

# 26 SASSI DRIVE CROTON-ON-HUDSON, NY 10520

ADDITION TO  
EXISTING  
STRUCUTRE  
MICHAEL KANE  
26 SASSI DRIVE  
CROTON-ON-HUDSON, NY 10520

**mandra**  
Workshop  
ARCHITECTURAL DESIGN  
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CONSULTANTS

## PERMIT SET

### PROJECT INFORMATION

OWNER: MICHAEL KANE  
PROJECT: SINGLE FAMILY RESIDENCE  
LOCATION: 26 SASSI DRIVE, CROTON-ON-HUDSON, NY 10520  
TAX ID: 55.10-1-19  
TYPE OF PROJECT: ADDITION TO EXISTING STRUCTURE  
APPLICABLE CODES: 2020 RESIDENTIAL CODE NEW YORK STATE

CONSTRUCTION TYPE: TYPE VB

**PROJECT DESCRIPTION:**  
NEW SCREENED IN PORCH OVER EXISTING FIRST FLOOR DECK & NEW SECOND FLOOR DECK DIRECTLY ABOVE W/ ACCESS TO MASTER BEDROOM.

**DESIGN BUILD NOTES:**  
THE FOLLOWING SYSTEMS SHALL BE DESIGNED & PROVIDED BY THE CONTRACTOR:  
1. ELECTRICAL SYSTEMS  
2. PLUMBING SYSTEMS

3. ELECTRICAL INSTALLATION WIRING & EQUIPMENT SHALL CONFORM TO THE NEW YORK STATE UNIFORM FIRE PREVENTION & BUILDING CODE (NYSUFPBC) & THE NATIONAL ELECTRICAL CODE (NEC 2017).  
4. PLUMBING INSTALLATION WORK AND EQUIPMENT TO CONFORM SHALL CONFORM TO 2020 RESIDENTIAL CODE NEW YORK STATE

### GENERAL NOTES & SPECIFICATIONS

- THE CONTRACTOR SHALL PROVIDE CONNECTION LOCATIONS FOR UTILITIES SUCH AS SANITARY SEWER, GAS LINES, ELECTRIC, WATER & STORM, SEWERS FOR BUILDING, AS PER THE APPROVED SITE PLAN.
- WRITTEN DIMENSIONS OF THE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. **DO NOT SCALE DRAWINGS.**
- PROTECT FROM DAMAGE ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, VEGETATION, ETC. SCHEDULED TO REMAIN. MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING & TEMPORARY SHORING AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING & PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS & MISALIGNMENT ACCORDING TO THE APPLICABLE CODE, STANDARDS & GOOD PRACTICE.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SUPERVISION OF THE CONSTRUCTION & NO CHANGE SHALL BE MADE TO THESE PLANS EXCEPT AS PER NEW YORK STATE LAW, CHAPTER 987.
- THE CONTRACTOR SHALL SECURE & PAY FOR ALL THE REQUIRED PERMITS & INSPECTIONS OF LOCAL AUTHORITIES, & SHALL OBTAIN FINAL APPROVALS OF WORK UPON COMPLETION.
- REMOVE ALL DEBRIS FROM THE SITE TO A POINT OF LEGAL DISPOSAL.
- ALL MEMBERS SHALL BE CLOSELY FITTED, ACCURATELY SET TO THE REQUIRED LINES & LEVELS, & RIGIDLY SECURED IN PLACE. NAILING SHALL BE IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. JOISTS SHALL BE SET WITH THE CROWN EDGE UP.
- ALL WOOD WHICH COMES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- JOIST HANGERS SHALL BE STAINLESS STEEL, SIZED TO FIT THE SUPPORT MEMBER & OF SUFFICIENT STRENGTH TO DEVELOP THE FULL STRENGTH OF THE SUPPORTED MEMBER, & FURNISHED COMPLETE WITH ANY SPECIAL FASTENERS REQUIRED.
- ALL WOOD USED AT EXTERIOR DECKS & STAIRS SHALL BE PRESSURE TREATED.
- ALL METAL (INCLUDING FASTENERS) WHICH COMES IN CONTACT TO PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
- CAULKING: ALL EXTERIOR JOINTS, IN PARTICULAR BETWEEN, DISSIMILAR MATERIALS, SHALL BE CAULKED WITH A PERMANENT ELASTIC CAULKING COMPOUND CAPABLE OF HOLDING PAINT.
- SEALANT SHALL BE APPLIED IN AREAS AS REQUIRED TO MAKE FOR A WEATHER & WATER TIGHT INSTALLATION. APPLY ALL SEALANT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S APPLICATION MANUAL & WRITTEN INSTRUCTIONS.
- USE ONLY NEW MATERIALS WITHOUT DEFECTS.
- LUMBER SHALL CONFORM TO PRODUCT STANDARD PS 20, & GRADED IN ACCORDANCE WITH ESTABLISHED GRADING RULES MAXIMUM MOISTURE CONTENT SHALL BE 19 PERCENT.
- FRAMING LUMBER: PROVIDE SPF #2 OR BETTER.
- BLOCKING, BRIDGING, NAILERS, & FURRING, COMMON DOUGLAS FIR, SOUTHERN PINE OR HEMLOCK, LEDGER BOARDS, WHERE REQUIRED SHALL BE SECURELY SET WITH JOINTS NOTCHED TIGHTLY.
- BLOCKING SHALL BE REQUIRED, FOR THE APPLICATION OF SHEATHING, WALLBOARD, & OTHER MATERIALS OR BUILDING ITEM, & TO PROVIDE FIRE STOPPING WHERE REQUIRED.
- DOUBLE HEADER & TRIMMER JOISTS AT ALL FLOOR OPENINGS.
- PROVIDE SOLID BLOCKING FOR THE BEARING OF ALL BEAMS & COLUMNS. BEAMS SHALL HAVE BEARING OF NOT LESS THEN 4" ON CONCRETE OR MASONRY, & 1-1/2" WOOD OR METAL JOISTS, TRIMMERS, HEADERS & BEAMS FRAMING INTO CARRYING MEMBER AT THE SAME RELATIVE LEVELS SHALL BE CARRIED ON JOIST HANGERS.
- SILL PLATES SHALL BE SET LEVEL & SQUARE WITH E.P.S. SILL SEAL & ANCHORED AS INDICATED.

### STRUCTURAL DESIGN LOADS

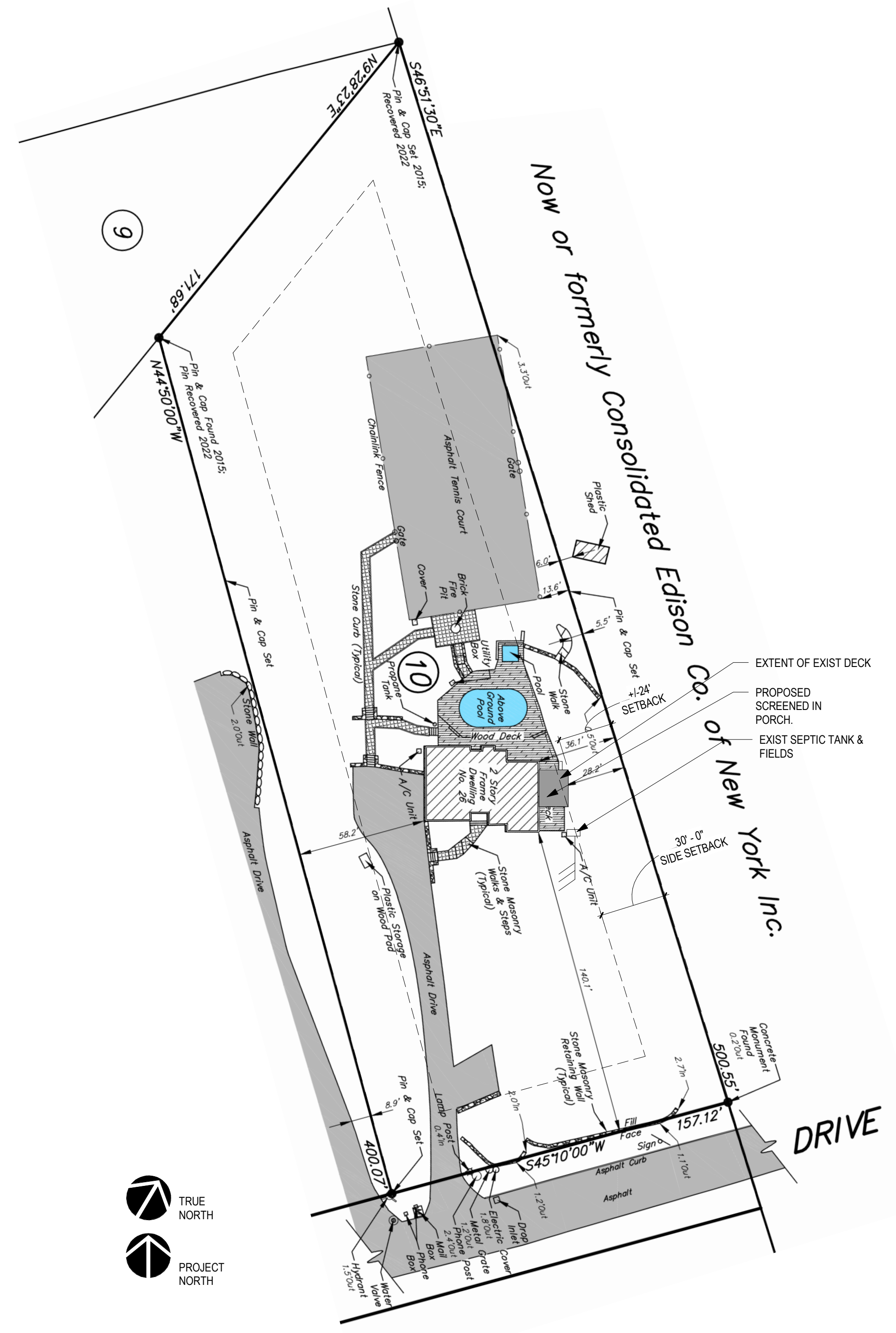
STRUCTURAL DESIGN "LIVE & DEAD" LOADS												
ROOF:	30 LB LL/SF (SNOW LOAD) (21 LB LL/SF REDUCTION) (-15 LB DL/SF)											
ATTIC W/ STORAGE:	20 LB LL/SF (15 LB LL/SF W/O STORAGE); 10 LB DL/SF											
LIVING:	40 LB LL/SF; 10 LB DL/SF											
SLEEPING:	30 LB LL/SF; 10 LB DL/SF											
FOUNDATION:	ASSUME 3,000 PSF SBC MIN											
TOWN OF CORTLANDT, NEW YORK												
GROUND SNOW LOAD	WIND DESIGN				SEISMIC CATEGORY	SUBJECT TO DAMAGE FROM						
	WIND SPEED	TOPO EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST DEPTH	TERMITE	ICE SHIELD UNDERLAYMENT	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
30	120	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	YES	N/A	1,500 OR LESS	51.6
*115 MPH TO 120 MPH, THE SPECIAL WIND REGION SHOULD SERVE AS A WARNING TO DESIGN PROFESSIONALS IN EVALUATING WIND LOADING CONDITIONS. WIND SPEEDS HIGHER THAN THE DERIVED VALUES TAKEN FROM SECTION 1609 OF THE IBC AND FIGURE R301.2(4)A OF THE IRC ARE LIKELY TO OCCUR AND SHOULD BE CONSIDERED IN THE DESIGN.												

### BULK TABLE REQUIREMENTS

ZONING INFORMATION		ZONE:	R-40 ONE FAMILY RESIDENTIAL
		USE:	SINGLE-FAMILY RESIDENCE
		PERMITTED:	BY RIGHT
MINIMUM REQUIRED			
LOT AREA	MIN REQUIRED	EXISTING	PROPOSED
	40,000 SF	67,090 SF	NO CHANGE
MIN WIDTH	150 FT	55 FT	NO CHANGE
LANDSCAPE COVERAGE	60% (40,245 SF)	52,956 SF	52,936 SF
YARD SETBACKS			
	MIN REQUIRED	EXISTING	PROPOSED
FRONT	50 FT	140.1 FT	NO CHANGE
REAR	30 FT	209 FT	NO CHANGE
SIDE	20% OF WIDTH OR MAX 30 FT	28.2 FT	+/-24 FT
MAXIMUM PERMITTED			
	PERMITTED	EXISTING	PROPOSED
FLOOR AREA	6,900	NA	NO CHANGE
BUILDING COVERAGE	65% OF FAR (4,485 SF)	1,974 SF	1,994 SF
BUILDING HEIGHT	35 FT	NA	NO CHANGE

### LIST OF DRAWINGS

T1	COVER / GENERAL NOTES / SITE PLAN
03	ARCHITECTURE
A201	1ST FLOOR PLAN
A501	DECK DETAILS



1 SITE PLAN  
1" = 40'-0"

NOTE:  
SITE PLAN OVERLAYS WITH PROPERTY SURVEY BY "BADEY & WATSON SURVEYING & ENGINEERING D.P.C." & DATED 11/07/2022

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0 03-27-2023 PERMIT SET  
No. Date Issue

Sheet Title  
**COVER / GENERAL NOTES / SITE PLAN**

Sheet Number  
**T1**