

**GENERAL NOTES**

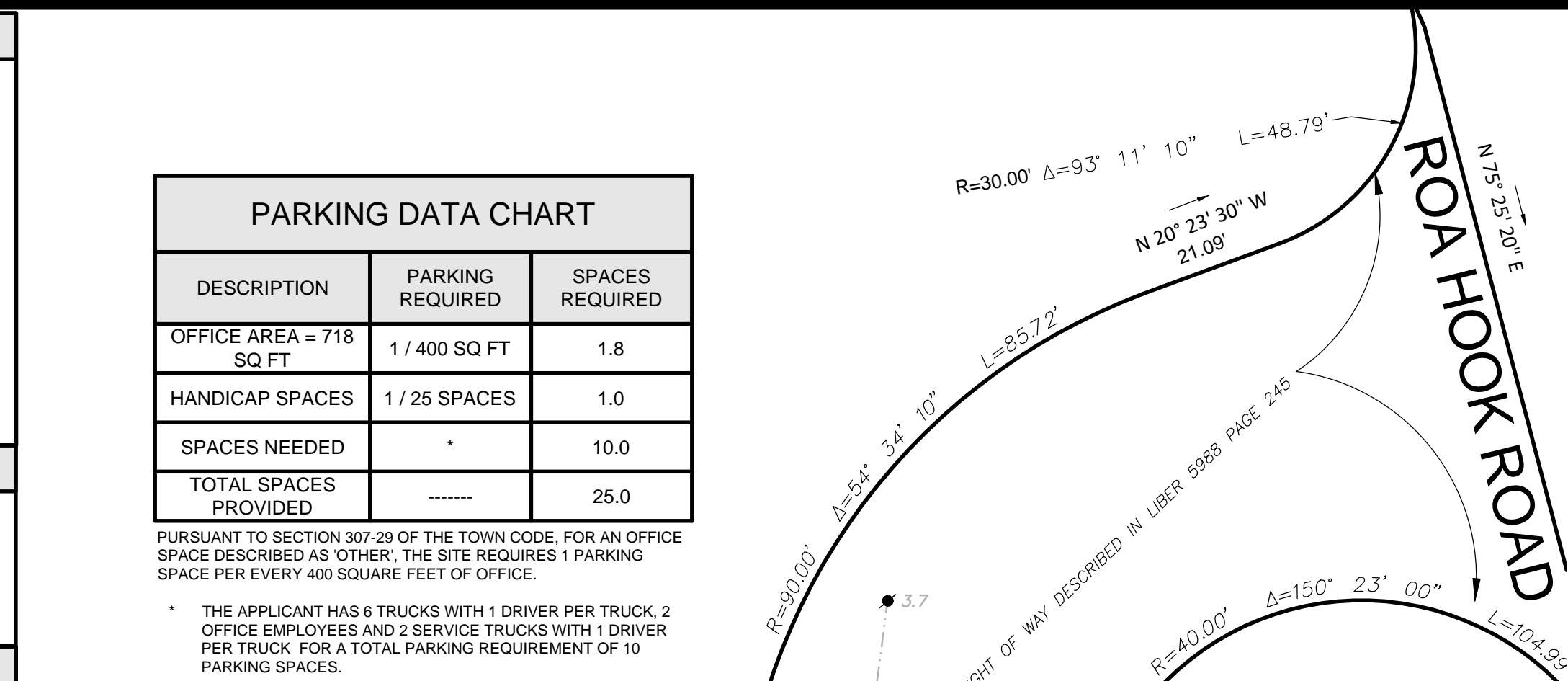
1. SURVEY INFORMATION SHOWN HEREON IS BASED ON A MAP PREPARED BY LINK LAND SURVEYORS, P.C., DATED DECEMBER 6, 1987 AND BROUGHT TO DATE JUNE 26, 2016.
2. PARCEL IS LOCATED IN THE TOWN OF CORTLANDT M-1 (LIGHT INDUSTRIAL) ZONING DISTRICT.
3. THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT CONTACTING THE DESIGN ENGINEER.
4. THIS PLAN WAS PREPARED FOR THE PURPOSE OF SHOWING THE LOCATION OF THE NEW OFFICE/STORAGE BUILDING ONLY.
5. IT IS THE OWNERS RESPONSIBILITY TO INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
6. A BUILDING PERMIT SHALL BE OBTAINED WITHIN ONE (1) YEAR OF THE PLANNING BOARD CHAIRMAN'S SIGNATURE ON THIS SITE PLAN.

**TOWN OF CORTLANDT GENERAL NOTES**

1. PARCEL TAX MAP DESIGNATION: SECTION: 22.19, BLOCK: 01, LOTS: 2 & 3
2. TOTAL AREA OF LOT: +67,350 SQ. FT. (1,546 ACRES)
3. THE PROJECT SITE IS LOCATED IN THE HUDSON RIVER WATERSHED.

**OFFICE BUILDING NOTES**

1. FEMA 100-YEAR FLOOD ELEVATION = +4.9, PARCEL #36119C0012G, DECEMBER 08, 2014. THE 100-YEAR FLOOD ELEVATION ENCOMPASSES THE ENTIRE SITE.
2. THE OFFICE LIVABLE SPACE SHALL BE RAISED TO ELEVATION +11.0.
3. THE OFFICE SHALL BE PROVIDED WITH A FOUNDATION, DESIGN BY OTHERS.
4. THE OFFICE BUILDING SHALL BE PROVIDED WITH AN ADA COMPLIANT LIFT TO THE FINISHED FLOOR ELEVATION. DESIGN BY OTHERS. ALL MECHANICALS TO BE AT ELEV 9.0 OR HIGHER.
5. THE OFFICE SHALL BE IN COMPLIANCE WITH THE NYS BUILDING CODE.
6. PARKING SPACES TO BE PAINTED WITH A 4" STRIPE OF WHITE PAINT.
7. ALL BUILDING MECHANICAL SYSTEMS SHALL BE AT ELEVATION 11.0 OR HIGHER.
8. THE GENERATOR SHALL BE SET ON A STAND, DESIGN BY OTHERS, AT ELEVATION 11.0 OR HIGHER.

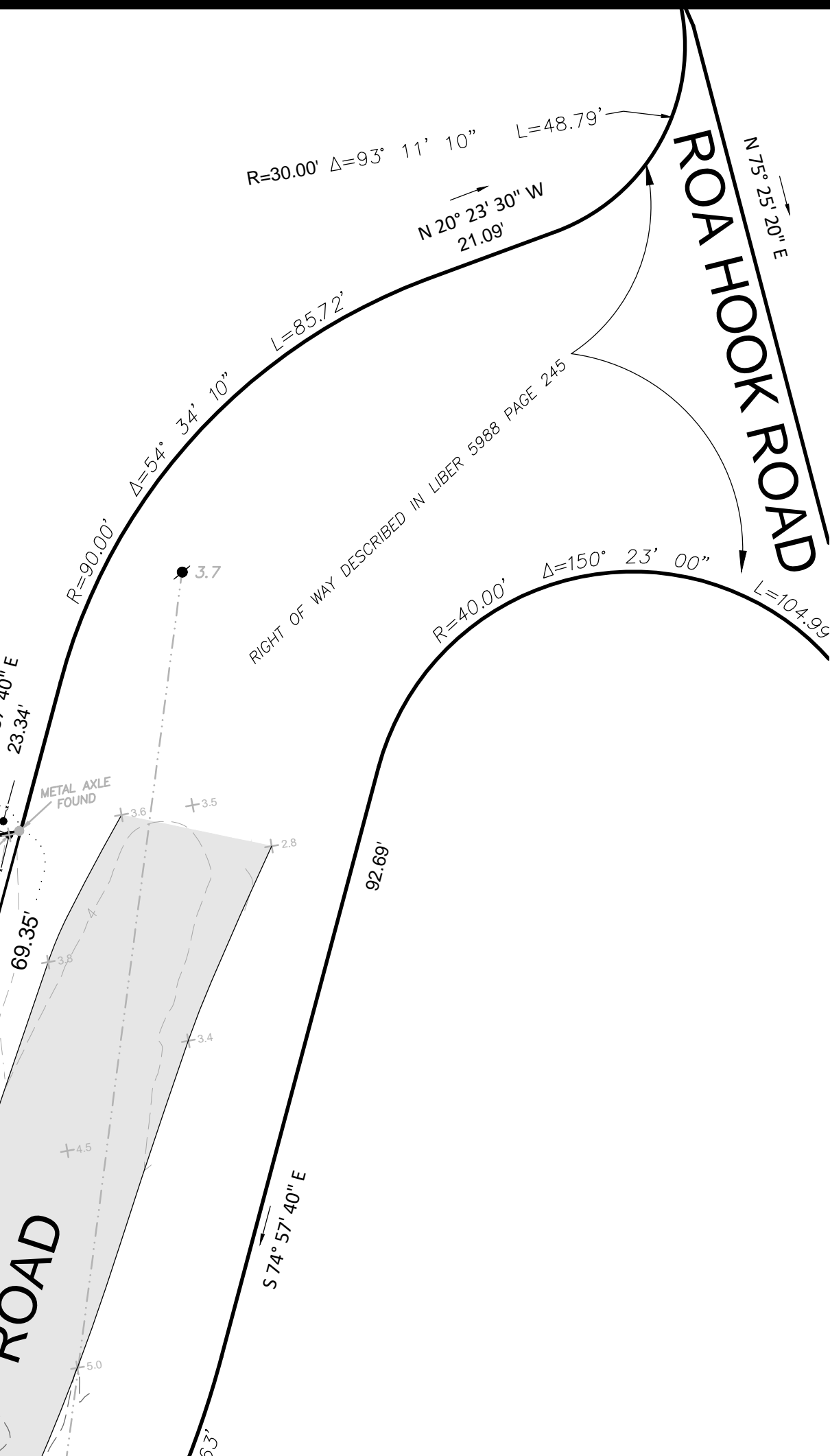


**PARKING DATA CHART**

DESCRIPTION	PARKING REQUIRED	SPACES REQUIRED
OFFICE AREA = 718 SQ FT	1 / 400 SQ FT	1.8
HANDICAP SPACES	1 / 25 SPACES	1.0
SPACES NEEDED	*	10.0
TOTAL SPACES PROVIDED	*****	25.0

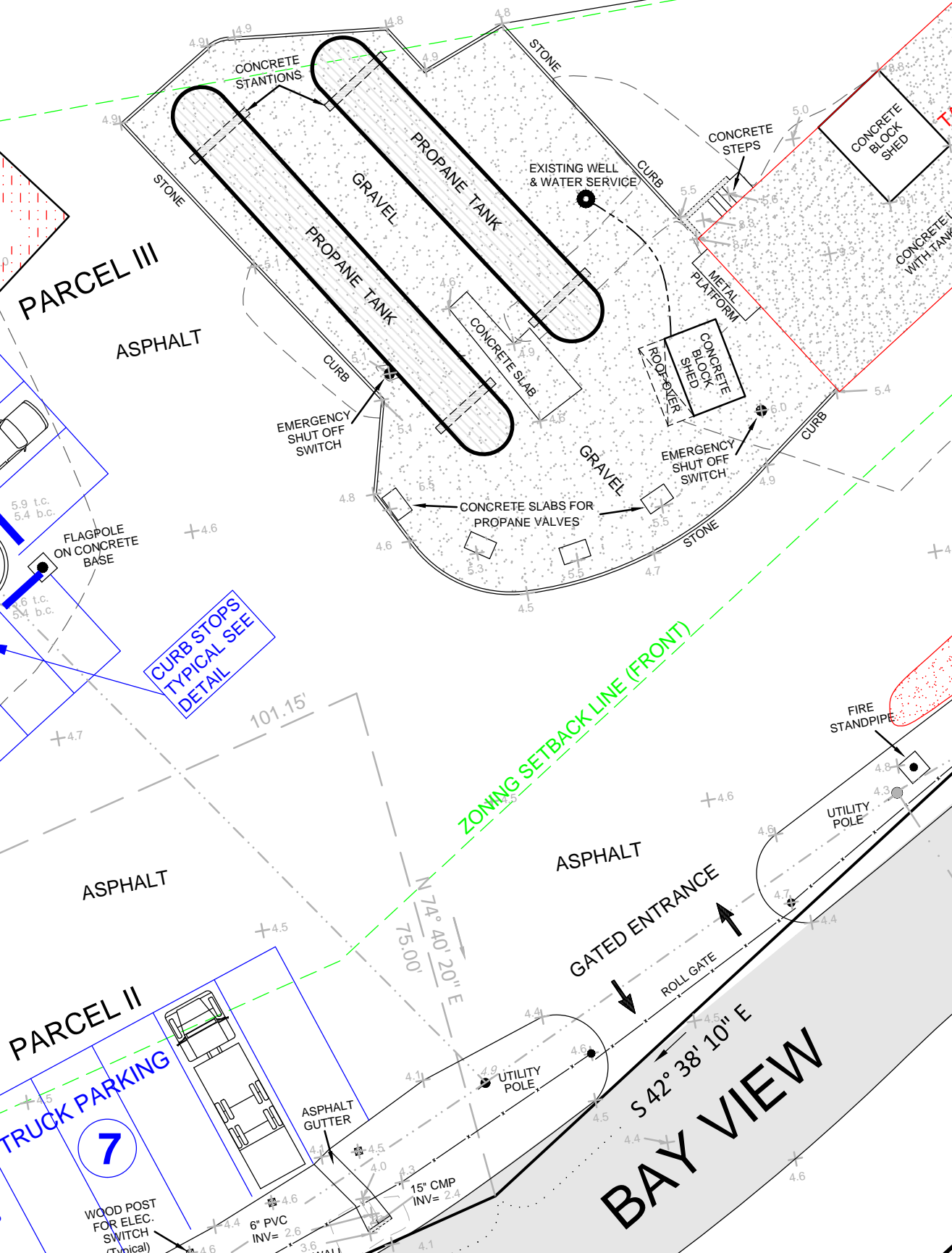
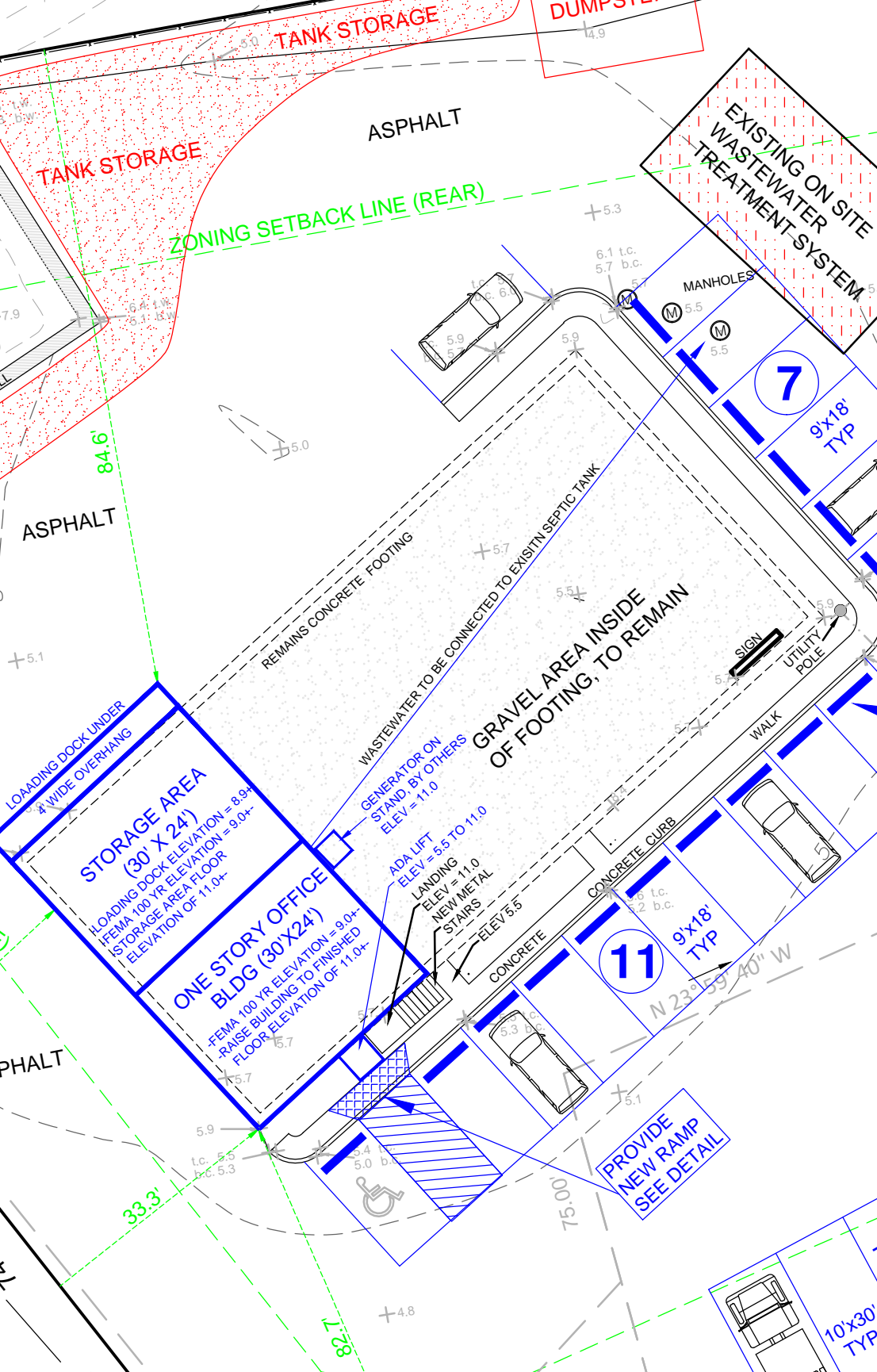
PURSUANT TO SECTION 307.29 OF THE TOWN CODE, FOR AN OFFICE SPACE DESCRIBED AS 'OTHER', THE SITE REQUIRES 1 PARKING SPACE PER EVERY 400 SQUARE FEET OF OFFICE.

- THE APPLICANT HAS 6 TRUCKS WITH 1 DRIVER PER TRUCK, 2 OFFICE EMPLOYEES AND 2 SERVICE TRUCKS WITH 1 DRIVER PER TRUCK FOR A TOTAL PARKING REQUIREMENT OF 10 PARKING SPACES.
- OFFICE SPACE = 30'X24' = 720 SQ FT
- STORAGE SPACE = 30'X24' = 720 SQ FT
- TOTAL BUILDING = 1,440 SQ FT



**CONSTRUCTION NOTES:**

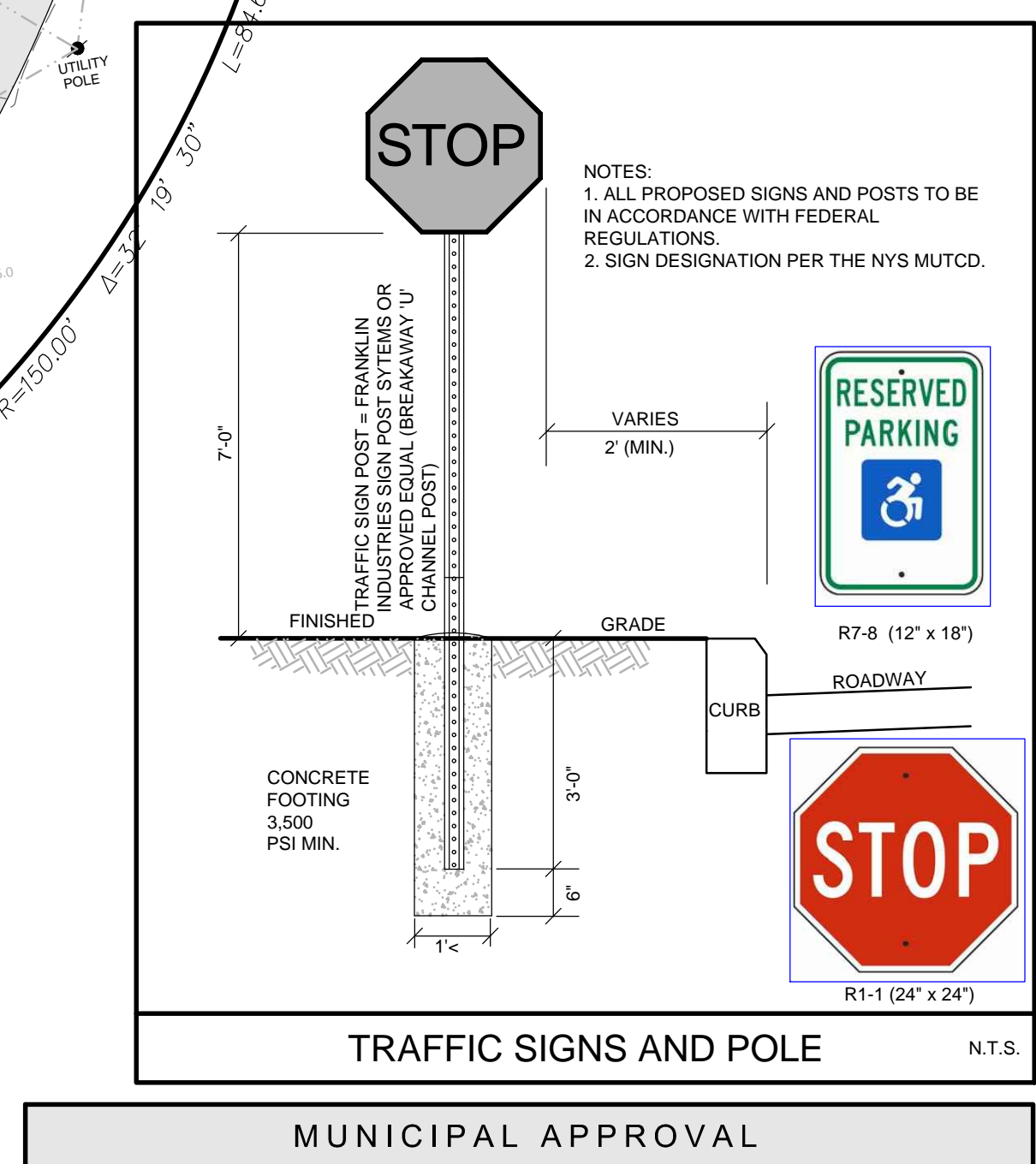
1. ALL RAMP AND SIDEWALK CONSTRUCTION TO BE DONE IN ACCORDANCE WITH NYS BUILDING CODES, LOCAL CODES AND AMERICAN DISABILITY ASSOCIATION REGULATIONS.
2. MAX SLOPE ON RAMP NOT TO EXCEED 1 VERTICAL ON 12 HORIZONTAL AND 1 VERTICAL ON 50 HORIZONTAL CROSS SLOPE.
3. CONTRACTOR TO PROVIDE A STABLE, FIRM, SLIP FREE SURFACE FREE OF PONDING AREAS AND AREAS OF ICE CONCERN.
4. IF A LANDING HAS TO BE INCORPORATED INTO THE RAMP, THE MAXIMUM VERTICAL RISE BETWEEN LANDING AND RESTING SPACE SHALL NOT EXCEED 30\"/>



**ZONING DATA CHART - M-1 (LIGHT INDUSTRIAL)**

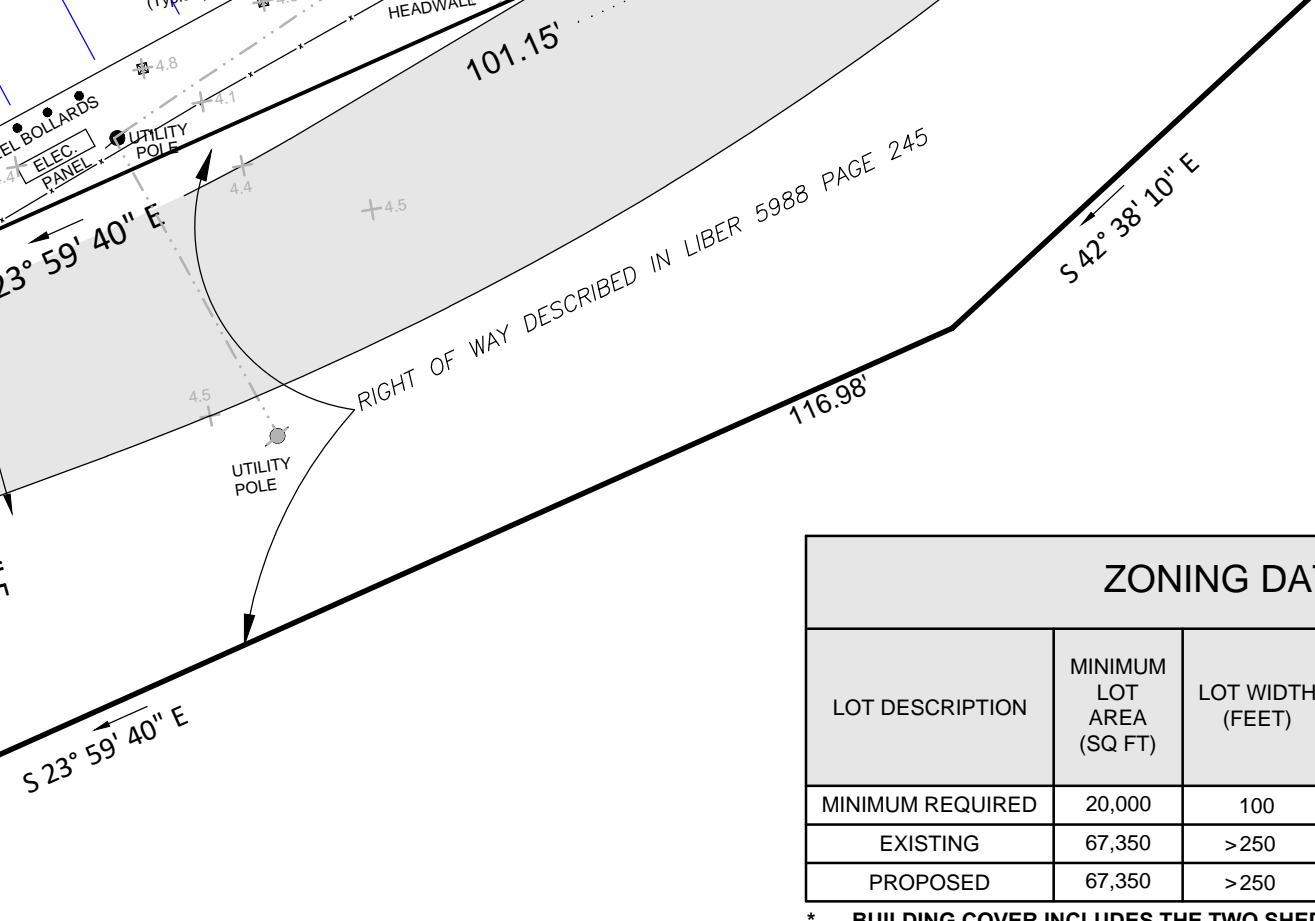
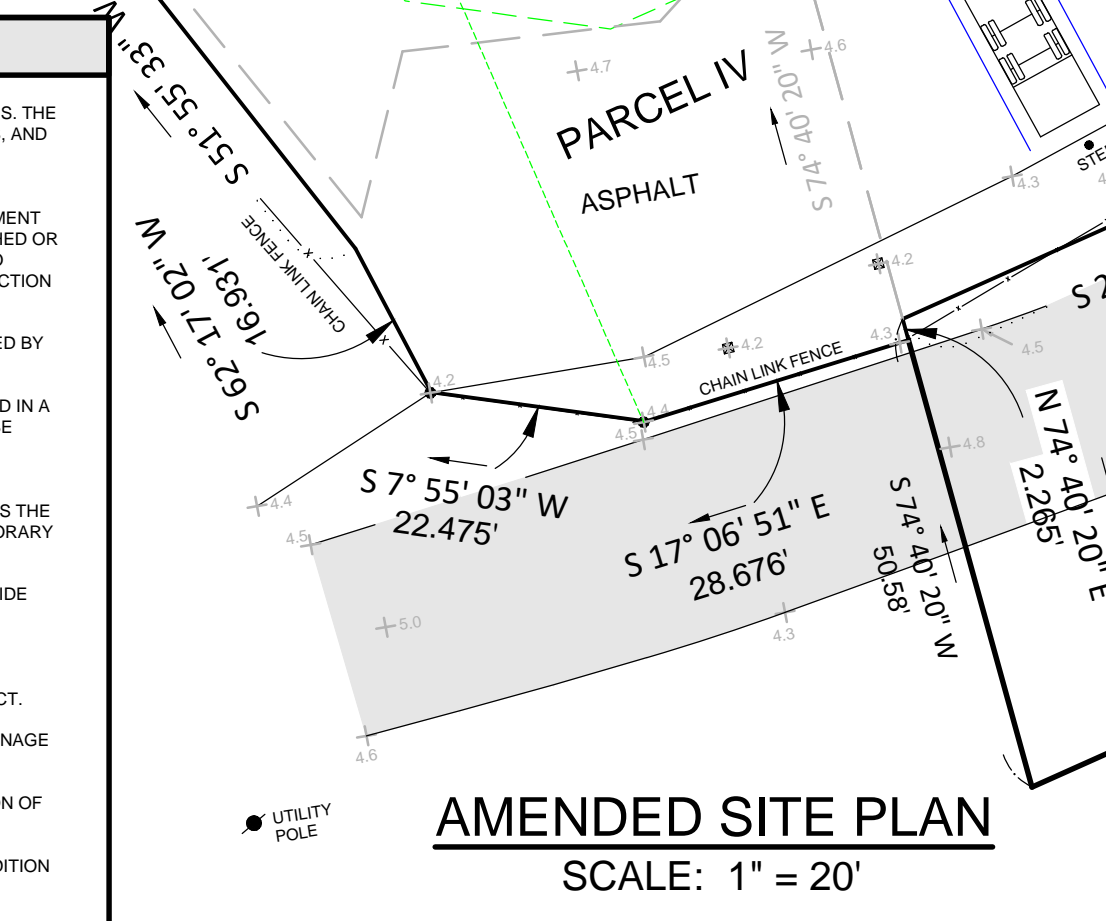
LOT DESCRIPTION	MINIMUM LOT AREA (SQ FT)	LOT WIDTH (FEET)	FRONT YARD PRIMARY STRUCTURE (FT)	SIDE YARD PRIMARY STRUCTURE (south side) (FT)	SIDE YARD PRIMARY STRUCTURE (north side) (FT)	REAR YARD PRIMARY STRUCTURE (FT)	MINIMUM LANDSCAPE COVERAGE (%)	*MAXIMUM BUILDING COVERAGE (%)
MINIMUM REQUIRED	20,000	100	40	20	20	30	N/A	35%
EXISTING	67,350	>250	82.7	30.5	N/A	84.6	N/A	2.5%
PROPOSED	67,350	>250	82.7	30.5	N/A	84.6	NA	2.5%

\* BUILDING COVER INCLUDES THE TWO SHEDS AND OFFICE BUILDING, TOTAL 1,710 SQ FT.



**EROSION CONTROL NOTES**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY, PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
3. THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
4. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
6. ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WEED AS NECESSARY TO PROVIDE DUST CONTROL.
7. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL.
8. AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
9. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
10. SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF 'NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL'.
11. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF 'NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL'.



**ZONING DATA CHART - M-1 (LIGHT INDUSTRIAL)**

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EXISTING	67,350	>250	82.7	30.5	N/A	84.6	N/A	2.5%
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**MUNICIPAL APPROVAL**

THE DEPARTMENT HEAD SIGNATURES INDICATE THAT THIS DRAWING OR SET OF DRAWINGS IS CONSISTENT WITH THE PLANNING BOARD RESOLUTION OF APPROVAL AND WITH THE GENERAL REQUIREMENTS AND POLICIES OF THE TOWN OF CORTLANDT FOR WHICH THE DEPARTMENT HEAD IS RESPONSIBLE. THE PROJECT DESIGN INCLUDING ALL PUBLIC HEALTH AND SAFETY CONSIDERATIONS ARE SOLELY THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL WHO HAS SIGNED AND SEALED THE DRAWINGS.

REVIEWED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES:

\_\_\_\_\_  
DIRECTOR OR AUTHORIZED AGENT      DATE

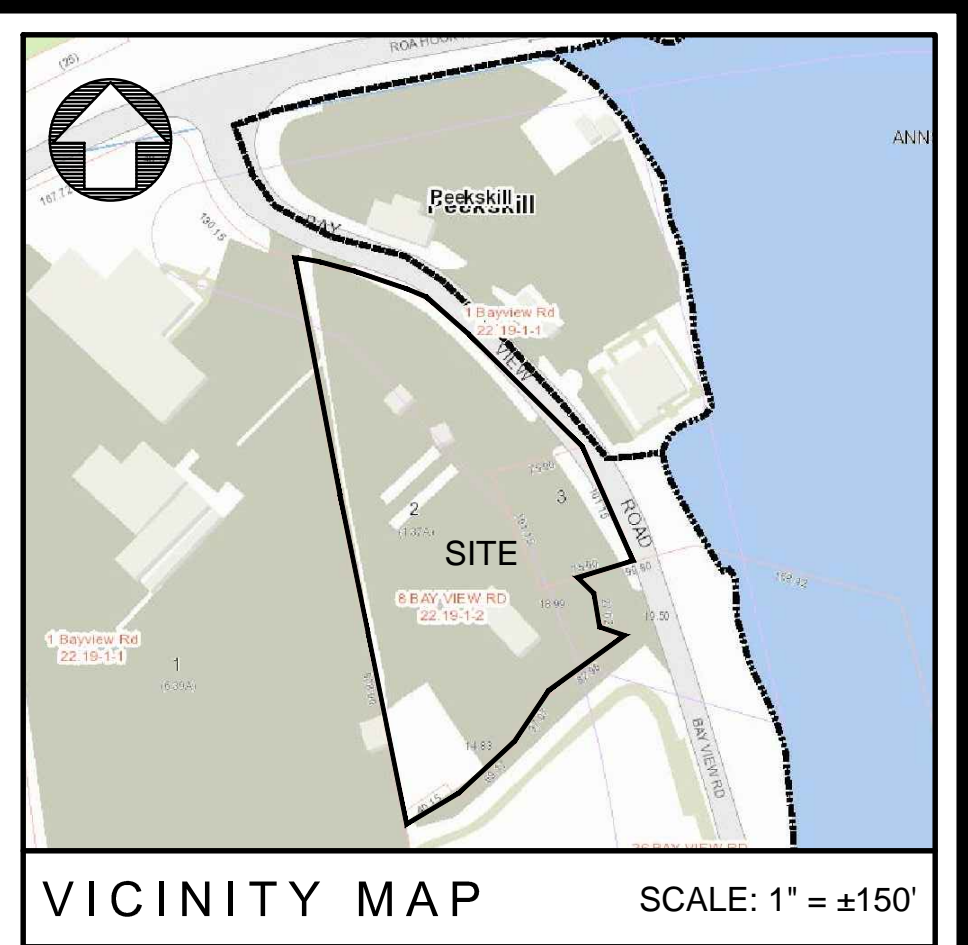
REVIEWED BY THE DEPARTMENT OF TECHNICAL SERVICES:

\_\_\_\_\_  
DIRECTOR OR AUTHORIZED AGENT      DATE

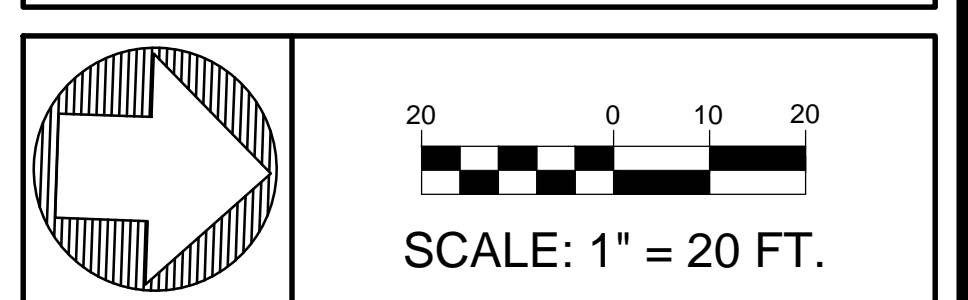
APPROVED BY RESOLUTION NO. \_\_\_\_\_ OF THE PLANNING BOARD OF THE TOWN OF CORTLANDT, NEW YORK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION IN THIS PLAN OR SITE DEVELOPMENT PLAN, AFTER THE ABOVE DATE, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY:

\_\_\_\_\_  
CHAIRMAN OF THE PLANNING BOARD



**Dig Safely. New York**  
(800) 962-7962  
www.digsafelynewyork.com



OWNER/APPLICANT

PARACO GAS CORP. (FKA PARACO FUEL CORP.)

800 WESTCHESTER AVENUE, SUITE 604  
RYE BROOK, NY 10573

**REVISIONS**

#	REASON	DATE
2		
1		

MUNICIPAL TAX IDENTIFICATION:

SECTION: 22.19  
BLOCK: 01  
LOT: 02 & 03  
SUBLOT: ----  
DRAWN BY: KCS  
CHECKED: KCS  
PROJECT: PARACO FUEL  
DATE: MAY 12, 2021  
JOB #: 160606

TIMOTHY L. CRONIN III, P.E.  
LICENSE #062980

**CRONIN ENGINEERING**  
PROFESSIONAL ENGINEERING & CONSULTING  
(914) 736-3664

39 Arlo Lane  
Cortlandt Manor, New York 10567

**SITE DEVELOPMENT PLAN**

**AMENDED SITE PLAN #2 FOR PARACO FUEL**

LOCATION:  
8 & 14 BAY VIEW ROAD  
CORTLANDT MANOR, NY 10567

SHEET 1 OF 1      SP-1.1