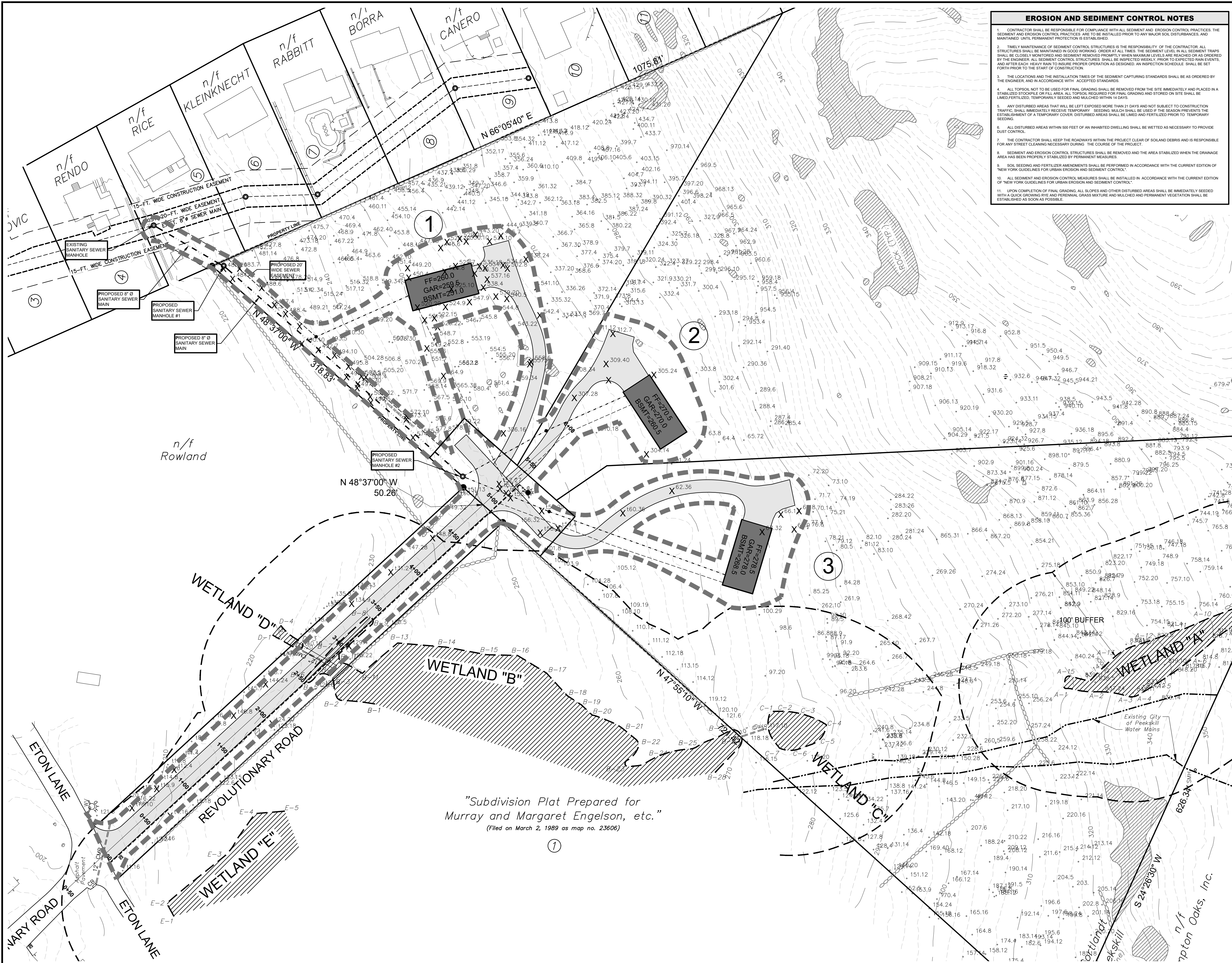
39 Arlo Lane  
 Cortlandt Manor, New York 10567

ACCESS DRIVE PROFILE

**SUBDIVISION PLAN FOR POMONA DEVELOPMENT**

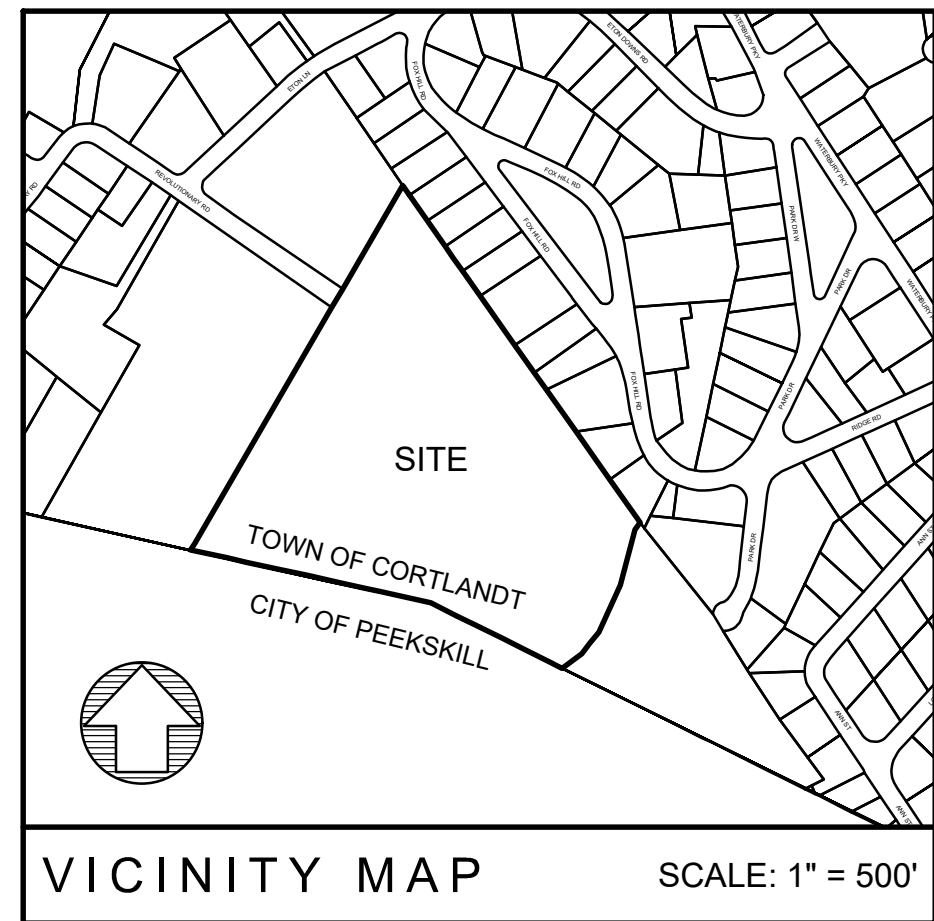
LOCATION:  
 REVOLUTIONARY ROAD  
 CORTLANDT MANOR, NEW YORK

SHEET 7 OF 14      RP-5.1



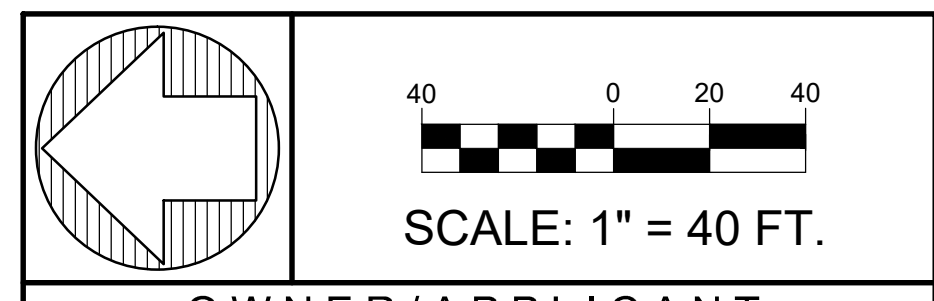
**EROSION AND SEDIMENT CONTROL NOTES**

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVELS IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDING AND MULCHED WITHIN 14 DAYS.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 31 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOLID DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- UPON COMPLETION OF FINAL GRADING, ALL SLOPES AND OTHER DISTURBED AREAS SHALL BE IMMEDIATELY SEEDING WITH A QUICK GERMINATING PERENNIAL GRASS MIXTURE AND MULCHED AND PERMANENT VEGETATION SHALL BE ESTABLISHED AS SOON AS POSSIBLE.



**Dig Safely. New York**  
**800-962-7962**  
 www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care



**OWNER/APPLICANT**  
**POMONA DEVELOPMENT, LLC**  
 200 HIGH POINT DRIVE, PH-3  
 HARTSDALE, NEW YORK 10530

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
 • COPYRIGHT 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

**REVISIONS**

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:  
 SECTION: 23.15  
 BLOCK: 1  
 LOT: 433  
 SUBLOT: ---  
 DRAWN BY: JCA  
 CHECKED: KCS/TC3  
 PROJECT: BOGA-REVOLUTIONARY RD  
 DATE: MAY 19, 2021  
 JOB #: 150207

**STATE OF NEW YORK**  
 TIMOTHY L. CRONIN III  
 LICENSED PROFESSIONAL ENGINEER  
 062980  
 TIMOTHY L. CRONIN III, P.E.  
 LICENSE #062980

**CRONIN ENGINEERING**  
 PROFESSIONAL ENGINEERING & CONSULTING  
 (914) 736-3664

39 Arlo Lane  
 Cortlandt Manor, New York 10567

**EROSION & SEDIMENT CONTROL PLAN**

**SUBDIVISION PLAN FOR POMONA DEVELOPMENT**

LOCATION:  
 REVOLUTIONARY ROAD  
 CORTLANDT MANOR, NEW YORK

SHEET 9 OF 14      **ESC-7.1**

"Subdivision Plat Prepared for Murray and Margaret Engelson, etc."  
 (Filed on March 2, 1989 as map no. 23606)

### EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVELS IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMITED FERTILIZED, TEMPORARILY SEEDING AND MULCHED WITHIN 14 DAYS.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 31 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOLID AND LIQUID DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL."
- UPON COMPLETION OF FINAL GRADING, ALL SLOPES AND OTHER DISTURBED AREAS SHALL BE IMMEDIATELY SEEDING WITH A QUICK GROWING RYE AND PERENNIAL GRASS MIXTURE AND MULCHED AND PERMANENT VEGETATION SHALL BE ESTABLISHED AS SOON AS POSSIBLE.

### ESC-1 SILT FENCE INSTALLATION N.T.S.

**ISOMETRIC VIEW**

**SECTION VIEW**

**INSTALLATION NOTES:**

- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED AS WELL.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOODY VEGETATION AS WELL AS OTHER SEED STONES, ROCKS, ORGANIC MATERIAL, AND OTHER QUESTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVELING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
- THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL CUT AND FILL SLOPES SHALL BE 1:2 OR FLATTER.

### ESC-2 STABILIZED CONSTRUCTION ENTRANCE N.T.S.

**SECTION VIEW**

**INSTALLATION NOTES:**

- THE INSTALLATION OF EACH OF THE COMPONENTS SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PAGE.
- THE HAY BALES ARE TO BE LOCATED 18" UP SLOPE OF THE SILT FENCE.

### ESC-5 STRAW BALE & SILT FENCE N.T.S.

**SECTION VIEW**

**INSTALLATION NOTES:**

- GRADE APPROACH TO INLET UNIFORMLY AROUND THE BASIN.
- PROVIDE WEEP HOLES AND PROTECT WITH GRAVEL AS SHOWN.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA (MAX 1 ACRE), SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IN 6" LIFTS AND STABILIZE WITH PERMANENT SEEDING OR PAVEMENT WHERE APPLICABLE.
- REFER TO STRAW BALE DIKE AND SILT FENCE INSTALLATION DETAILS IN THIS PLAN SET FOR INSTALLATION GUIDELINES.

\* EITHER A STRAW BALE DIKE OR SILT FENCE MAY BE USED FOR INLET PROTECTION AS SPECIFIED BY QUALIFIED INSPECTOR.

### ESC-13 TEMPORARY SWALE N.T.S.

**SECTION**

**PLAN**

**INSTALLATION NOTES:**

- ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
- DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
- DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
- THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
- ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO AS NOT TO INTERFERE WITH THE FUNCTIONING OF THE SWALE.
- INSPECTION AND MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
- STABILIZATION SHALL BE AS PER THE CHART BELOW.

FLOW CHANNEL STABILIZATION		
TYPE OF TREATMENT	CHANNEL GRADE	A (5 AC. OR LESS)
1	0.5 - 3.0%	SEED AND STRAW MULCH
2	3.1 - 5.0%	SEED AND STRAW MULCH
3	5.1 - 8.0%	SEED AND JUTE MESH LINED - RIPRAP 2"
4	8.1 - 20%	LINED - RIPRAP 4-8"

### ESC-3 SOIL STOCKPILE N.T.S.

**SECTION VIEW**

**FRONT VIEW**

**ISOMETRIC VIEW**

**INSTALLATION NOTES:**

- AREA CHOSEN FOR STOCK PILING OPERATIONS TO BE DRY AND STABLE.
- MAXIMUM SLOPE OF PILE TO BE 1 VERTICAL ON 2 HORIZONTAL.
- REFER TO SILT FENCE INSTALLATION DETAILS IN THIS PLAN SET FOR INSTALLATION GUIDELINES.

### ESC-9 TEMPORARY SEDIMENT TRAP CONSTRUCTION N.T.S.

**ISOMETRIC VIEW**

**SECTION VIEW**

**INSTALLATION NOTES:**

- EXCAVATE A 4 INCH X 4 INCH TRENCH ALONG THE LOWER SIDE OF A SLOPE AS SPECIFIED ON SITE PLAN.
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNHILL) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF STORM WATER FLOW).
- DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
- LAY THE TOE-IN FLAP OF FABRIC FLAT IN THE BOTTOM OF THE TRENCH AND BACKFILL THE TRENCH AND TAMP THE SOIL OVER THE FLAP TO SECURELY HOLD THE FABRIC IN PLACE. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
- JOIN SECTIONS AS SHOWN ABOVE.
- PREFABRICATED UNITS SHALL BE OF TYPE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.

### ESC-10 SLOPE STABILIZATION N.T.S.

**SECTION**

**PLAN**

**INSTALLATION NOTES:**

- STONE SIZE SHALL BE 1" TO 4" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT ONLY.
- LENGTH SHALL BE AS SHOWN BUT NOT LESS THAN 5'
- THE THICKNESS SHALL BE NO LESS THAN 12" AT THE CONSTRUCTION ENTRANCE.
- THE WIDTH SHALL BE 24" AT A MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF THE TRAVELED WAY WHEN THERE IS ONLY ONE ACCESS POINT TO SITE.
- FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF ANY STONE. FILTER FABRIC WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE CONSTRUCTION.
- IF SURFACE WATER IS FLOWING TOWARD THE CONSTRUCTION ENTRANCE, IT SHALL BE PIPED UNDERNEATH THE STABILIZED ENTRANCE. IF PIPING IS IMPRACTICAL, A RISE WITH SIDE SLOPES SHALL BE PERMITTED.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT FROM CONSTRUCTION INTO THE PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO CAPTURE SEDIMENT ANY SEDIMENT TRAPPED, DROPPED OR WASHED INTO PUBLIC RIGHT OF WAY SHALL BE REMOVED IMMEDIATELY.
- WHEELS OF CONSTRUCTION VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING ONTO THE PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROPRIATE SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL GRADE IS ACHIEVED.

### ESC-11 TEMPORARY SWALE N.T.S.

**SECTION**

**PLAN**

**INSTALLATION NOTES:**

- ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
- DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
- DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
- THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
- ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO AS NOT TO INTERFERE WITH THE FUNCTIONING OF THE SWALE.
- INSPECTION AND MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
- STABILIZATION SHALL BE AS PER THE CHART BELOW.

### ESC-12 TEMPORARY SWALE N.T.S.

**SECTION**

**PLAN**

**INSTALLATION NOTES:**

- ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
- DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
- DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
- THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
- ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO AS NOT TO INTERFERE WITH THE FUNCTIONING OF THE SWALE.
- INSPECTION AND MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
- STABILIZATION SHALL BE AS PER THE CHART BELOW.

### ESC-4 CONSTRUCTION SAFETY FENCE INSTALLATION N.T.S.

**BLOW UP VIEW**

**ISOMETRIC VIEW**

**INSTALLATION NOTES:**

- SPACE SUPPORT FENCE POSTS AT 6'-0" INTERVALS.
- DRIVE SUPPORT POSTS 42" INTO GROUND.
- FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WIRING OR ZIP TYING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WIRING OR ZIP TYING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
- PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
- PLASTIC FENCE MATERIAL SHALL BE MORNING BARRIER FENCE, COLOR-INTERNATIONAL ORANGE, AS MANUFACTURED BY ADPI ENTERPRISES, INC. OR APPROVED EQUAL.

### ESC-6 EXCAVATED DROP INLET PROTECTION N.T.S.

**SECTION VIEW**

**INSTALLATION NOTES:**

- GRADE APPROACH TO INLET UNIFORMLY AROUND THE BASIN.
- PROVIDE WEEP HOLES AND PROTECT WITH GRAVEL AS SHOWN.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA (MAX 1 ACRE), SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IN 6" LIFTS AND STABILIZE WITH PERMANENT SEEDING OR PAVEMENT WHERE APPLICABLE.
- REFER TO STRAW BALE DIKE AND SILT FENCE INSTALLATION DETAILS IN THIS PLAN SET FOR INSTALLATION GUIDELINES.

\* EITHER A STRAW BALE DIKE OR SILT FENCE MAY BE USED FOR INLET PROTECTION AS SPECIFIED BY QUALIFIED INSPECTOR.

### ESC-7 SUBDIVISION PLAN FOR POMONA DEVELOPMENT

VICINITY MAP SCALE: 1" = 500'

SCALE: NONE OR AS NOTED

OWNER/APPLICANT  
POMONA DEVELOPMENT, LLC

200 HIGH POINT DRIVE, PH-3  
HARTSDALE, NEW YORK 10530

REVISIONS

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:  
SECTION: 23.15  
BLOCK: 1  
LOT: 43  
SUBLOT: ----  
DRAWN BY: JCA  
CHECKED: KCS/TC3  
PROJECT: BOGA-REVOLUTIONARY RD  
DATE: MAY 19, 2021  
JOB #: 150207

STATE OF NEW YORK  
TIMOTHY L. CRONIN III  
LICENSED PROFESSIONAL ENGINEER  
062980

TIMOTHY L. CRONIN III, P.E.  
LICENSE #062980

### ESC-7.2 SUBDIVISION PLAN FOR POMONA DEVELOPMENT

LOCATION:  
REVOLUTIONARY ROAD  
CORTLANDT MANOR, NEW YORK

SHEET 10 OF 14 ESC-7.2

### ESC-7.2 SUBDIVISION PLAN FOR POMONA DEVELOPMENT

LOCATION:  
REVOLUTIONARY ROAD  
CORTLANDT MANOR, NEW YORK

SHEET 10 OF 14 ESC-7.2

### Dig Safely. New York

800-962-7962  
www.digsafelynewyork.org

Call Before You Dig  
 Wait The Required Time  
 Confirm Utility Response  
 Respect the Marks  
 Dig With Care

### ESC-7.2 SUBDIVISION PLAN FOR POMONA DEVELOPMENT

LOCATION:  
REVOLUTIONARY ROAD  
CORTLANDT MANOR, NEW YORK

SHEET 10 OF 14 ESC-7.2

### ESC-7.2 SUBDIVISION PLAN FOR POMONA DEVELOPMENT

LOCATION:  
REVOLUTIONARY ROAD  
CORTLANDT MANOR, NEW YORK

SHEET 10 OF 14 ESC-7.2

### ESC-7.2 SUBDIVISION PLAN FOR POMONA DEVELOPMENT

LOCATION:  
REVOLUTIONARY ROAD  
CORTLANDT MANOR, NEW YORK

SHEET 10 OF 14 ESC-7.2



### SANITARY SEWER NOTES

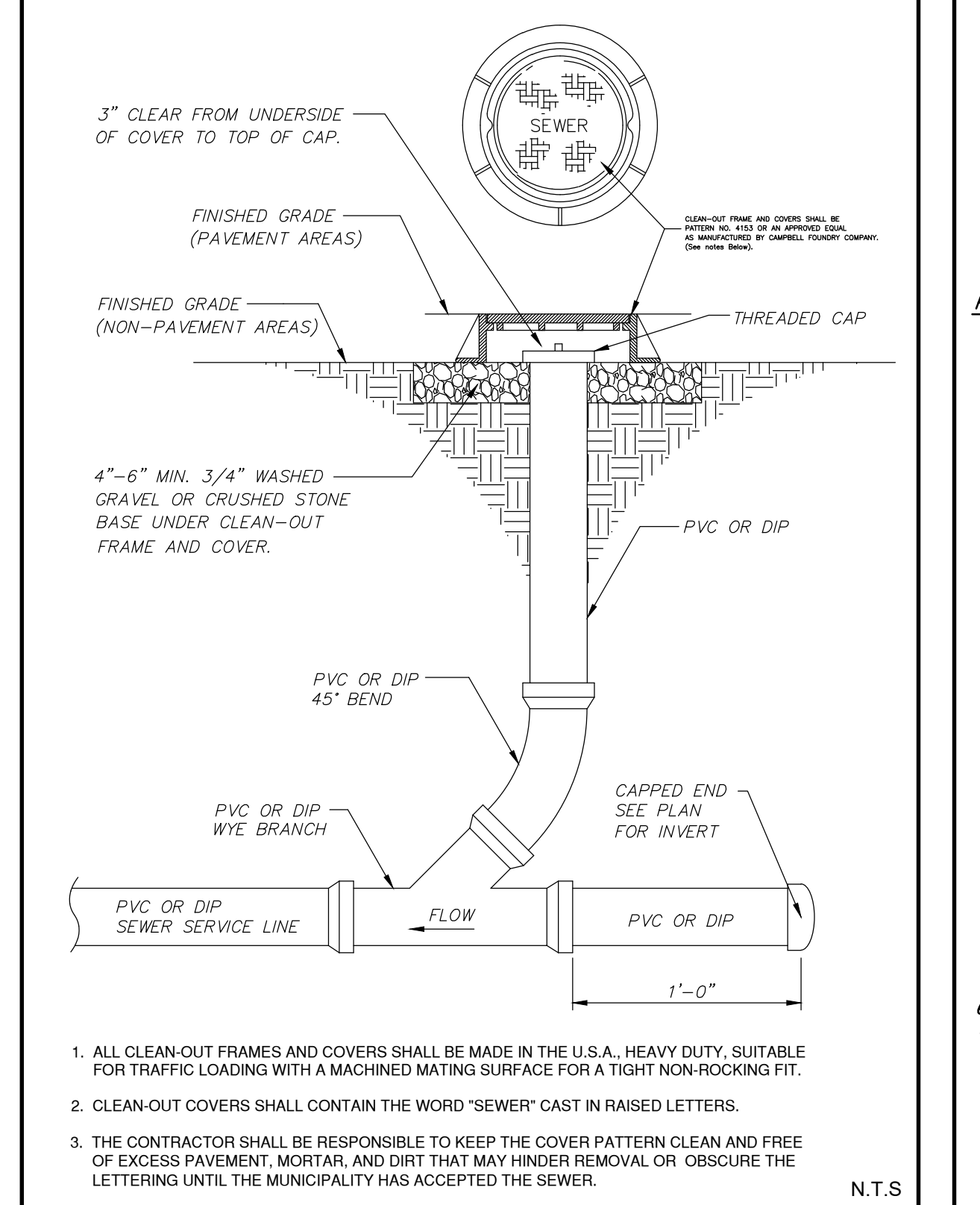
1. THE PROPOSED SANITARY SEWER SYSTEM INSTALLED FOR THE MILL COURT CROSSING SUBDIVISION SHALL BE DEDICATED TO THE TOWN OF CORTLANDT.
2. ALL MATERIALS, METHODS AND PROCEDURES REQUIRED FOR THE INSTALLATION OF THE SANITARY SEWER SYSTEM SHALL BE IN COMPLETE CONFORMANCE WITH THE LATEST WESTCHESTER COUNTY DEPARTMENT OF HEALTH REGULATIONS AND ANY OTHER APPROVING AUTHORITY.
3. ALL SANITARY SEWER MAINS SHALL BE PVC SDR21 PIPE OR HEAVIER IF REQUIRED. ALL SANITARY SEWER SERVICE LATERALS SHALL BE PVC SDR35 OR HEAVIER IF REQUIRED. ALL GRAVITY SEWER MAINS SHALL BE 8" DIAMETER. ALL GRAVITY SEWER LATERALS SHALL BE 4" DIAMETERS.
4. SANITARY MANHOLES SHALL BE PRE-CAST CONCRETE AS SPECIFIED AND PLACED AT MAXIMUM INTERVALS OF 300 FEET ON STRAIGHT RUNS OF PIPE. MANHOLES ARE REQUIRED AT EVERY CHANGE IN ALIGNMENT (VERTICALLY AND HORIZONTALLY), AND LOCATED IN AREAS SUCH THAT STORMWATER WILL NOT ENTER THE MANHOLE. ALL MANHOLES SHALL MEET H-25 LOADING REQUIREMENTS MINIMUM.
5. HEAVY-DUTY WHITE FITTINGS, AS MANUFACTURED BY GPK PRODUCTS, INC. OR APPROVED EQUAL, SHALL BE USED FOR THE CONSTRUCTION OF THE PVC SEWER SYSTEM.
6. ALL BUILDING SEWER SERVICES SHALL HAVE A MINIMUM PITCH OF 2%.
7. CLEANOUTS ARE TO BE PROVIDED ON THE SERVICE LATERAL AT THE PROPERTY LINE OR AS DIRECTED BY THE TOWN. CLEANOUTS SHALL BE LOCATED A MAXIMUM OF 50 FEET APART.
8. ALL SANITARY SEWER CONSTRUCTION AND INSTALLATION SHALL BE AS DETAILED ON THESE PLANS. ANY CHANGE SHALL RECEIVE PRIOR APPROVAL FROM THE DESIGN ENGINEER AND APPROPRIATE TOWN & WCDH OFFICIALS.
9. SEWER SERVICE LINE INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF CORTLANDT DEPARTMENT OF TECHNICAL SERVICES.
10. SANITARY SEWER CONSTRUCTION SHALL MEET ALL SEWER CONSTRUCTION SPECIFICATIONS OF BOTH THE WESTCHESTER COUNTY DEPT OF HEALTH AND THE TOWN OF CORTLANDT.
11. ALL SANITARY SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10 FOOT SEPARATION, THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER.
12. ALL SANITARY SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.
13. ALL CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO ANY BACKFILLING.
14. THE PROPOSED SEWER SHALL BE INSTALLED, TESTED AND APPROVED IN ACCORDANCE WITH CHAPTER 20 OF THE "RECOMMENDED STANDARDS FOR SEWAGE WORKS" (a.k.a. 10 STATES STANDARDS).
15. SANITARY SEWER SERVICE LINES SHALL BE TESTED IN CONJUNCTION WITH THE SEWER MAINS TO THE PROPERTY LINE OR EASEMENT LINE IN ACCORDANCE WITH THE LATEST WESTCHESTER COUNTY DEPARTMENT OF HEALTH RULES & REGULATIONS.
16. TESTING OF THE MANHOLES WITH THE PIPELINE SHALL NOT BE PERMITTED. MANHOLES & SANITARY SEWER LINES SHALL BE TESTED INDEPENDENTLY OF EACH OTHER.
17. A MINIMUM 5 FEET POSITIVE HEAD IS REQUIRED FOR INFILTRATION/FILTRATION TESTS.
18. INFILTRATION/FILTRATION TESTS SHALL LAST A MINIMUM OF 2 HOURS AFTER COMPONENTS HAVE BEEN FILLED WITH WATER FOR A MINIMUM OF 24 HOURS.
19. ALL SEWER MAIN & MANHOLE TESTING SHALL BE MADE IN THE PRESENCE OF A TOWN OF CORTLANDT OFFICIAL AND A REPRESENTATIVE OF THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH. 48 HOURS NOTICE SHALL BE GIVEN TO THE TOWN OF CORTLANDT & THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH SO ARRANGEMENTS CAN BE MADE FOR THE REPRESENTATIVES TO WITNESS THE TEST.
20. EXFILTRATION / INFILTRATION TESTS: LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY. WATER TESTS SHALL BE PERFORMED UNDER A MINIMUM POSITIVE HEAD OF TWO (2) FEET (FIVE (5) FEET FOR WCDHF SEWERS). LOW PRESSURE AIR TESTING IS PERMITTED FOR PIPE LINES AND SHOULD CONFORM TO ASTM C-828. VACUUM TESTING IS PERMITTED FOR MANHOLES BUT IS NOT PERMISSIBLE FOR PIPELINES. THE MAXIMUM ALLOWABLE INFILTRATION/FILTRATION RATE FOR WATER PRESSURE TESTS ON SANITARY MANHOLES SHALL BE 4.5 GAL/DAY/MANHOLE.
21. AIR & VACUUM TESTING MAY BE PERFORMED ON THE SANITARY SEWER LINES AND MANHOLES IN LIEU OF HYDROSTATIC TESTING. AIR TESTING OF THE SANITARY SEWER LINES SHALL BE IN ACCORDANCE WITH ASTM F1417-92 STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR. VACUUM TESTING OF THE MANHOLES SHALL BE IN ACCORDANCE WITH THE LATEST RELEASE OF ATTACHMENT B AVACUUM TESTING OF MANHOLES FROM THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.

### LOW PRESSURE SANITARY SEWER NOTES

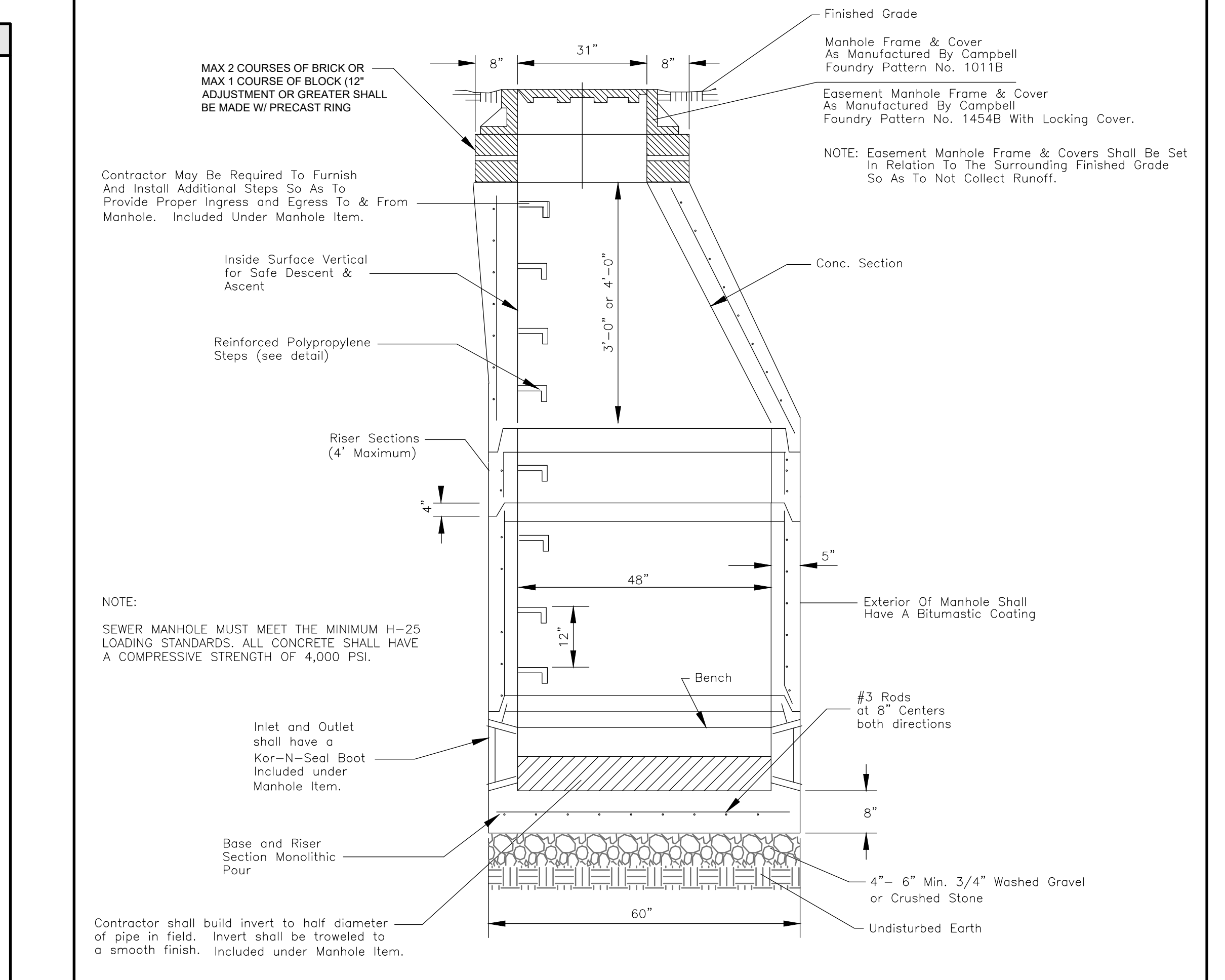
1. LOTS 4 & 5 SHALL BE PROVIDED WITH INDIVIDUAL PUMP STATIONS DUE TO THE TERRAIN OF THE PROPERTY.
2. THE TOWN OF CORTLANDT WILL OWN AND MAINTAIN THE LINES WITHIN THE ROAD RIGHT-OF-WAY.
3. THE HOMEOWNER(S) WILL BE RESPONSIBLE FOR THE INDIVIDUAL SEWER SERVICE LINES AND PUMPS. THE TOWN OF CORTLANDT WILL HOUSE SPARE PUMPS WHICH WILL BE PROVIDED BY THE APPLICANT. THE TOWN OF CORTLANDT WILL ALSO AGREE TO REPAIR THE FAILURE OF ANY INDIVIDUAL PUMP SYSTEM CONNECTING TO THIS LOW PRESSURE SEWER FORCE MAIN IF NOT DONE BY OWNER. THE TOWN OF CORTLANDT WILL CONTACT THE HOMEOWNER(S) AND IF THE HOMEOWNER(S) DOES NOT TAKE IMMEDIATE ACTION TO REPAIR THE SITUATION, THE TOWN OF CORTLANDT WILL UNDERTAKE THE NECESSARY REPAIRS AND BACK CHARGE THE PROPERTY OWNER.
4. THE TOWN OF CORTLANDT HAS THE AUTHORITY TO UNDERTAKE THE REPLACEMENT OF NON-WORKING SEWER PUMPS ON PRIVATE PROPERTY AT AN EXPENSE TO BE BORNE BY THE PROPERTY OWNER FOLLOWING NOTIFICATION OF THE PROPERTY OWNER AND THEIR FAILURE TO IMMEDIATELY TAKE ACTION THEMSELVES.

**WCDH NOTE**

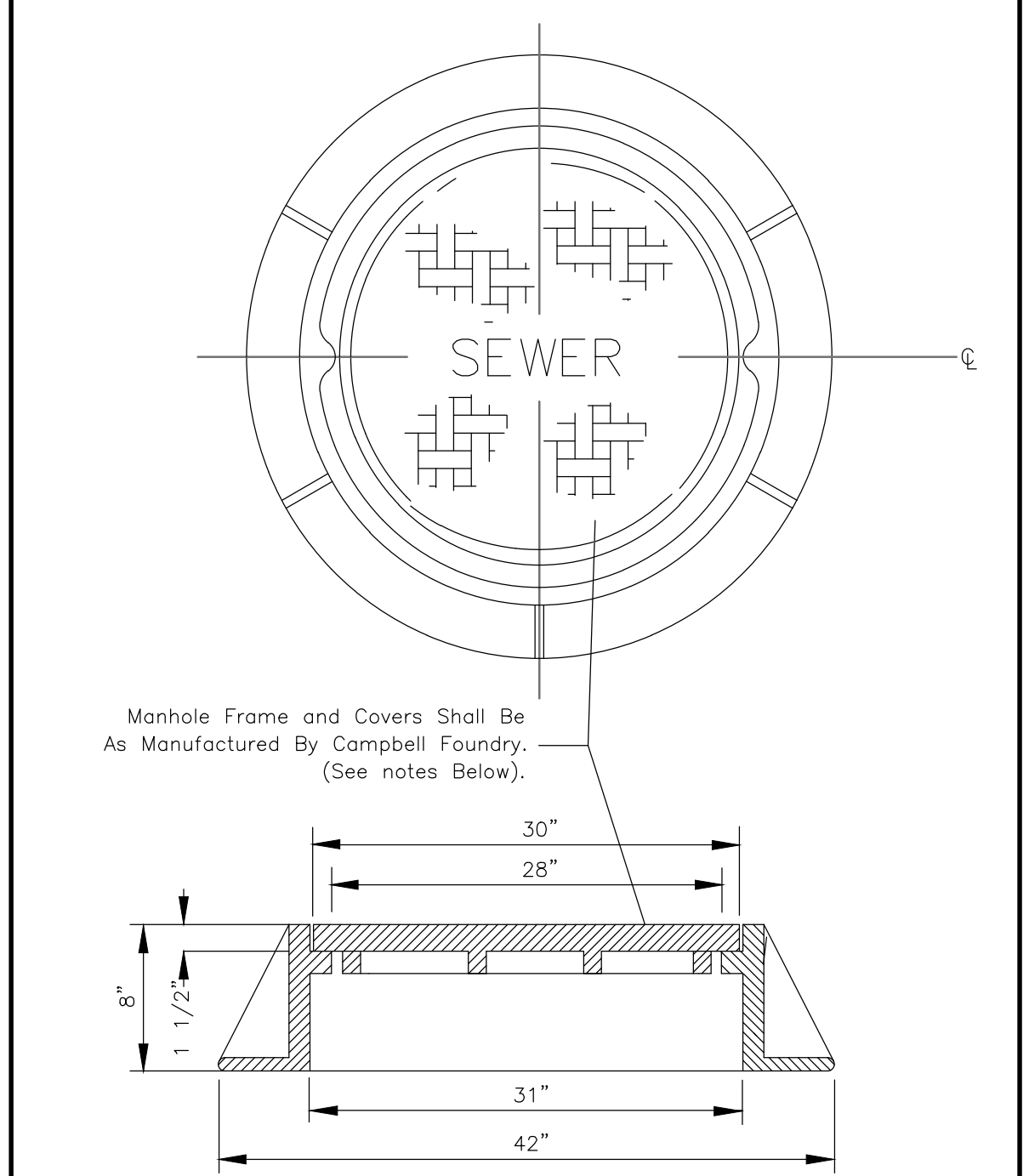
ONLY DETAILS RELEVANT TO THE SPECIFIC PUBLIC SEWER SUPPLY IMPROVEMENTS SHOWN ON THIS DRAWING ARE APPLICABLE.



**SD-5 SEWER SERVICE CLEANOUT ASSEMBLY** N.T.S.



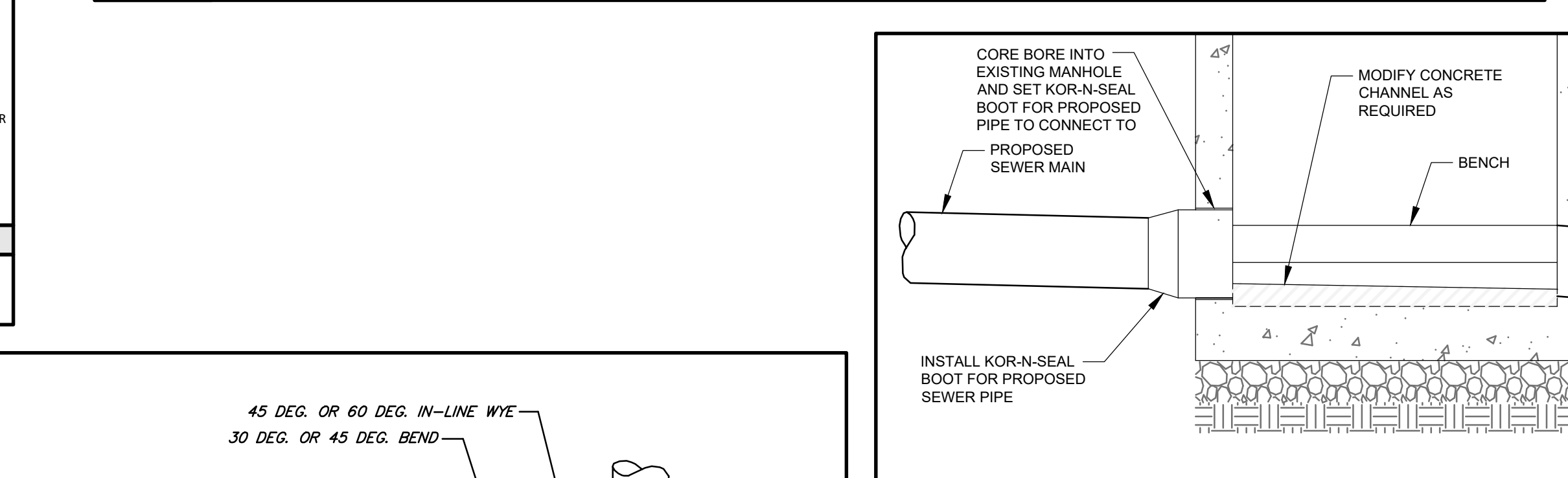
**SD-1 SANITARY SEWER MANHOLE** N.T.S.



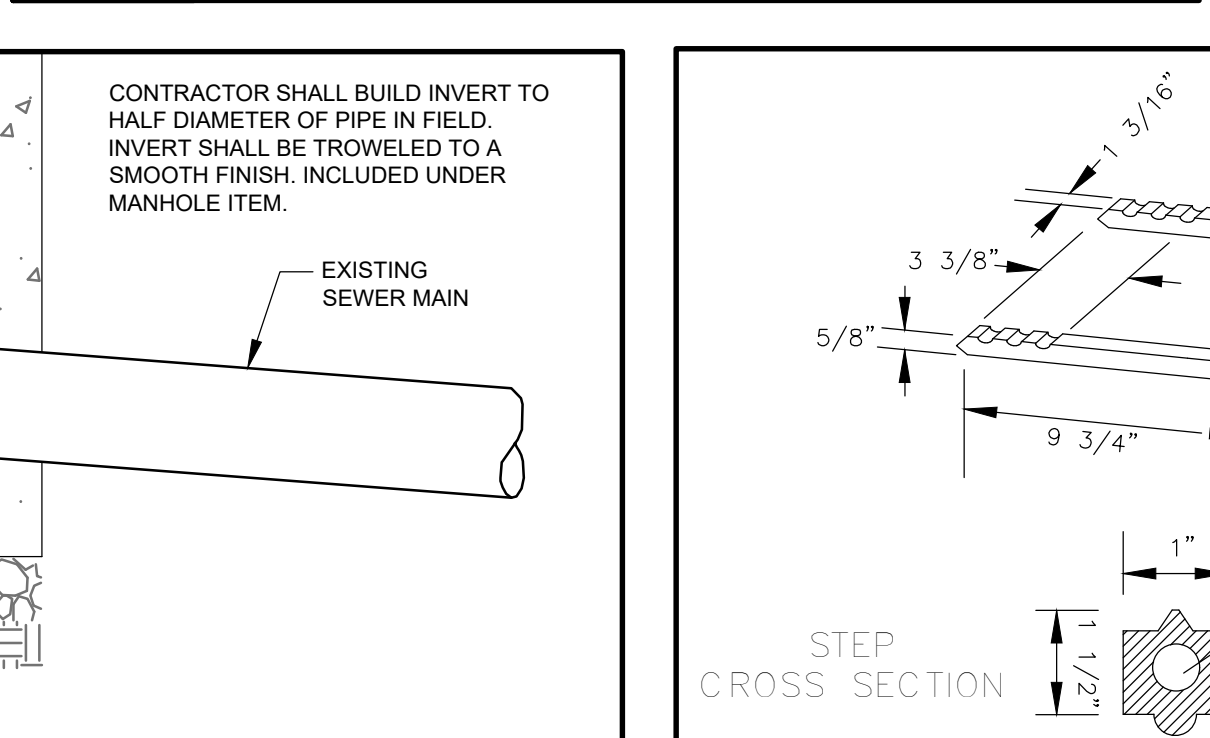
**NOTES**

1. ALL MANHOLE FRAMES AND COVERS SHALL BE MADE IN THE U.S.A., HEAVY DUTY, SUITABLE FOR TRAFFIC LOADING WITH A MACHINED MATING SURFACE FOR A TIGHT NON-ROCKING FIT.
2. MANHOLE COVERS:
  - A. STANDARD MANHOLE COVERS - SHALL BE SOLID NON-VENTED CASTINGS AS MANUFACTURED BY CAMPBELL CAMPBELL FOUNDRY, MODEL NO. 1011B. COVERS SHALL CONTAIN TWO WATERTIGHT CONCEALED PICKHOLES, AND THE WORD "SEWER" CAST IN TWO INCH HIGH RAISED LETTERS.
  - B. EASEMENT MANHOLE COVERS - SHALL BE SOLID NON-VENTED CASTINGS AS MANUFACTURED BY CAMPBELL FOUNDRY, MODEL NO. 1454B. COVERS SHALL HAVE A LOCKING MECHANISM, CONTAIN TWO WATERTIGHT CONCEALED PICKHOLES, AND THE WORD "SEWER" CAST IN TWO INCH HIGH RAISED LETTERS.
  - C. THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP THE COVER PATTERN CLEAN AND FREE OF EXCESS PAVEMENT, MORTAR, AND DIRT THAT MAY HINDER REMOVAL OR OBSCURE THE LETTERING UNTIL THE MUNICIPALITY HAS ACCEPTED THE SEWER.

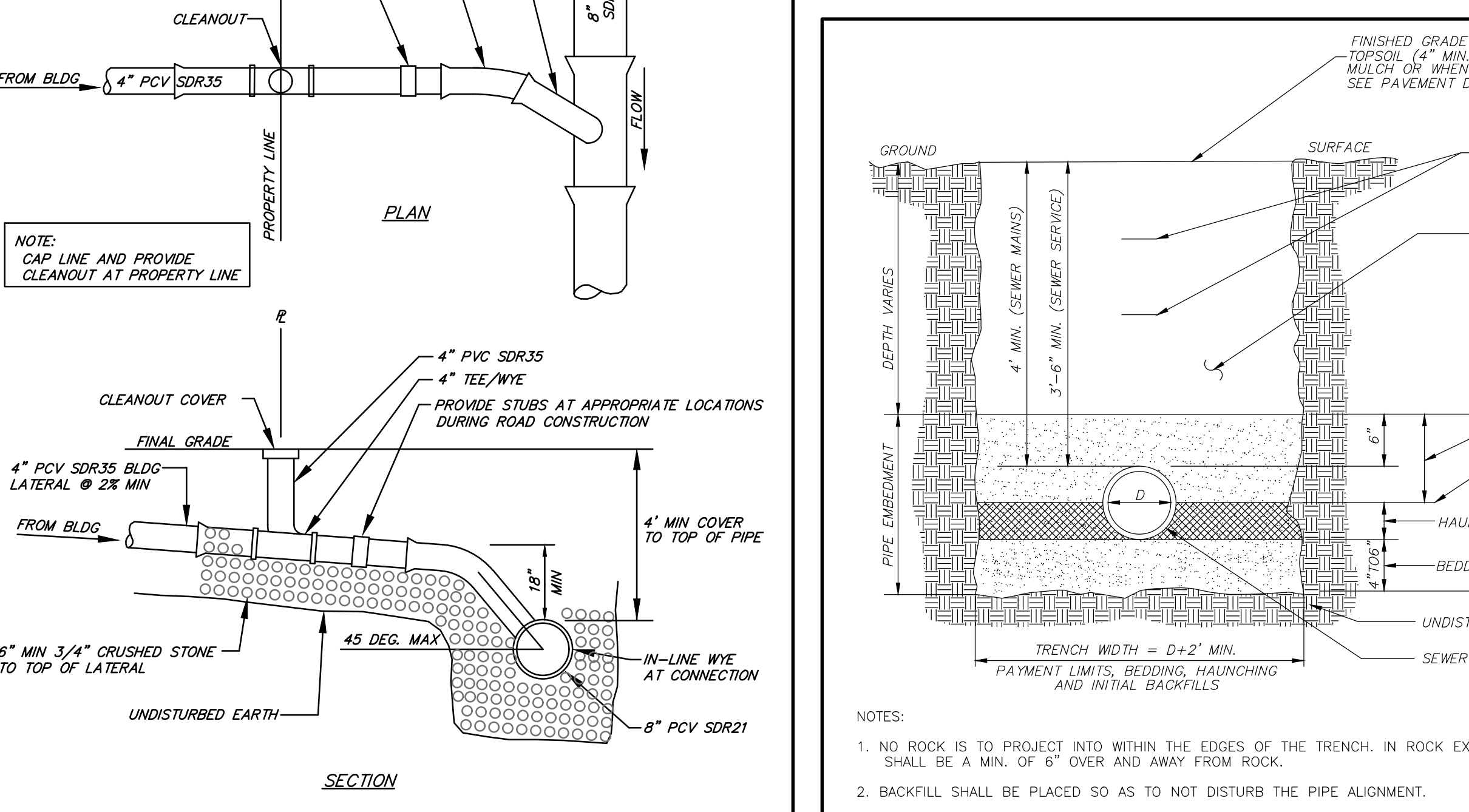
**SD-2 MANHOLE FRAME & COVER** N.T.S.



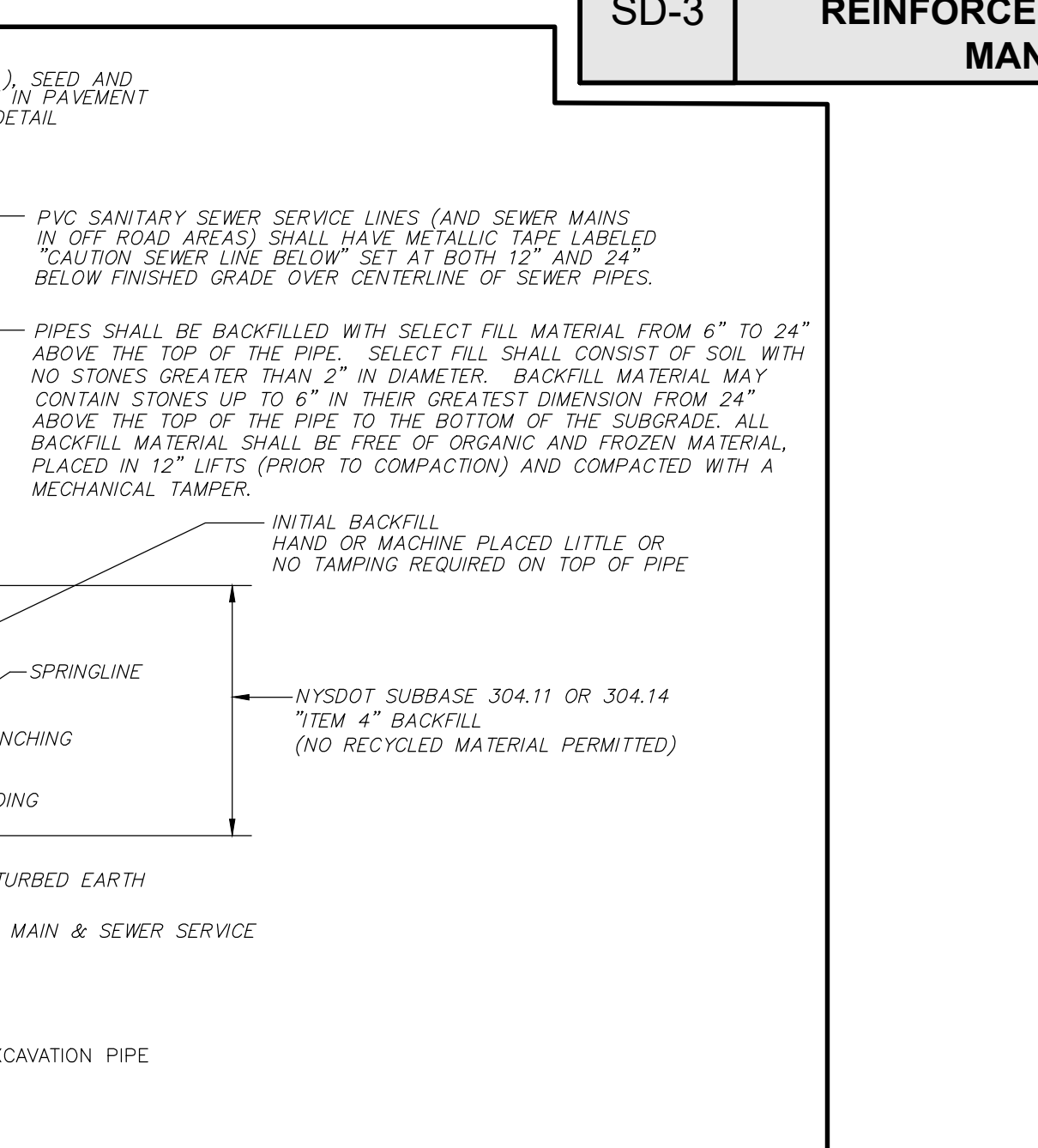
**SD-4 CONNECTION TO EXISTING SANITARY SEWER MANHOLE** N.T.S.



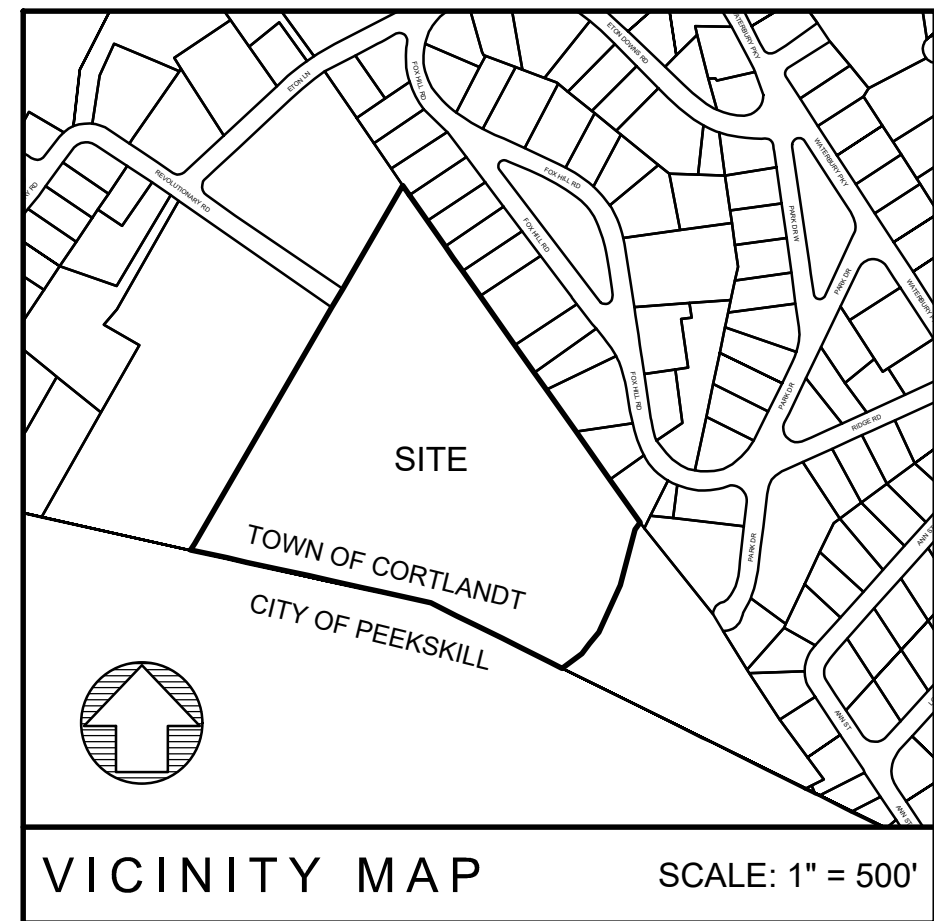
**SD-3 REINFORCED POLYPROPYLENE MANHOLE STEP** N.T.S.



**SD-6 SANITARY SEWER SERVICE CONNECTION** N.T.S.



**SD-7 SANITARY SEWER MAIN / SERVICE TRENCH** N.T.S.



**Dig Safely. New York**  
**800-962-7962**  
 www.digsafelynewyork.org

Call Before You Dig  
 Wait The Required Time  
 Confirm Utility Response  
 Respect the Marks  
 Dig With Care

SCALE: NONE OR AS NOTED

OWNER/APPLICANT

**POMONA DEVELOPMENT, LLC**

200 HIGH POINT DRIVE, PH-3  
 HARTSDALE, NEW YORK 10530

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
 • COPYRIGHT © 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS		
#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:		
SECTION:	23.15	
BLOCK:	1	
LOT:	43	
SUBLOT:	----	
DRAWN BY:	JCA	
CHECKED:	KCS/TC3	
PROJECT:	BOGA-REVOLUTIONARY RD	
DATE:	MAY 19, 2021	TIMOTHY L. CRONIN III, P.E. LICENSE #062980
JOB #:	150207	

**CRONIN ENGINEERING**  
 PROFESSIONAL ENGINEERING & CONSULTING  
 (914) 736-3664

**39 Arlo Lane**  
 Cortlandt Manor, New York 10567

**SANITARY SEWER CONSTRUCTION DETAILS**

**SUBDIVISION PLAN FOR POMONA DEVELOPMENT**

LOCATION:  
 REVOLUTIONARY ROAD  
 CORTLANDT MANOR, NEW YORK

SHEET 11 OF 14      CD-8.1

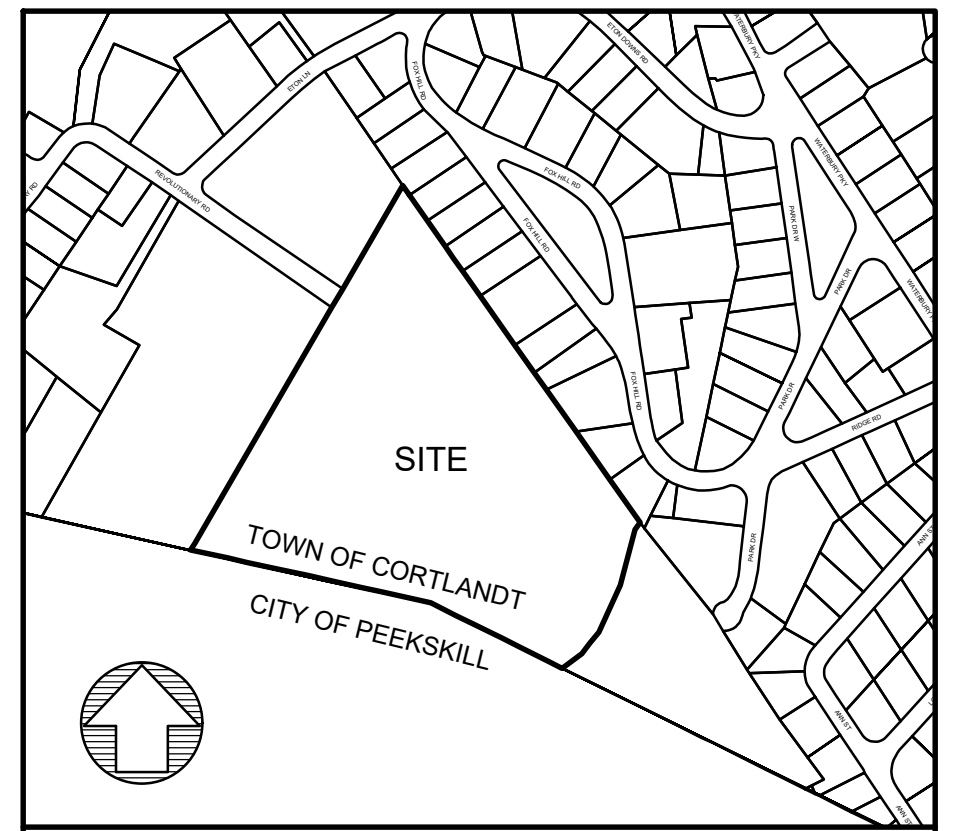
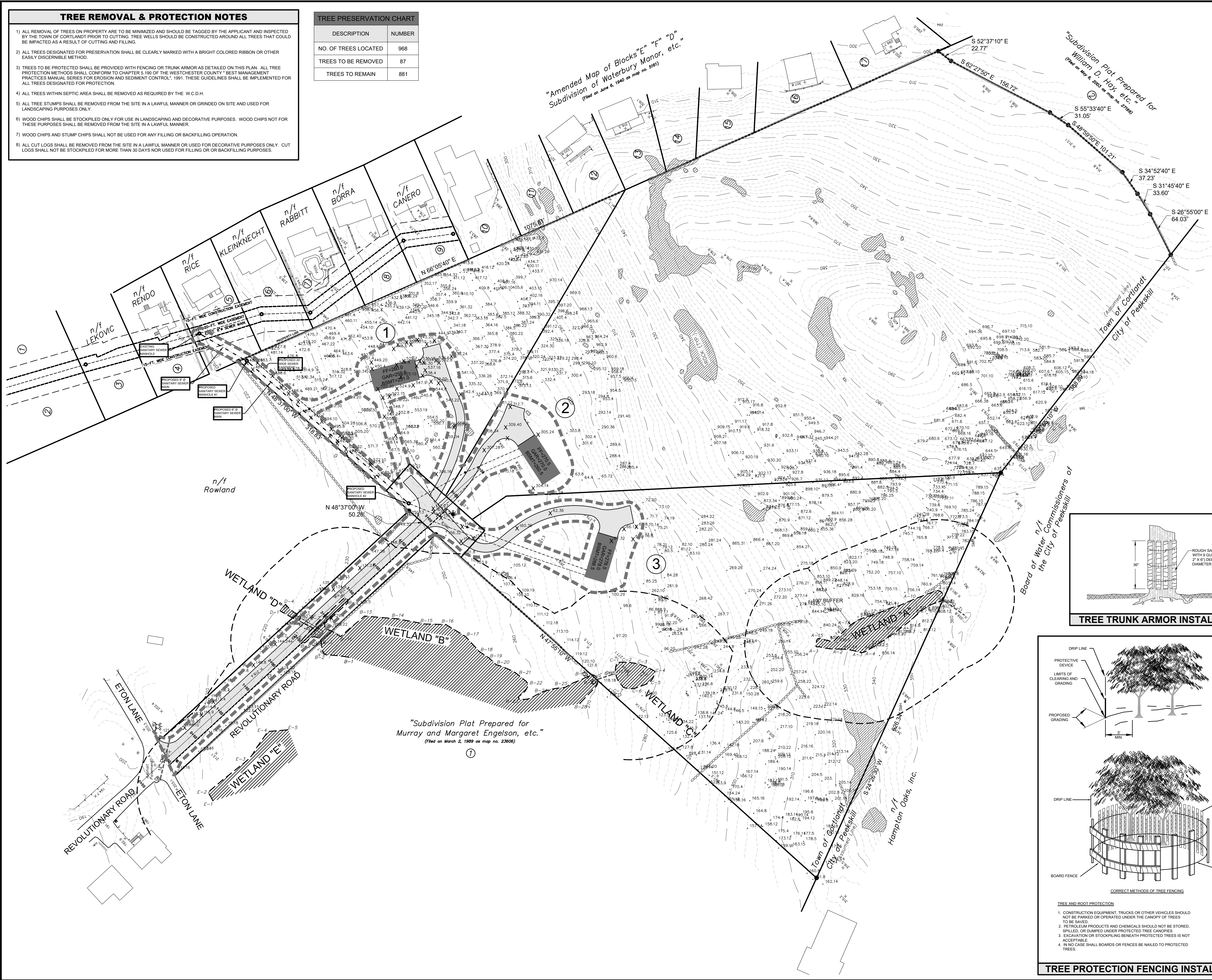


**TREE REMOVAL & PROTECTION NOTES**

- 1) ALL REMOVAL OF TREES ON PROPERTY ARE TO BE MINIMIZED AND SHOULD BE TAGGED BY THE APPLICANT AND INSPECTED BY THE TOWN OF CORTLANDT PRIOR TO CUTTING. TREE WELLS SHOULD BE CONSTRUCTED AROUND ALL TREES THAT COULD BE IMPACTED AS A RESULT OF CUTTING AND FILLING.
- 2) ALL TREES DESIGNATED FOR PRESERVATION SHALL BE CLEARLY MARKED WITH A BRIGHT COLORED RIBBON OR OTHER EASILY DISCERNIBLE METHOD.
- 3) TREES TO BE PROTECTED SHALL BE PROVIDED WITH FENCING OR TRUNK ARMOR AS DETAILED ON THIS PLAN. ALL TREE PROTECTION METHODS SHALL CONFORM TO CHAPTER 5.190 OF THE WESTCHESTER COUNTY "BEST MANAGEMENT PRACTICES MANUAL SERIES FOR EROSION AND SEDIMENT CONTROL", 1991. THESE GUIDELINES SHALL BE IMPLEMENTED FOR ALL TREES DESIGNATED FOR PROTECTION.
- 4) ALL TREES WITHIN SEPTIC AREA SHALL BE REMOVED AS REQUIRED BY THE W.C.D.H.
- 5) ALL TREE STUMPS SHALL BE REMOVED FROM THE SITE IN A LAWFUL MANNER OR GRINDED ON SITE AND USED FOR LANDSCAPING PURPOSES ONLY.
- 6) WOOD CHIPS SHALL BE STOCKPILED ONLY FOR USE IN LANDSCAPING AND DECORATIVE PURPOSES. WOOD CHIPS NOT FOR THESE PURPOSES SHALL BE REMOVED FROM THE SITE IN A LAWFUL MANNER.
- 7) WOOD CHIPS AND STUMP CHIPS SHALL NOT BE USED FOR ANY FILLING OR BACKFILLING OPERATION.
- 8) ALL CUT LOGS SHALL BE REMOVED FROM THE SITE IN A LAWFUL MANNER OR USED FOR DECORATIVE PURPOSES ONLY. CUT LOGS SHALL NOT BE STOCKPILED FOR MORE THAN 30 DAYS NOR USED FOR FILLING OR BACKFILLING PURPOSES.

**TREE PRESERVATION CHART**

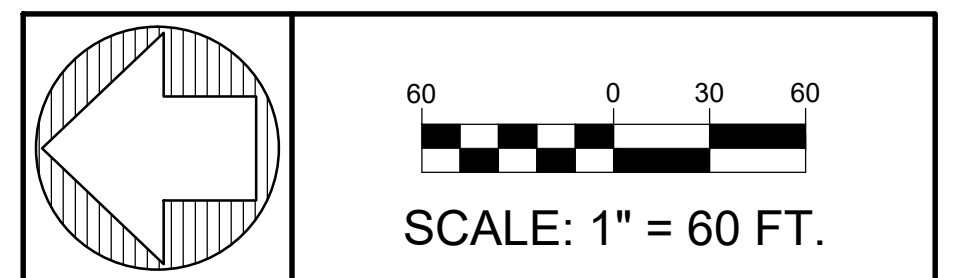
DESCRIPTION	NUMBER
NO. OF TREES LOCATED	968
TREES TO BE REMOVED	87
TREES TO REMAIN	881



VICINITY MAP SCALE: 1" = 500'

**Dig Safely. New York**  
**800-962-7962**  
 www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care



OWNER/APPLICANT  
**POMONA DEVELOPMENT, LLC**  
 200 HIGH POINT DRIVE, PH-3  
 HARTSDALE, NEW YORK 10530

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
 • COPYRIGHT © 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

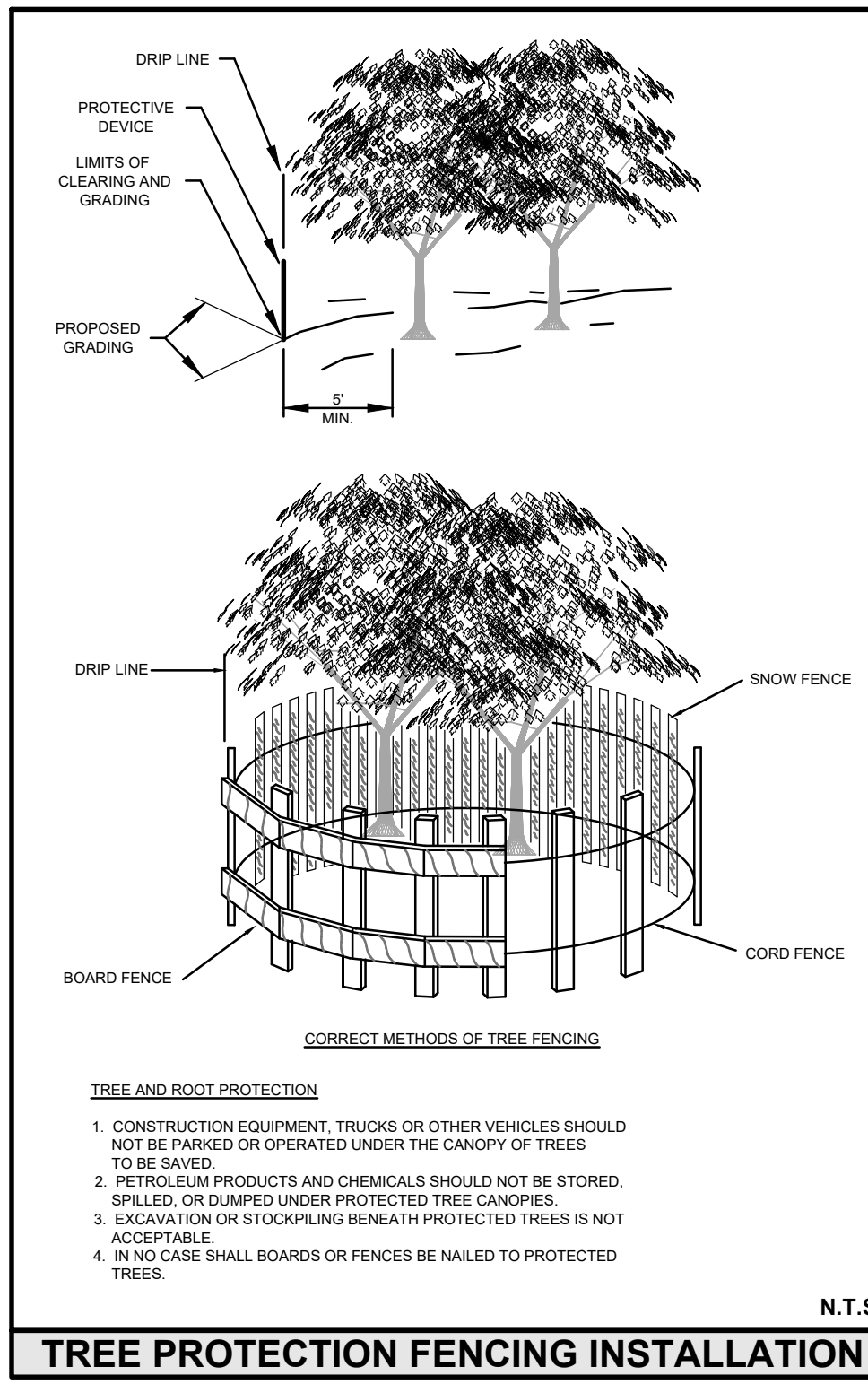
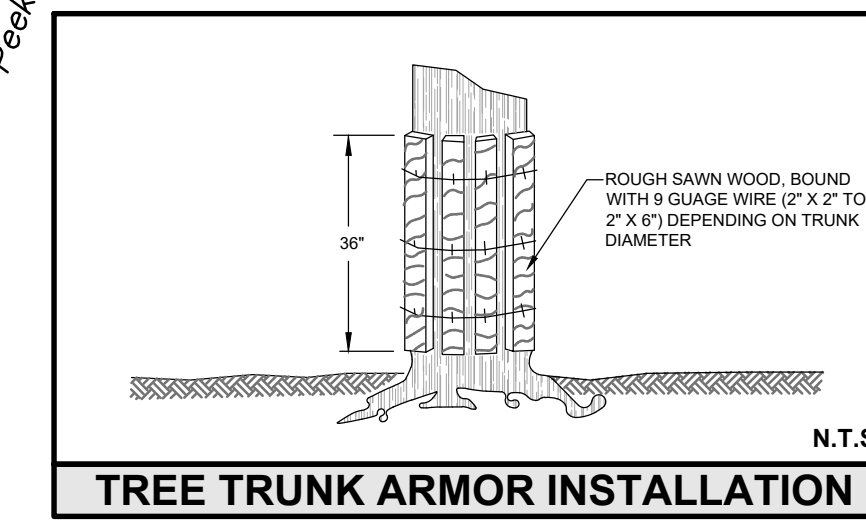
**REVISIONS**

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:

SECTION:	23.15
BLOCK:	1
LOT:	43
SUBLOT:	
DRAWN BY:	JCA
CHECKED:	KCS/TC3
PROJECT:	BOGA-REVOLUTIONARY RD
DATE:	MAY 19, 2021
JOB #:	150207

STATE OF NEW YORK  
 TIMOTHY L. CRONIN III  
 LICENSED PROFESSIONAL ENGINEER  
 062980  
 TIMOTHY L. CRONIN III, P.E.  
 LICENSE #062980



**CRONIN ENGINEERING**  
 PROFESSIONAL ENGINEERING & CONSULTING  
 (914) 736-3664

39 Arlo Lane  
 Cortlandt Manor, New York 10567

**TREE PRESERVATION PLAN**

**SUBDIVISION PLAN FOR POMONA DEVELOPMENT**

LOCATION:  
 REVOLUTIONARY ROAD  
 CORTLANDT MANOR, NEW YORK

SHEET 14 OF 14      TP-9.1