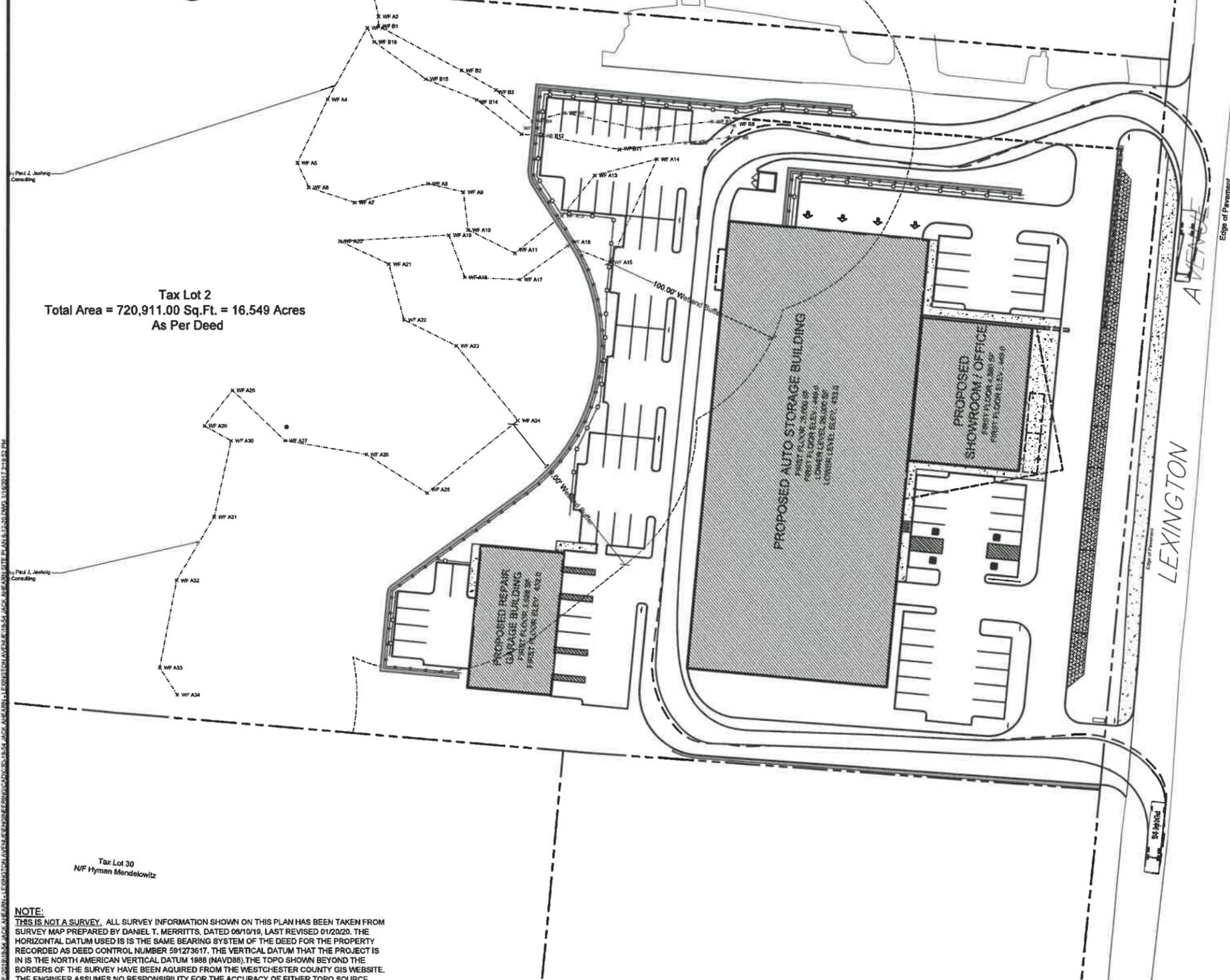




LOCATION MAP
NOT TO SCALE



Tax Lot 2
Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
As Per Deed

NOTE:
THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, DATED 09/10/19, LAST REVISED 01/20/20. THE HORIZONTAL DATUM USED IS THE SAME BEARING SYSTEM OF THE DEED FOR THE PROPERTY RECORDED AS DEED CONTROL NUMBER 591273617. THE VERTICAL DATUM THAT THE PROJECT IS IN IS THE NORTH AMERICAN VERTICAL DATUM 1885 (NAV85). THE TOPO SHOWN BEYOND THE BORDERS OF THE SURVEY HAVE BEEN ACQUIRED FROM THE WESTCHESTER COUNTY GIS WEBSITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7201 (D) OF THE NEW YORK STATE EDUCATION LAW.

RECEIVED
 AUG 20 2020
 PB 2020-3
 DEPT. OF TECHNICAL SERVICES
 PLANNING DIVISION

SITE DATA:

OWNER / DEVELOPER: JACK AHEARN
20 PARK ROAD
BRARCLIFF MANOR, NY, 10510
3451 LEXINGTON AVE
CORTLANDT, NEW YORK, 10547

PROJECT LOCATION: HC, HIGHWAY COMMERCIAL
AUTO STORAGE
SECTION 13.19, BLOCK 2, LOT 2
16.55 ACRES (720,911 SF)
ON-SITE SSTS
PUBLIC WATER FACILITIES

ZONING DISTRICT: HC - Highway Commercial			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	20,000 SF.	720,911 SF.	NONE
MINIMUM LOT WIDTH:	100 FT.	407.4 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	30 FT.	37.5 FT.	NONE
REAR YARD SETBACK:	30 FT.	705.6 FT.	NONE
SIDE YARD SETBACK:	30 FT.	48.2 FT.	NONE
ACCESSORY BUILDINGS:			
FRONT YARD SETBACK:	30 FT.	267.9	NONE
REAR YARD SETBACK:	30 FT.	644.9 FT.	NONE
SIDE YARD SETBACK:	30 FT.	62.2 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
PRINCIPAL BUILDING COVERAGE:	20% OF LOT AREA 144,182.20 SF	4.9 % OF LOT AREA 34,880 SF	NONE NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET	34.51 FEET	NONE
PRINCIPAL BUILDING - STORIES:	2 1/2	2 1/2	NONE
ACCESSORY BUILDING - FEET:			NONE
ACCESSORY BUILDING - STORIES:			NONE

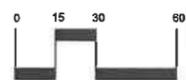
PARKING SCHEDULE

CAR STORAGE BUILDING:	1 SPACES PER 1000 SF OF BUILDING @ 56,000 = 56 SPACES
ACCESSORY STORAGE/ AUTO REPAIR BUILDING:	1 SPACES PER 1000 SF OF BUILDING @ 1880 = 2 SPACES
SHOWROOM BUILDING:	1 PER 400 SF OF HABITABLE GROUND FLOOR SPACE @ 9,760 = 24 SPACES
TOTAL REQUIRED PARKING:	86 SPACES
TOTAL PROVIDED PARKING:	82 STANDARD 6 HANDICAP
TOTAL PROVIDED PARKING:	88 SPACES
PARKING VARIANCE REQUIRED:	0 SPACES

NOTE:
THE SITE IS LOCATED IN A FEMA ZONE X DESIGNATED AS BEING OUTSIDE OF 0.2% CHANCE FLOOD PLAIN

TOWN NOTES:

- PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, ALL TOWN AND NYSDEC WETLANDS SHALL BE RE-FLAGGED AND SURVEYED. THE WETLAND BOUNDARIES SHALL BE INCLUDED IN THE STAKE OUT LIMIT SKETCH.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL OBTAIN COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT FOR CONSTRUCTION ACTIVITY.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AN OWNER OR OPERATOR SHALL HAVE EACH CONTRACTOR AND SUBCONTRACTOR, THAT HAS BEEN IDENTIFIED AS BEING RESPONSIBLE FOR IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), IDENTIFY AT LEAST ONE EMPLOYEE FROM THEIR COMPANY (TRAINED CONTRACTOR) THAT HAS RECEIVED 4 HOURS OF ENDORSED EASC TRAINING. THE TRAINED CONTRACTOR MUST BE ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED AND WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE PRACTICES INCLUDED IN THE SWPPP.
- AN OWNER OR OPERATOR OF A REGULATED CONSTRUCTION PROJECT, WITH SOME EXCEPTIONS, SHALL HAVE A QUALIFIED INSPECTOR CONDUCT SPECIFIC SITE INSPECTIONS. CERTAIN QUALIFIED INSPECTORS WHO WORK ON THESE SITES (I.E., INDIVIDUALS WORKING UNDER DIRECT SUPERVISION OF, AND AT THE SAME COMPANY AS, A LICENSED PROFESSIONAL ENGINEER OR REGISTERED LANDSCAPE ARCHITECT OF NY) ARE REQUIRED TO COMPLETE 4 HOURS OF EASC TRAINING UNDER THE GENERAL PERMIT.
- A ROAD OPENING PERMIT FILED WITH THE TOWN'S DEPARTMENT OF ENVIRONMENTAL SERVICES IS REQUIRED FOR ANY WORK WITHIN THE TOWN RIGHT-OF-WAY. CONTACT DES AT 814-737-0100.
- A WATER AND SEWER SERVICE PERMITS SHALL BE FILED WITH THE TOWN'S DEPARTMENT OF ENVIRONMENTAL SERVICES AS SHOWN ON THE APPROVED PLANS PRIOR TO THE RELEASE OF ANY BUILDING PERMIT.
- NO RECYCLED MATERIAL SHALL BE BROUGHT TO THE SITE WITHOUT PRIOR TOWN OF CORTLANDT WRITTEN ACKNOWLEDGEMENT. ALL RECYCLED MATERIAL MUST BE COMPLIANT WITH THE NYSDEC'S BENEFICIAL USE DETERMINATION AND BE UNCONTAMINATED.
- FILL MATERIAL PROPOSED TO BE IMPORTED AS PART OF THIS PROJECT SHALL MEET THE MATERIALS TESTING PROTOCOLS OF THE TOWN OF CORTLANDT AND NYSDEC AS MEET THE CRITERIA OF UNRESTRICTED FILL.
- CONCRETE AND OTHER WASTE MATERIAL SHALL NOT BE LEFT ON SITE. ALL MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE APPLICANT'S ENGINEER SHALL SUBMIT HYDROLOGIC AND HYDRAULIC CALCULATIONS AND SHALL CERTIFY THAT ALL STORM WATER INFRASTRUCTURE IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED PLANS AND THAT NO IMPACT TO ADJACENT OR ADJOINING LANDOWNERS OCCURRED.
- THE APPLICANT IS AWARE THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLIANCE. DISTURBED AREAS SHALL BE RESTORED AND STABILIZED APPROPRIATELY IN A TIMELY MANNER. A NOTICE OF TERMINATION SHALL BE FILED WITH THE NYSDEC PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLIANCE, THE DESIGNER OF RECORD SHALL PROVIDE A SIGNED AND SEALED LETTER ADDRESSED TO "WHOM IT MAY CONCERN," STATING THAT THERE IS NO ADVERSE IMPACT TO ADJACENT OR ADJOINING.
- THE TOWN SHALL NOT PROVIDE PICKUP FOR TRASH ENCLOSURE AT THIS LOCATION.



SCALE: 1"=30'-0"
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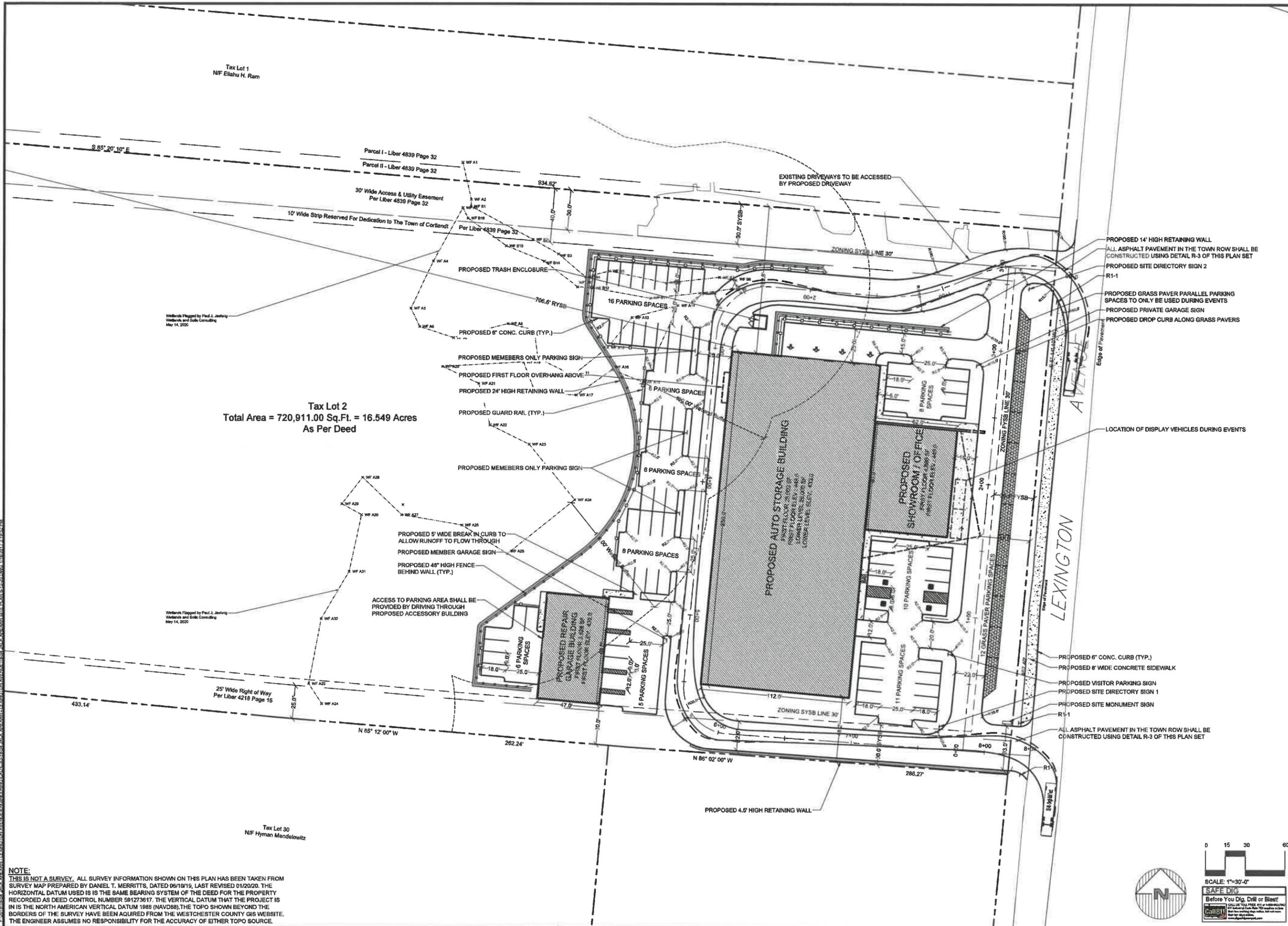
Revisions:	No.	Date	Comments
	1	4/14/20	Issue, Comments
	2	8/12/20	Update, Revisions

SCALE: 1" = 30'
 DRAWN BY: TK
 DATE: 12/30/19

TITLE SHEET

SITE PLAN
 PREPARED FOR
3451 LEXINGTON AVENUE,
LLC.
 3451 LEXINGTON AVENUE
 Town of Cortlandt, Westchester County, New York

Sheet **1-1**



Tax Lot 2
 Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
 As Per Deed

PROPOSED 14' HIGH RETAINING WALL
 ALL ASPHALT PAVEMENT IN THE TOWN ROW SHALL BE
 CONSTRUCTED USING DETAIL R-3 OF THIS PLAN SET
 PROPOSED SITE DIRECTORY SIGN 2
 R1-1
 PROPOSED GRASS PAVER PARALLEL PARKING
 SPACES TO ONLY BE USED DURING EVENTS
 PROPOSED PRIVATE GARAGE SIGN
 PROPOSED DROP CURB ALONG GRASS PAVERS

LOCATION OF DISPLAY VEHICLES DURING EVENTS

PROPOSED 6" CONC. CURB (TYP.)
 PROPOSED 8' WIDE CONCRETE SIDEWALK
 PROPOSED VISITOR PARKING SIGN
 PROPOSED SITE DIRECTORY SIGN 1
 PROPOSED SITE MONUMENT SIGN
 R1-1
 ALL ASPHALT PAVEMENT IN THE TOWN ROW SHALL BE
 CONSTRUCTED USING DETAIL R-3 OF THIS PLAN SET



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Revision	No.	Date	Comments
	1	4/14/20	Issue Comments
	2	8/17/20	Update Wetlands

SCALE: 1" = 30'
 DRAWN BY: TK
 DATE: 12/30/19

SITE PLAN

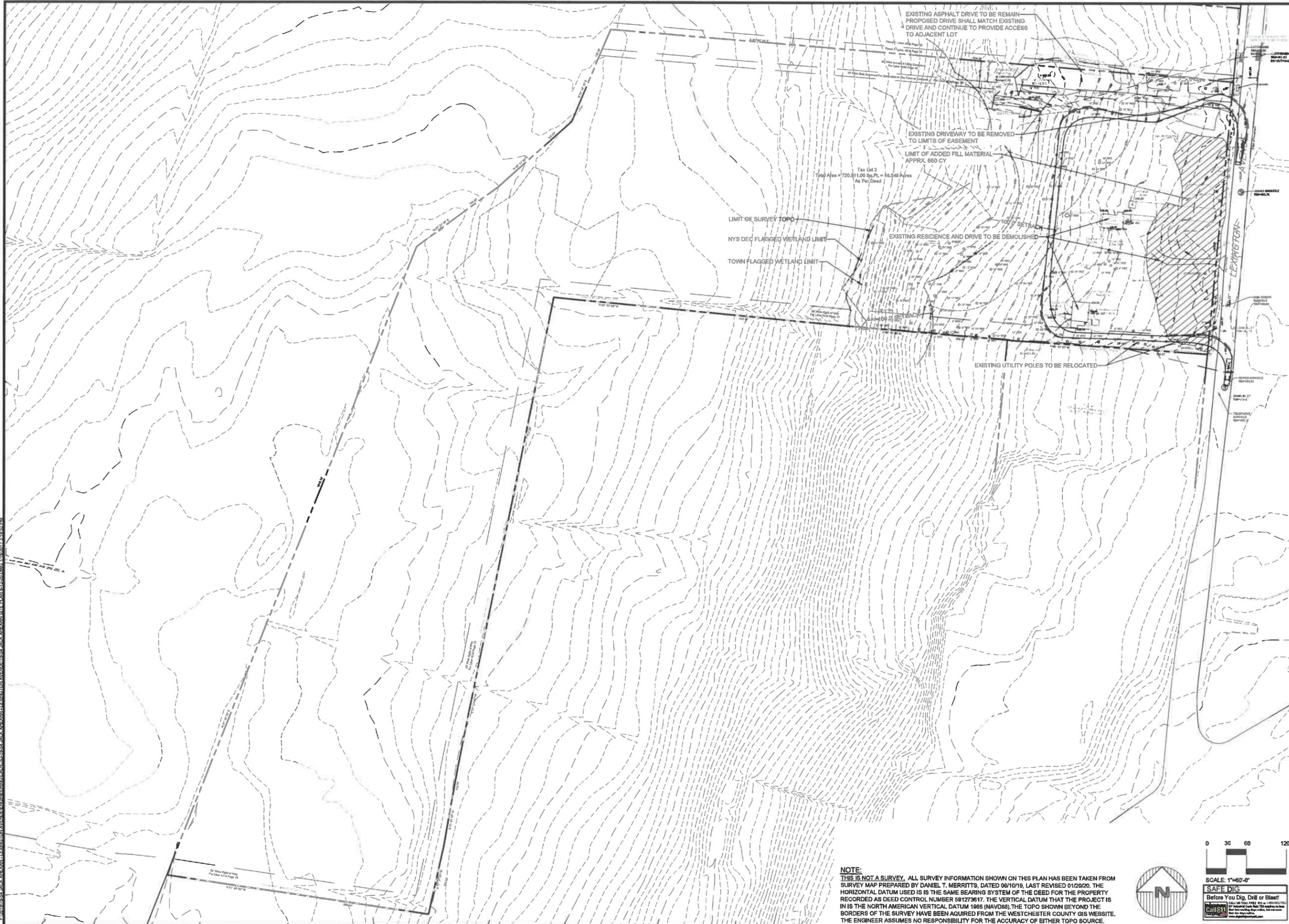
SITE PLAN
 PREPARED FOR
3451 LEXINGTON AVENUE, L.L.C.
 3451 LEXINGTON AVENUE
 Town of Cortlandt, Westchester County, New York

Sheet **C-101**

NOTE:
 THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, DATED 09/10/19, LAST REVISED 01/20/20. THE HORIZONTAL DATUM USED IS THE SAME BEARING SYSTEM OF THE DEED FOR THE PROPERTY RECORDED AS DEED CONTROL NUMBER 581273617. THE VERTICAL DATUM THAT THE PROJECT IS IN IS THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). THE TOPO SHOWN BEYOND THE BORDERS OF THE SURVEY HAVE BEEN ACQUIRED FROM THE WESTCHESTER COUNTY GIS WEBSITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.

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SCALE: 1"=60'-0"
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Revision No.	Date	Comments
1	4/14/20	Issue Commencement
2	8/17/20	Update Wetlands

SCALE: 1" = 60'
 DRAWN BY: TK
 DATE: 12/30/19

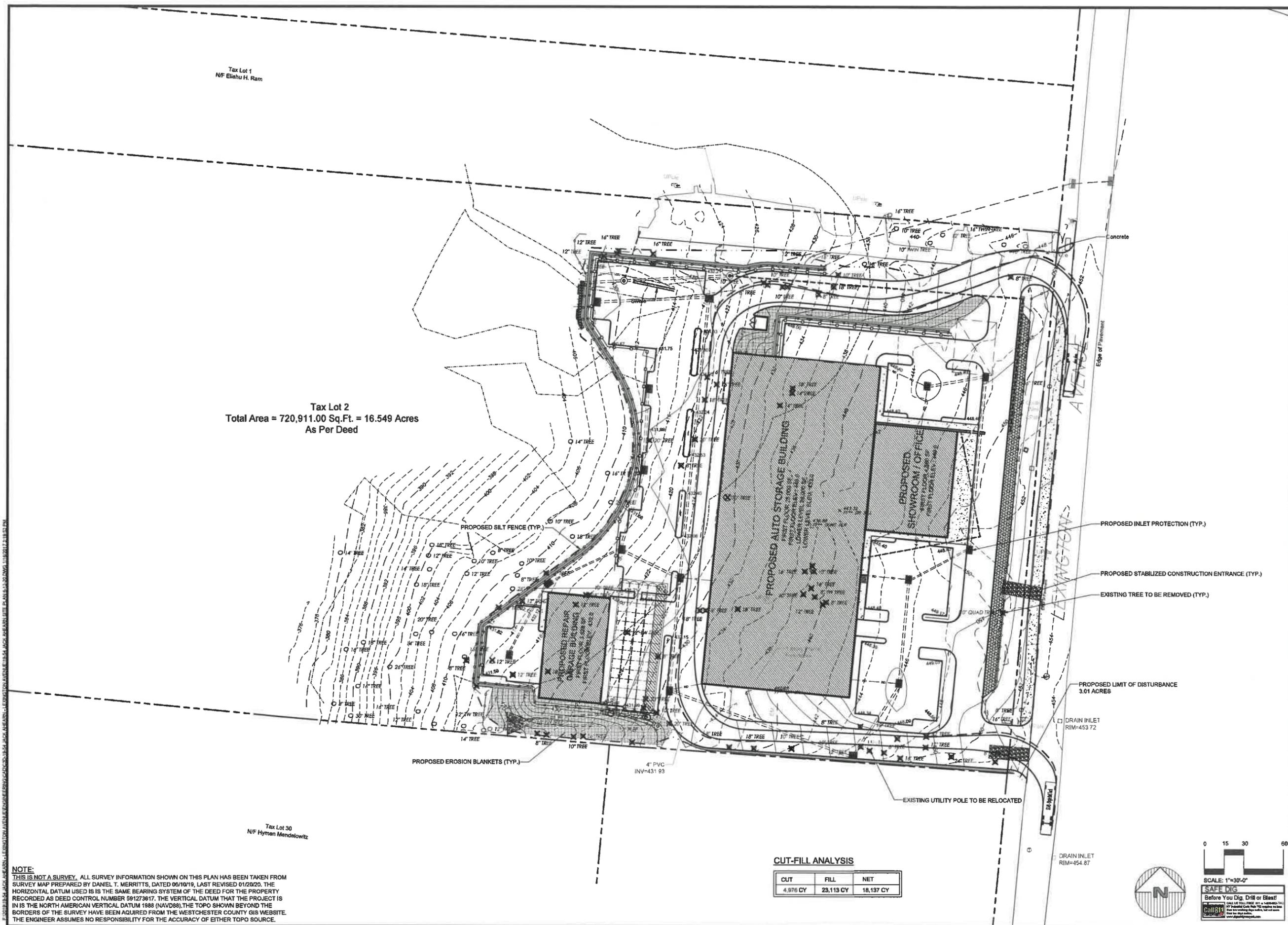
**EXISTING
 CONDITIONS**

SITE PLAN
 PREPARED FOR
**3451 LEXINGTON AVENUE,
 L.L.C.**
 3451 LEXINGTON AVENUE
 Town of Cortlandt, Westchester County, New York

Sheet **C-102**

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CUT-FILL ANALYSIS

CUT	FILL	NET
4,976 CY	23,113 CY	18,137 CY



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Engineer:
 Joseph C. Rina, P.E.
 NYS Lic. No. 0451

Revisions:

No.	Date	Comments
1	4/14/20	Issue Comments
2	8/12/20	Update Williams

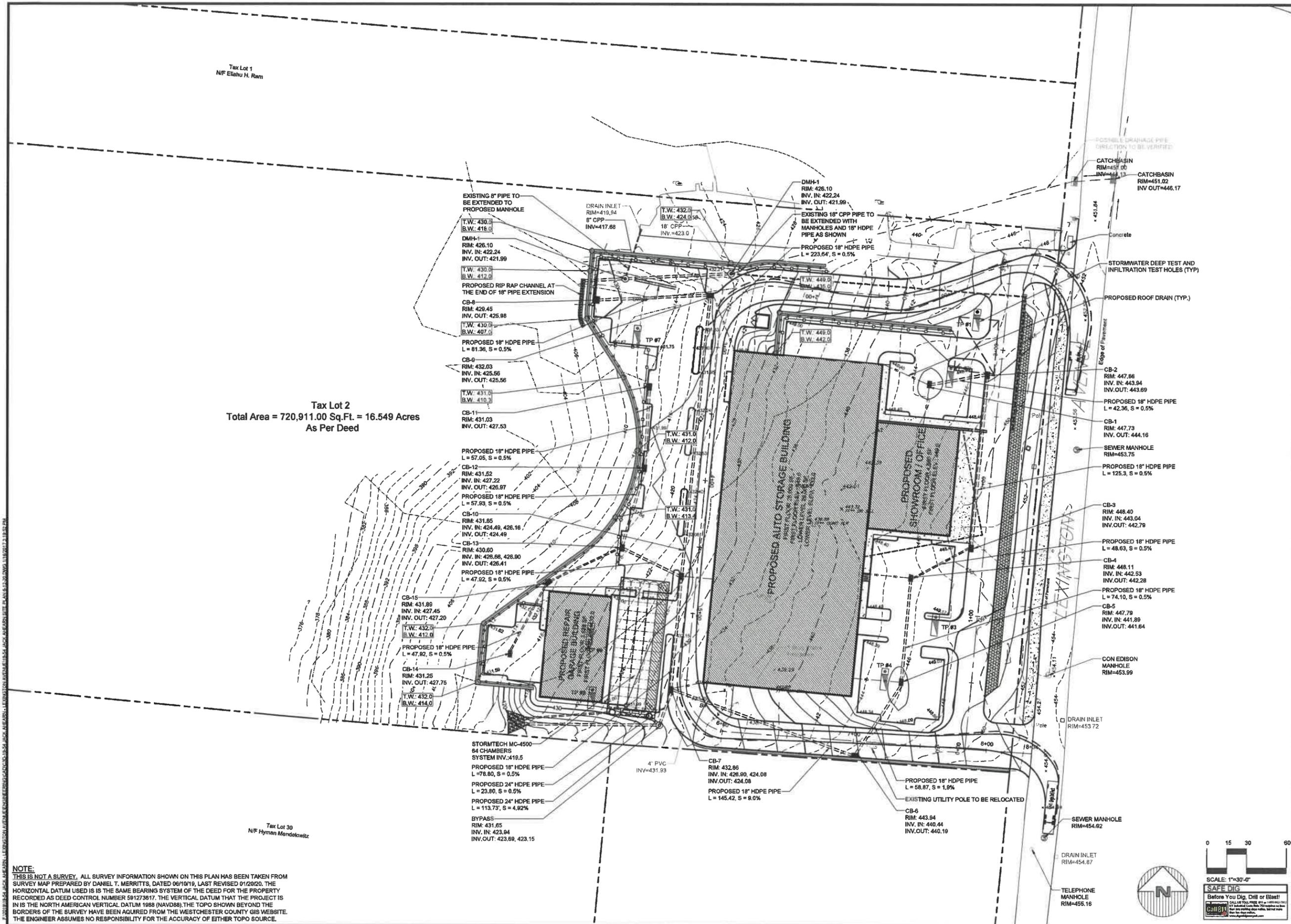
SCALE: 1" = 30'
 DRAWN BY: TK
 DATE: 12/01/19

E&S PLAN

SITE PLAN PREPARED FOR
3451 LEXINGTON AVENUE, LLC.
 3451 LEXINGTON AVENUE
 Town of Cortlandt, Westchester County, New York

Sheet **C-103**

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Tax Lot 2
Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
As Per Deed

Tax Lot 30
N/F Hymen Mendelowitz

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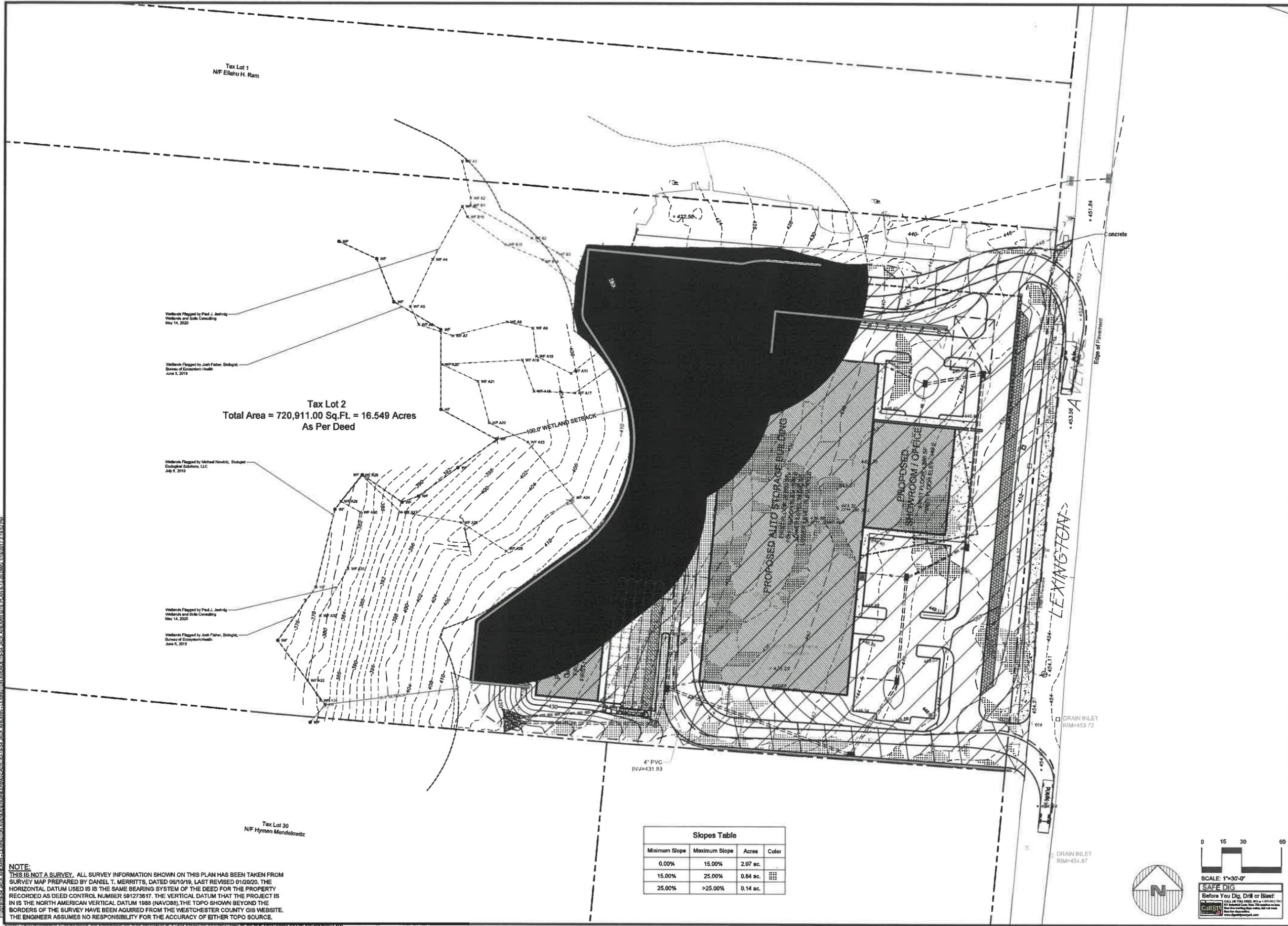
Revisions:	No.	Date	Comments
	1	4/14/20	Issue Construction
	2	8/27/20	Update Williams

SCALE:	1" = 30'
DRAWN BY:	TK
DATE:	12/01/19

IMPROVEMENT PLAN

SITE PLAN PREPARED FOR
3451 LEXINGTON AVENUE, LLC.
3451 LEXINGTON AVENUE
Town of Cortlandt Westchester County, New York



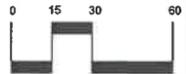


Tax Lot 2
Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
As Per Deed

Slopes Table			
Minimum Slope	Maximum Slope	Acres	Color
0.00%	15.00%	2.07 ac.	
15.00%	25.00%	0.84 ac.	
25.00%	>25.00%	0.14 ac.	

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Engineer:
Joseph C. Ritina, P.E.
NYS Lic. No. 64631

Revisions:	No.	Date	Comments
	1	12/20/19	Initial Submission
	2	01/28/20	Revised
	3	01/28/20	Final Version

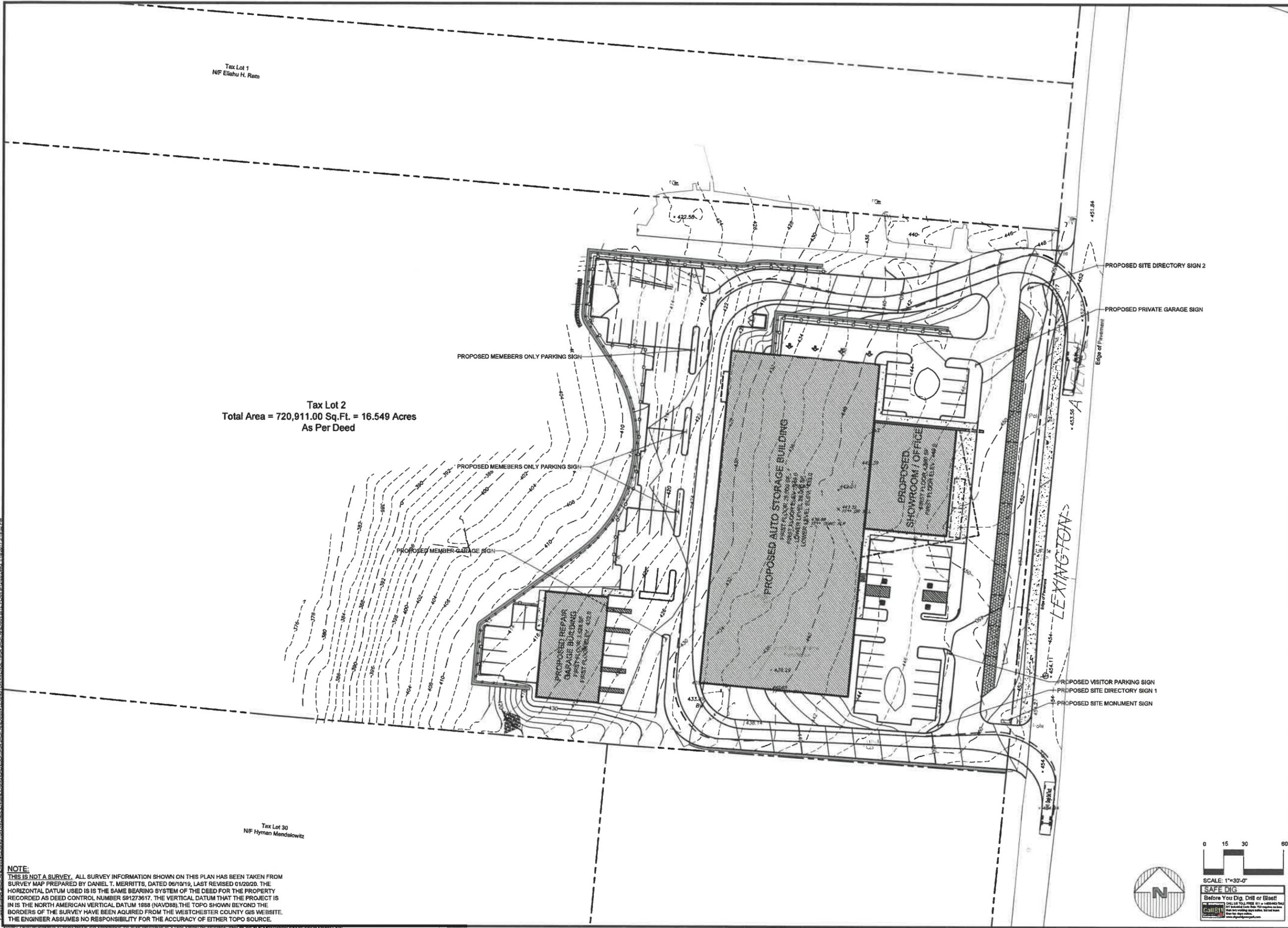
SCALE: 1" = 30'
DRAWN BY: TK
DATE: 12/20/19

**STEEP SLOPES
MAP**

SITE PLAN
PREPARED FOR
**3451 LEXINGTON AVENUE,
LLC.**
3451 LEXINGTON AVENUE
Town of Cortlandt Westchester County, New York

Sheet **C-105**

PROJECT # 13-05
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Tax Lot 2
Total Area = 720,911.00 Sq.Ft. = 16.549 Acres
As Per Deed

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Revisions:	No.	Date	Comments
	1	4/14/20	Issue Comments Update Worksheet
	2	8/7/20	

SCALE: 1" = 30'
DRAWN BY: TK
DATE: 12/01/19

VEHICLE TURNING PLAN

SITE PLAN PREPARED FOR
3451 LEXINGTON AVENUE, LLC.
3451 LEXINGTON AVENUE
Town of Cortlandt Westchester County, New York

Sheet **C-108**

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Scale: 1 inch = 60 Ft.



Prepared For:
Darin Sales
28 Burnside Ave
Edison, NJ 08817

Job Name:
3451 Lexington Ave
Cornland, NY
Lighting Layout
Version B

Scale as noted
Date: 01/15/2020
PROJECT #: 150590
CASE #: 00374415

Filename: 3451 Lexington Ave Layout 00374415 BAG
Drawn By: A. Murphy

The Lighting Analysis, layout, Energy Analysis and/or Visual Simulation (Lighting Design) provided by the RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been fully verified by RAB and therefore actual measured results may vary from the actual RAB predictions. RAB does not warrant design parameters and other information for their use in other projects.

RAB neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design when it is completed, unless specifically stated in writing. RAB's responsibility is limited to the design of the lighting system as shown on the drawings. RAB is not responsible for any other construction or installation of the lighting system. The Lighting Design is based on the information provided and is not intended for construction as a part of a project's construction documentation package.

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpCrLr	PtSpCrTb	Meter Type
CalcPts - Behind Storage Bldg	Illuminance	Fc	1.42	36.1	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	10	10	Horizontal
CalcPts - Front of Site	Illuminance	Fc	1.47	28.6	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	10	10	Horizontal
Property Line - Front	Illuminance	Fc	0.10	0.2	0.0	N.A.	N.A.	Readings taken at 5'-0" AFG	10	N.A.	Vert-PerpCCW
Property Line - North	Illuminance	Fc	0.10	0.2	0.0	N.A.	N.A.	Readings taken at 5'-0" AFG	10	N.A.	Vert-PerpCCW
Property Line - South	Illuminance	Fc	0.16	0.4	0.0	N.A.	N.A.	Readings taken at 5'-0" AFG	10	N.A.	Vert-PerpCCW
Retaining Wall_Top	Illuminance	Fc	11.38	35.1	0.3	37.93	117.00	Readings taken on Wall	10	10	Normal
Slope of Parking Lots_Grade	Illuminance	Fc	1.55	28.6	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	10	10	Normal
Back of Building Parking	Illuminance	Fc	1.77	6.9	0.2	8.65	34.50	Readings taken at 0'-0" AFG	10	10	Normal
Back Storage Parking	Illuminance	Fc	3.21	8.5	0.9	3.57	13.44	Readings taken at 0'-0" AFG	10	10	Normal
Front of Building Parking	Illuminance	Fc	3.65	23.3	0.4	9.13	58.25	Readings taken at 0'-0" AFG	10	10	Normal

Symbol	Qty	Tag	Label	Arrangement	LLF	Description	BUG Rating
A	20	A	WPLED2T78	SINGLE	1.000	Type II Wall Mount	B1-UO-G2
B	9	B	ALED4T78SFN-PCS	SINGLE	1.000	Type IV Slipfitter Mount	B1-UO-G2

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	287.908	102.444	0.616	270	0
2	A	270.679	103.813	0.697	265.801	0
3	A	221.983	128.504	-8.45	176.295	0
4	A	224.148	145.495	-8.45	176.295	0
5	A	226.837	177.367	-8.45	176.295	0
6	A	220.878	225.973	-8.45	176.295	0
7	A	232.465	242.92	-8.45	176.295	0
8	A	236.321	292.015	-8.45	176.295	0
9	A	239.03	323.009	-8.45	176.295	0
10	A	240.187	340.054	-8.45	176.295	0
11	A	259.285	360.746	-3.34	85.68	0
12	A	283.148	358.51	9.002	85.68	0
13	A	302.54	356.929	9.002	85.68	0
14	A	321.626	355.524	9.002	85.68	0
15	A	341.571	353.507	9.002	85.68	0
16	A	384.134	308.253	8.093	85.68	0
17	A	341.45	141.579	7.682	355.915	0
18	A	342.726	158.649	7.682	355.915	0
19	A	348.501	223.523	7.682	355.915	0
20	A	357.177	321.791	7.682	355.915	0
21	B	407.013	119.789	20	173.839	10
22	B	413.8	194.973	20	174.663	10
23	B	426.445	336.99	20	175.87	10
25	B	70.551	114.684	2.976	65.71	0
26	B	163.861	230.042	2.976	0	10
27	B	173.016	340.431	2.976	0	10
28	B	186.575	424.993	2.976	259.178	10
29	B	168.135	89.309	2.976	84.059	10
30	B	392.066	421.593	20	270	10



Prepared For:
Darin Sales
28 Burnside Ave
Edison, NJ 08817

Job Name:
3451 Lexington Ave
Cornland, NY
Lighting Layout
Version B

Scale as noted
Date: 01/15/2020
PROJECT #: 150590
CASE #: 00374415

Filename: 3451 Lexington Ave Layout 00374415 BAG
Drawn By: A. Murphy

The Lighting Analysis, layout, Energy Analysis and/or Visual Simulation (Lighting Design) provided by the RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been fully verified by RAB and therefore actual measured results may vary from the actual RAB predictions. RAB does not warrant design parameters and other information for their use in other projects.

RAB neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design when it is completed, unless specifically stated in writing. RAB's responsibility is limited to the design of the lighting system as shown on the drawings. RAB is not responsible for any other construction or installation of the lighting system. The Lighting Design is based on the information provided and is not intended for construction as a part of a project's construction documentation package.

NOTE:
THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, DATED 08/10/19, LAST REVISED 01/20/20. THE HORIZONTAL DATUM USED IS THE SAME BEARING SYSTEM OF THE DEED FOR THE PROPERTY RECORDED AS DEED CONTROL NUMBER 581273817. THE VERTICAL DATUM THAT THE PROJECT IS IN IS THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88). THE TOPO SHOWN BEYOND THE BORDERS OF THE SURVEY HAVE BEEN ACQUIRED FROM THE WESTCHESTER COUNTY GIS WEBSITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EITHER TOPO SOURCE.

WPLED2T78



Color: Bronze Weight: 34.8 lbs

Technical Specifications

UL Listing:
Suitable for wet locations as a downlight
DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P000217AG
IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.
LED Characteristics
LifeSpan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.
LEDs:
56 (S) multi-chip, 12W, high-output, long-life LEDs
Color Consistency:
3-step MacAdam Elipse binning to achieve consistent future-to-future color
Color Uniformity:
LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period
RAB range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78-377-2017.

Construction
IP Rating:
Ingress Protection rating of IP66 for dust and water
Ambient Temperature:
Suitable for use in 40°C (104°F) ambient temperatures
Cold Weather Starting:
Minimum starting temperature is -40°C (-40°F)
Housing:
Die cast aluminum housing, lens frame and mounting arm
Reflector:
Specular vacuum-metallized polycarbonate
Finish:
High temperature silicone gelcoats
Optical:
Formulated for high-contrast and long lasting color
Green Technology:
Mercury and UV-free, RoHS compliant components. Polymer powder coat finish formulated without the use of VOCs or toxic heavy metals.
For use on LEED Buildings:
IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.
Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com
Patents:
The WPLED design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.
Replacement:
Replace 400W Metal Halide

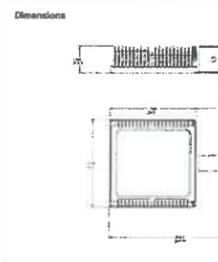
Project: _____ Type: _____
Prepared By: _____ Date: _____
Driver Info: _____ LED Info: _____



WPLED2T78

Technical Specifications (continued)

Other:
Buy American Act Compliance:
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.



Ordering Matrix

Family	Optics	Wattage	Color Temp	Mounting	Finish	Driver Options	Options	Other Options
WPLED	2T	76	A	A	A	A	A	A

Features
High performance LED light engine
Maintains 70% of initial lumen at 100,000 hours
Weatherproof high temperature silicone gelcoats
Superior heat sinking with the cast aluminum housing and external fan
Replace 400W MH
100 up to 277 Volts
5-year warranty

Specification Grade Option:
The Type II distribution is ideal for wide walkways, or ramps and entrance walkways, site paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadway. The type of lighting is commonly found on smaller size streets or parking paths.
BUG Rating:
B1 UO G2
Electrical
Driver:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%
THD:
5.0% at 120V, 12.3% at 277V
Surge Protection:
6kV
Other:
Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com
Patents:
The WPLED design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.
Replacement:
Replace 400W Metal Halide

Need help? Tech help line: (888) RAB-1888 Email: sales@rablighting.com Website: www.rablighting.com
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ALED4T78SFN/PCS



Color: Bronze Weight: 32.0 lbs

Technical Specifications

Electrical
PhotoCell:
120V Bi-Level PhotoCell Included. PhotoCell is only compatible with 120V.
Driver:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%
Surge Protection:
4kV
Construction
IES Classification:
The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walkways, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candlepower at lesser angles from 90° to 270°.
UL Listing:
Suitable for wet locations as a downlight
IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
LED Characteristics
LifeSpan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.
LEDs:
56 (S) multi-chip, 12W, high-output, long-life LEDs

Color Consistency:
3-step MacAdam Elipse binning to achieve consistent future-to-future color
Color Uniformity:
LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period
For use on LEED Buildings:
IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.
Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com
Patents:
The ALED design is protected by patents in the U.S., Pat. 6,663,370, Canada Pat. 14,499,518, Mexico Pat. 23,423. Pending patents in Taiwan.

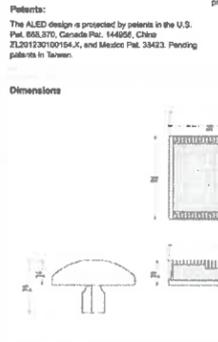
Project: _____ Type: _____
Prepared By: _____ Date: _____
Driver Info: _____ LED Info: _____



ALED4T78SFN/PCS

Technical Specifications (continued)

Other:
Buy American Act Compliance:
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.



Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T	76	SF	N	A	A	A	A

Features
85% energy cost savings vs. MH
100,000-hour LED lifespan
5-year warranty

Specification Grade Option:
The Type II distribution is ideal for wide walkways, or ramps and entrance walkways, site paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadway. The type of lighting is commonly found on smaller size streets or parking paths.
BUG Rating:
B1 UO G2
Electrical
Driver:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%
THD:
5.0% at 120V, 12.3% at 277V
Surge Protection:
6kV
Other:
Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com
Patents:
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www.sitedesignconsultants.com



Revisions	No.	Date	Description
1	4/15/20	150590	150590

SCALE: #/###/###
DRAWN BY: TK
DATE: 12/30/19

LIGHTING PLAN

3451 LEXINGTON AVENUE, L.L.C.
3451 LEXINGTON AVENUE
Town of Cornland
Westchester County, New York

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