

GENERAL NOTES

1. THESE GENERAL NOTES SHALL APPLY TO ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.
2. DO NOT SCALE DRAWINGS: DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS, LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS.
3. THERE WILL BE NO SUBSTITUTION OF MATERIALS WHERE MANUFACTURER IS SPECIFIED, WHERE THE TERM 'OR EQUAL' ISSUED, THE ARCHITECT ALONE SHALL DETERMINE THE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.
4. WORK IS TO BE PERFORMED IN ACCORDANCE WITH RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
5. THE GENERAL CONTRACTOR, AT HIS COST, SHALL FURNISH ALL TEMPORARY LIGHT AND POWER COMPLETE WITH ALL WIRING, LAMPS AND SIMILAR EQUIPMENT, AS REQUIRED FOR THE COMPLETION OF THE WORK. HE SHALL REMOVE ALL SUCH WORK WHEN DIRECTED.
6. THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND FITTING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS.
7. THE GENERAL CONTRACTOR SHALL, BEFORE SUBMITTING HIS BID, REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING. HE SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED, WITH ALL DUE EXPEDIENCY, TO THE ARCHITECT.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
9. THE GENERAL CONTRACTOR SHALL FURNISH SAMPLES OF THE VARIOUS MATERIALS AND FINISHES REQUESTED IN THE CONTRACT DOCUMENTS TO THE ARCHITECT ALONG WITH THE INTENDED USE BEFORE THE COMMENCEMENT OF THE SPECIFIED WORK.
10. THE CONTRACTOR SHALL BE ANSWERABLE TO THE ARCHITECT AND SHALL NOT ACCEPT INSTRUCTION FROM LOCAL PERSONNEL WITHOUT VERIFICATION FROM THE ARCHITECT. THE CONTRACTOR SHALL BE LIABLE FOR ANY EXPENSE CAUSED BY THE EXECUTION OF SUCH WORK, WITHOUT SUCH VERIFICATION AND FOR EXPENSES CAUSED BY ITS REMOVAL OR CORRECTION.
11. DRAWINGS IN THIS SET AND DESIGNS THEREON ARE THE PROPERTY OF THE ARCHITECT.
12. A REPRESENTATIVE OF THE GENERAL CONTRACTOR, AUTHORIZED TO DISCUSS THE WORK AND RECEIVE INSTRUCTIONS FROM THE ARCHITECT SHALL BE ON THE JOB AT ALL TIMES THAT WORK IS IN PROGRESS.
13. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, UNLESS OTHERWISE NOTED.
14. ALL WORK AND MATERIALS FURNISHED BY THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE GUARANTEED AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM THE ARCHITECT'S APPROVAL FOR FINAL PAYMENT.
15. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
16. ALL WORK SHALL BE COMPLETED FOR THE AGREED UPON CONTRACT PRICE WITHOUT RECOURSE TO LABOR STOPPAGES OR REVISIONS OF GOVERNING REGULATIONS, LAWS AND CODES.
17. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.
18. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.
19. ALL NEW YORK STATE ENERGY CODE REQUIREMENTS SHALL BE MET OR EXCEEDED.
20. THE CONTRACTOR SHALL BE REQUESTED TO PROVIDE SAMPLES LISTED BELOW. NO MATERIALS SHALL BE USED WHICH DO NOT EQUAL THE APPROVED SAMPLE UNTIL SUCH APPROVAL HAS BEEN GIVEN. ANY MATERIAL TO BE SO APPROVED MUST NOT BE FABRICATED OR INCORPORATED IN THE WORK. THE APPROVAL OF SAMPLES WILL NOT PRECLUDE THE REJECTION OF ANY MATERIAL UPON THE DISCOVERY OF DEFECTS IN SAME PRIOR TO THE FINAL ACCEPTANCE OF THE COMPLETED WORK.
21. SUBSTITUTIONS FOR APPROVED MATERIALS WILL BE ALLOWED UNDER THE CONDITIONS PREVIOUSLY STATED. SAMPLES, MATERIAL LISTS, MANUFACTURER'S LITERATURE AND OTHER REQUIRED INFORMATION SHALL BE SUBMITTED IN SUFFICIENT TIME TO PERMIT PROPER CONSIDERATION AND ACTION ON SAME BEFORE ANY MATERIALS OR ITEMS WHICH SUCH SUBMITTAL REPRESENT ARE DELIVERED TO THE JOB SITE.
22. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DELAY IN THE PROGRESS OF THE WORK WHICH MAY BE DUE TO HIS FAILURE TO OBSERVE THESE REQUIREMENTS. THE TIME FOR THE COMPLETION OF HIS CONTRACT WILL NOT BE EXTENDED ON ACCOUNT OF HIS FAILURE TO SUBMIT SAMPLES PROMPTLY IN STRICT ACCORDANCE HEREWITH.
23. SHOULD THE GENERAL CONTRACTOR, BY HIS OWN DEFAULT, FAIL TO ADHERE TO THE CONSTRUCTION SCHEDULE, HE SHALL, AT THE DISCRETION OF THE ARCHITECT, PERFORM WORK IN PREMIUM TIME TO CONFORM WITH THE SCHEDULE. ANY EXPENSES AS MAY BE CAUSED BY SUCH WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
24. THE GENERAL CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO EXECUTE ALL THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS WITH THE EXCEPTION OF THOSE ITEMS NOTED AS SEPARATE CONTRACTS OR 'N.C.'.
25. SHOULD THE DRAWINGS DISAGREE IN THEMSELVES OR WITH THE SPECIFICATIONS, OR SHOULD THE SPECIFICATIONS DISAGREE IN THEMSELVES, THE BETTER QUALITY OR GREATER QUANTITY OF WORK OR MATERIALS SHALL BE ESTIMATED UPON, AND THE ARCHITECT NOTIFIED BEFORE PROCEEDING. THE GENERAL CHARACTER OF THE DETAIL WORK IS SHOWN ON THE DRAWINGS BUT MINOR MODIFICATIONS MAY BE MADE BY THE ARCHITECT.
26. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS FOR REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE WITH THE OWNER. THE PROJECT SHALL BE LEFT CLEAN AND CLEAR TO THE SATISFACTION OF THE ARCHITECT AND THE DISPOSITION OF ALL SALVAGED MATERIALS IS TO BE CLEARED WITH THE ARCHITECT PRIOR TO REMOVAL.
27. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WHO WILL COMPILE A 'FINCH LIST' OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS.
28. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, TELEPHONE, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT), AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
29. THROUGHOUT THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF A CLAIM OF LIEN AGAINST THE ARCHITECT BY SUBCONTRACTORS OR SUPPLIERS OF MATERIALS, LABOR SERVICE OR EQUIPMENT OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE.
30. THE OWNER MUST OBTAIN AND MAINTAIN ALL INSURANCE REQUIRED BY LOCAL BUILDING DEPARTMENT AND LENDING INSTITUTIONS.
31. LICENCED ELECTRICIAN TO PROVIDE HARDWIRED SMOKE DETECTORS AS REQUIRED BY NYS CODE REGULATION R-111.
32. PROJECT SHALL COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE AND WITH 2011 NEW YORK STATE UNIFORM CODE SUPPLEMENT.

DRAWING LIST

GENERAL NOTES & DRAWING LIST	A-1
FLOT PLAN & ZONING ANALYSIS	A-2
NOT USED	TBD
FIRST FLOOR PLAN	A-4
SECOND FLOOR PLAN	A-5
FRONT ELEVATION	A-6
ENTRY SIDE ELEVATION	A-7
REAR ELEVATION	A-8
BOULDER SIDE ELEVATION	A-9

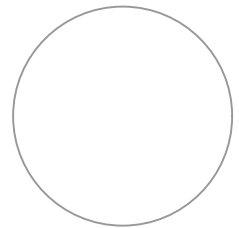
CLIMACTIC & GEOGRAPHIC DESIGN CRITERIA

SNOW LOAD	30#/SF
WIND SPEED	115-120 MPH
TOPO EFFECTS	NO
SPECIAL WIND REGION	YES
WIND BORNE DEBRIS ZONE	NO
SEISMIC DESIGN CATAGORY	C
WEATHERING	SEVERE
FROST LINE DEPTH	42"
TERMITE ZONE	MOD. TO HEAVY
CLIMATE ZONE	4A
ICE SHIELD UNDERLAYMENT	REQUIRED
FLOOD HAZARDS	N.A.
AIR FREEZING INDEX	1500 OR LESS
MEAN ANNUAL TEMP.	51.6

**PERLMAN
RESIDENCE**

**ADDITION &
ALTERATIONS**

131
**COLABAUGH
POND ROAD**
CROTON ON HUDSON
NEW YORK



**JOHN POWER
ARCHITECT**

24 VAN WYCK STREET
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ZBA SUBMISSION 8/22/19
BLDG. PERMIT 7/21/19
PLOT PLAN DEV. 7/17/19
DESIGN DEV.
& FINANCING REV. 7/8/19
PLAN REVISIONS 6/10/19
PRELIM PRICING 5/16/19
DESIGN REVIEW 5/2/19
PLANS D1 & D2 4/15/19
EXIST. ELEV. 4/11/19
EXIST. PLANS 4/10/19

No.	Revisions	Date
		3/27/19

**GENERAL NOTES &
DRAWING LIST**

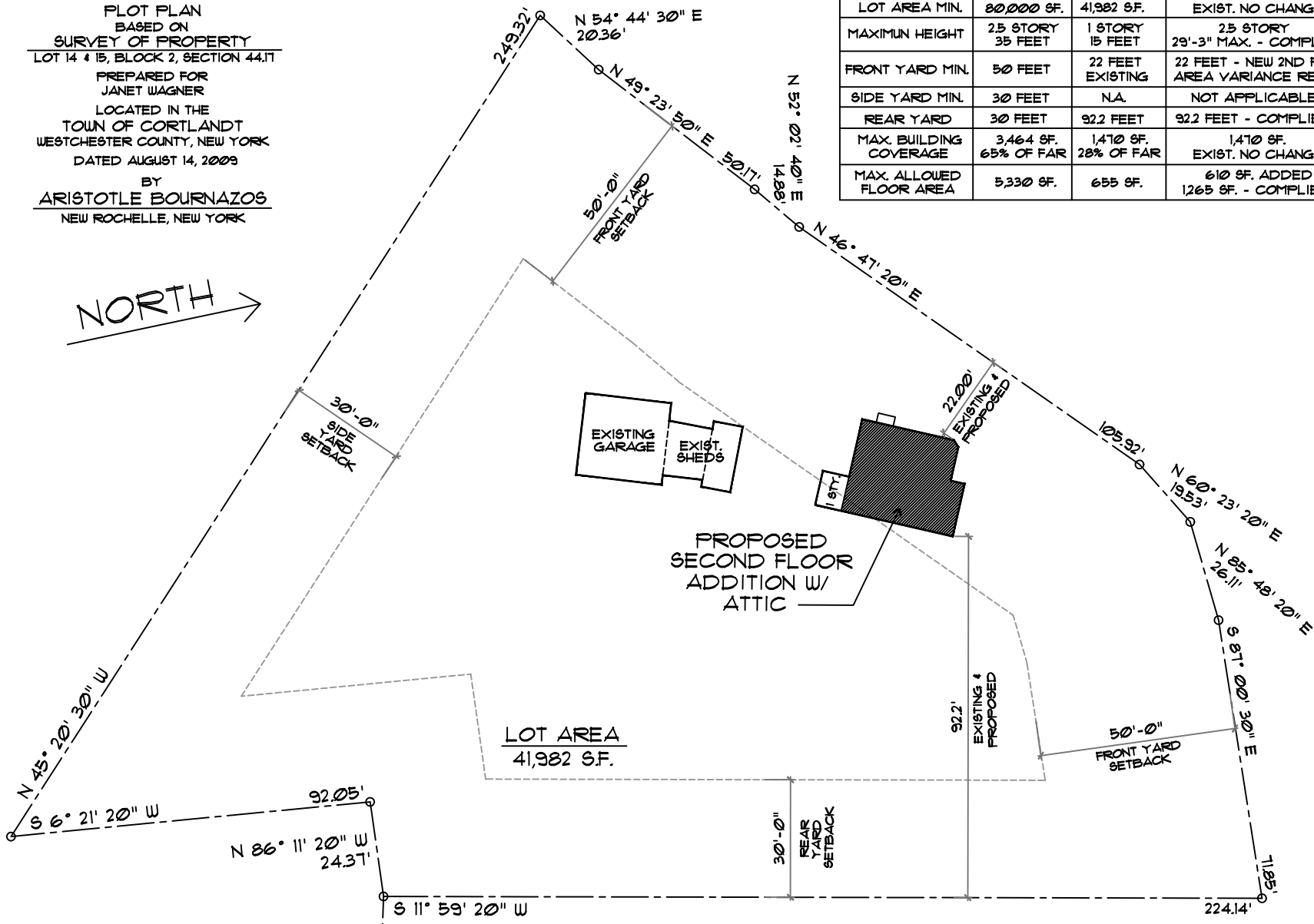
Drawn by	JJP	Checked by	JJP
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Project No.	2019.08	Scale	N.A.
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Drawing No.	A-1
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PLOT PLAN
 BASED ON
 SURVEY OF PROPERTY
 LOT 14 & 15, BLOCK 2, SECTION 44.17
 PREPARED FOR
 JANET WAGNER
 LOCATED IN THE
 TOWN OF CORTLANDT
 WESTCHESTER COUNTY, NEW YORK
 DATED AUGUST 14, 2009
 BY
 ARISTOTLE BOURNAZOS
 NEW ROCHELLE, NEW YORK

NORTH →



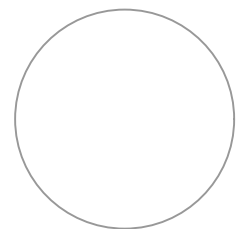
ZONING ANALYSIS FOR DISTRICT R-80

PARAMETER	REQUIRED ALLOWED	EXISTING	PROPOSED
LOT AREA MIN.	80,000 SF.	41,982 SF.	EXIST. NO CHANGE
MAXIMUM HEIGHT	25 STORY 35 FEET	1 STORY 15 FEET	25 STORY 29'-3" MAX. - COMPLIES
FRONT YARD MIN.	50 FEET	22 FEET EXISTING	22 FEET - NEW 2ND FLR AREA VARIANCE REQ'D
SIDE YARD MIN.	30 FEET	N.A.	NOT APPLICABLE
REAR YARD	30 FEET	92.2 FEET	92.2 FEET - COMPLIES
MAX. BUILDING COVERAGE	3,464 SF. 65% OF FAR	1,470 SF. 28% OF FAR	1,470 SF. EXIST. NO CHANGE
MAX. ALLOWED FLOOR AREA	5,330 SF.	655 SF.	610 SF. ADDED 1265 SF. - COMPLIES

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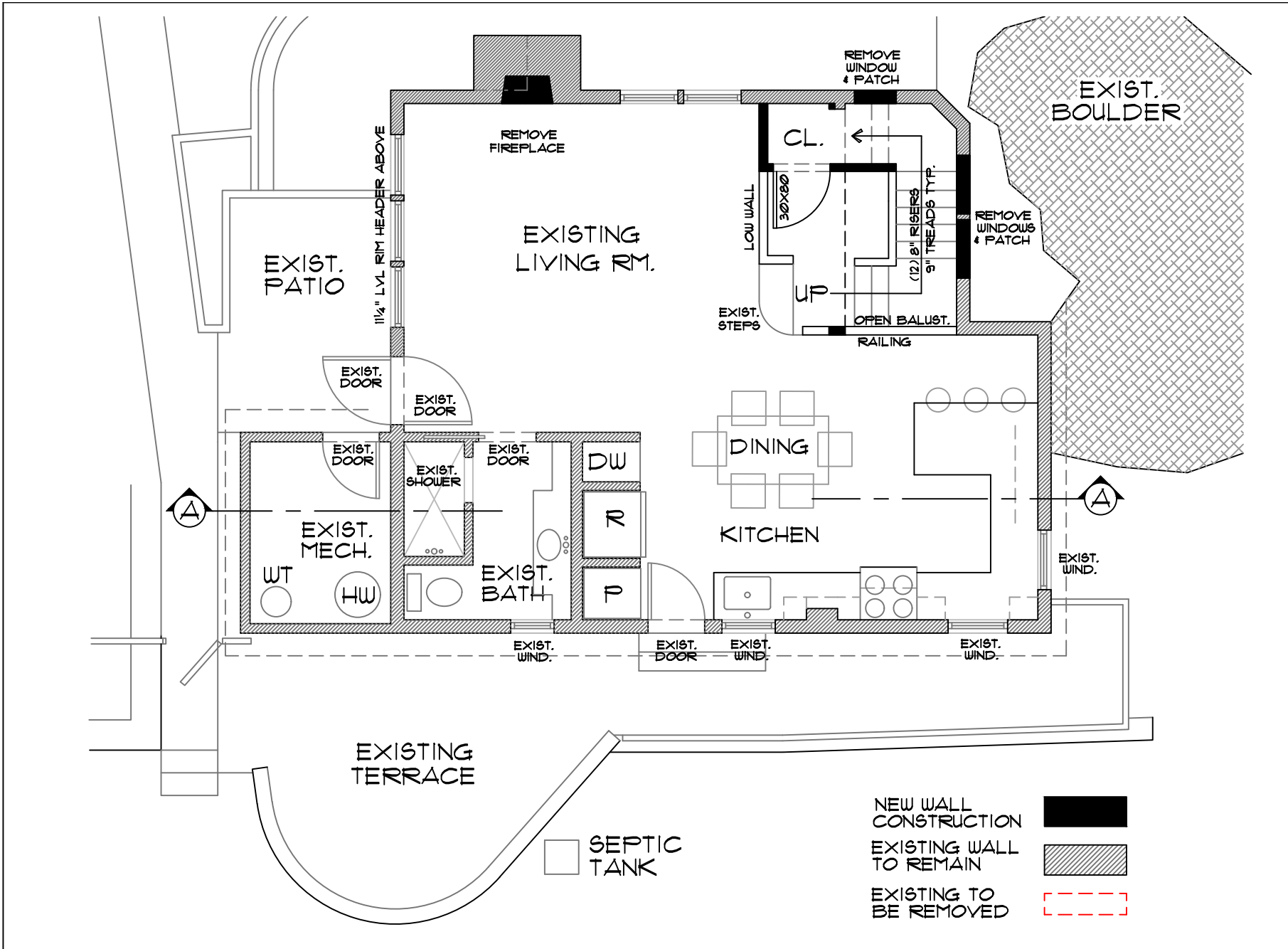
ZBA SUBMISSION 8/22/19
 BLDG. PERMIT 7/21/19
 PLOT PLAN DEV. 7/17/19
 DESIGN DEV.
 & FINANCING REV. 7/8/19
 PLAN REVISIONS 6/10/19
 PRELIM PRICING 5/16/19
 DESIGN REVIEW 5/2/19
 PLANS D1 & D2 4/15/19
 EXIST. ELEV. 4/11/19
 EXIST. PLANS 4/10/19

No. Revisions Date
 PROJECT START 3/27/19
 Drawing Title

PARTIAL
PLOT PLAN

Drawn by JJP Checked by JJP

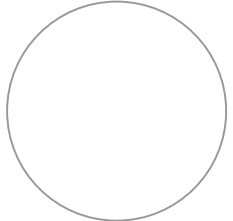
Project No. 2019.08 Scale 1" = 30'-0"
 Drawing No.



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ALTERATIONS**

131
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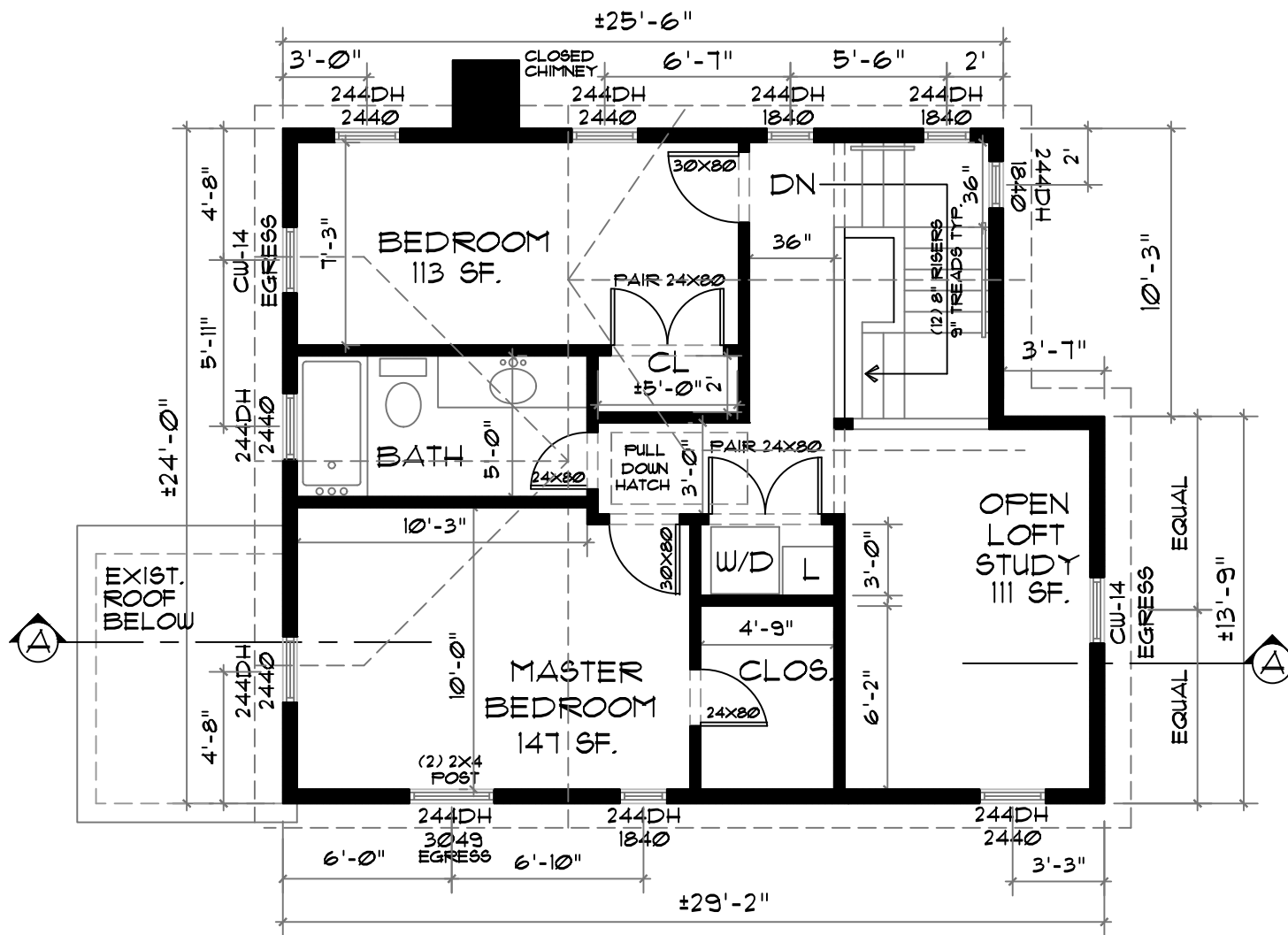
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EXIST. PLANS	4/10/19
No. Revisions	Date
PROJECT START	3/27/19
Drawing Title	

**PROPOSED
FIRST FLOOR PLAN**

Drawn by	JJP	Checked by	JJP
Project No.	2019.08	Scale	1/4" = 1'-0"
Drawing No.			

A - 4



NEW WALL
CONSTRUCTION

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EXIST. PLANS	4/10/19

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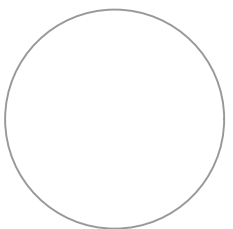
**PROPOSED
SECOND FLOOR PLAN**

Drawn by	JJP	Checked by	JJP
Project No.	2019.08	Scale	1/4" = 1'-0"
Drawing No.	A-5		

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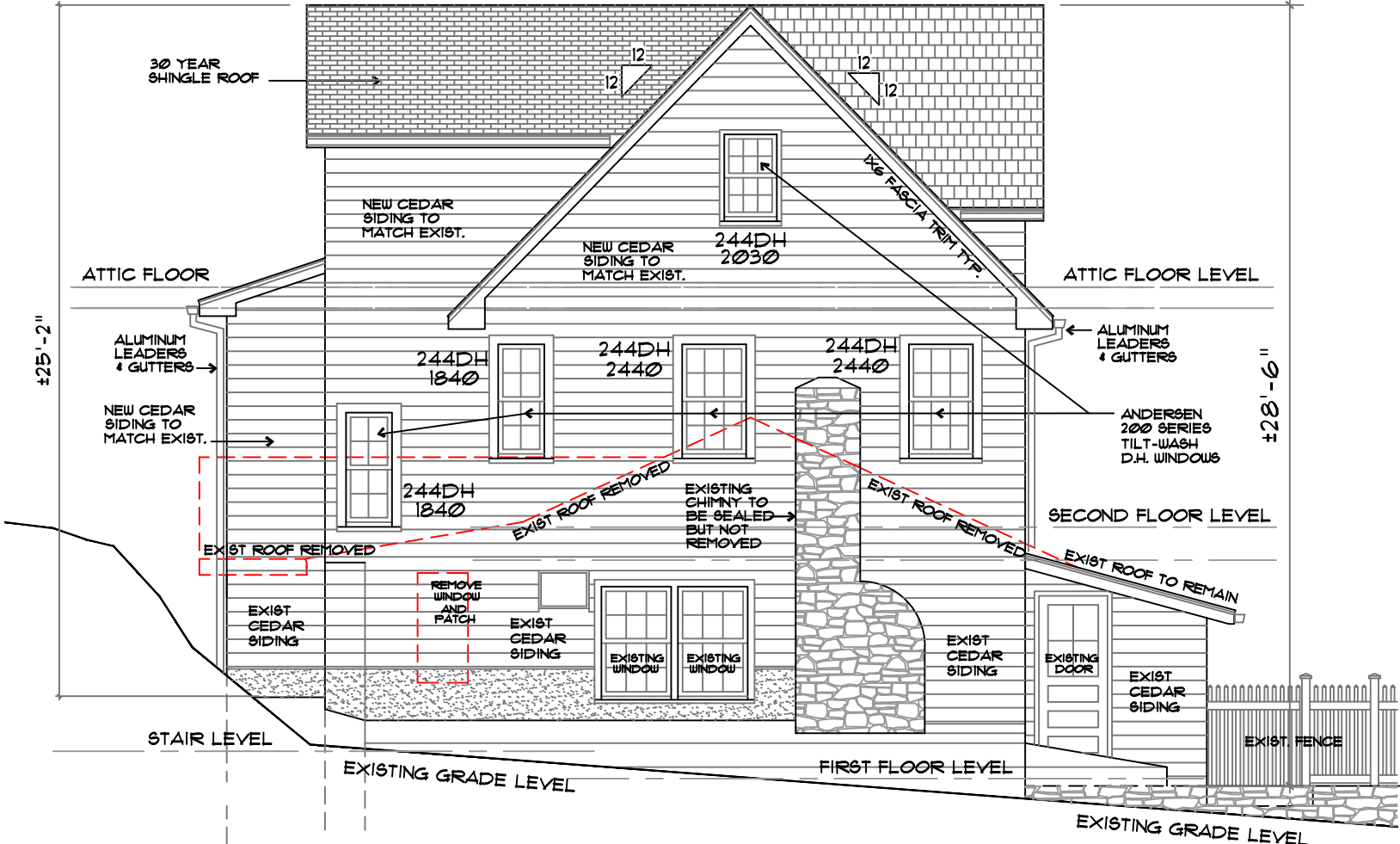
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EXIST. PLANS	4/10/19

No.	Revisions	Date
PROJECT START		3/27/19
Drawing Title		

**PROPOSED
FRONT ELEVATION**

Drawn by	JJP	Checked by	JJP
Project No.	2019.08	Scale	1/4" = 1'-0"
Drawing No.			

A-6

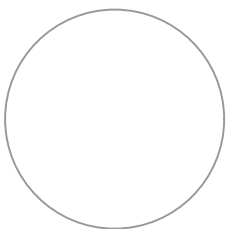


PROPOSED FRONT ELEVATION

**PERLMAN
RESIDENCE**

**ADDITION &
ALTERATIONS**

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NEW YORK



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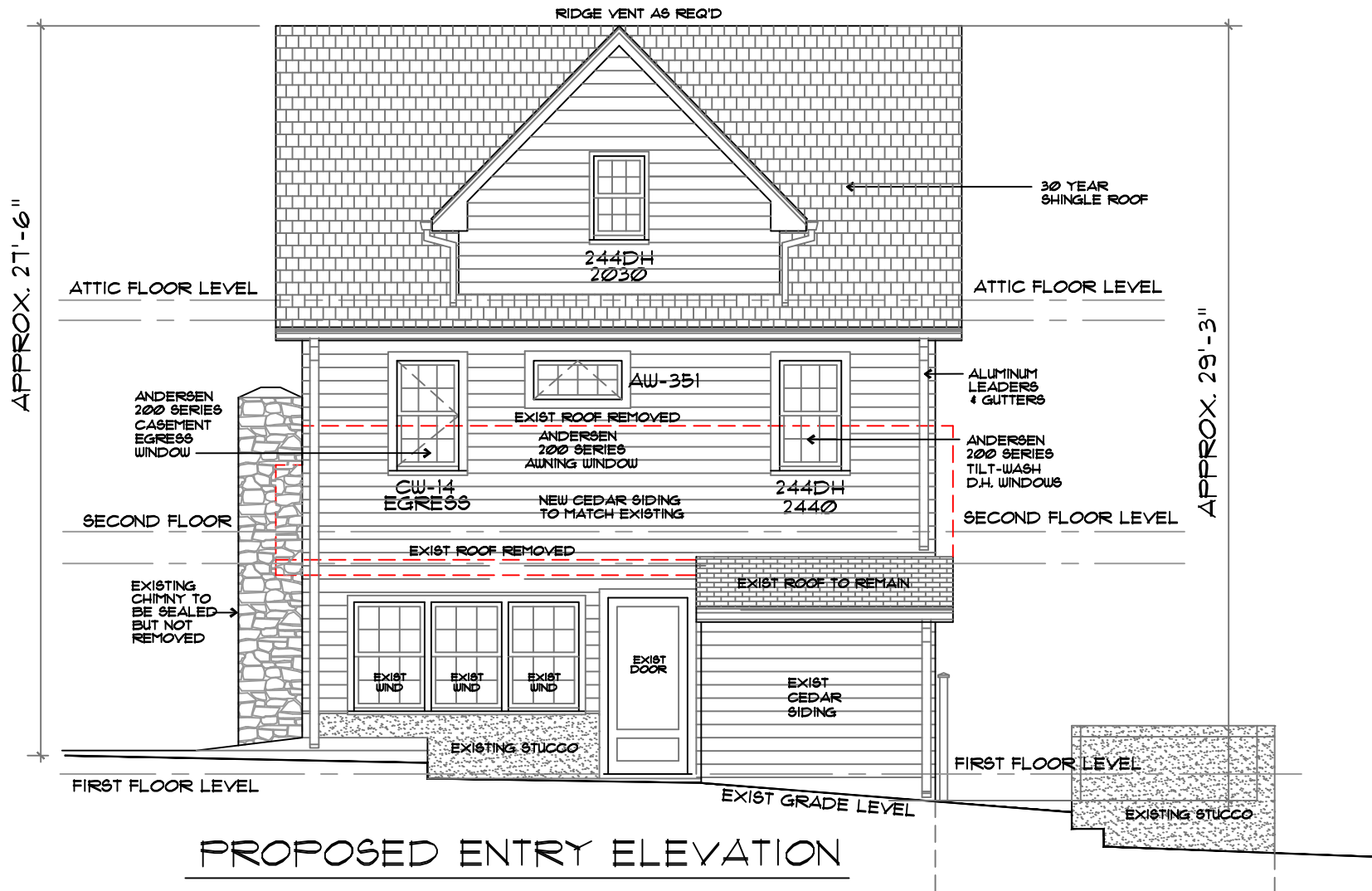
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EXIST. ELEV.	4/11/19
EXIST. PLANS	4/10/19
No. Revisions	Date
PROJECT START	3/27/19
Drawing Title	

**PROPOSED
ENTRY ELEVATION**

Drawn by	JJP	Checked by	JJP
Project No.	2019.08	Scale	1/4" = 1'-0"
Drawing No.			

A-7

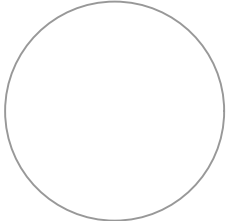


PROPOSED ENTRY ELEVATION

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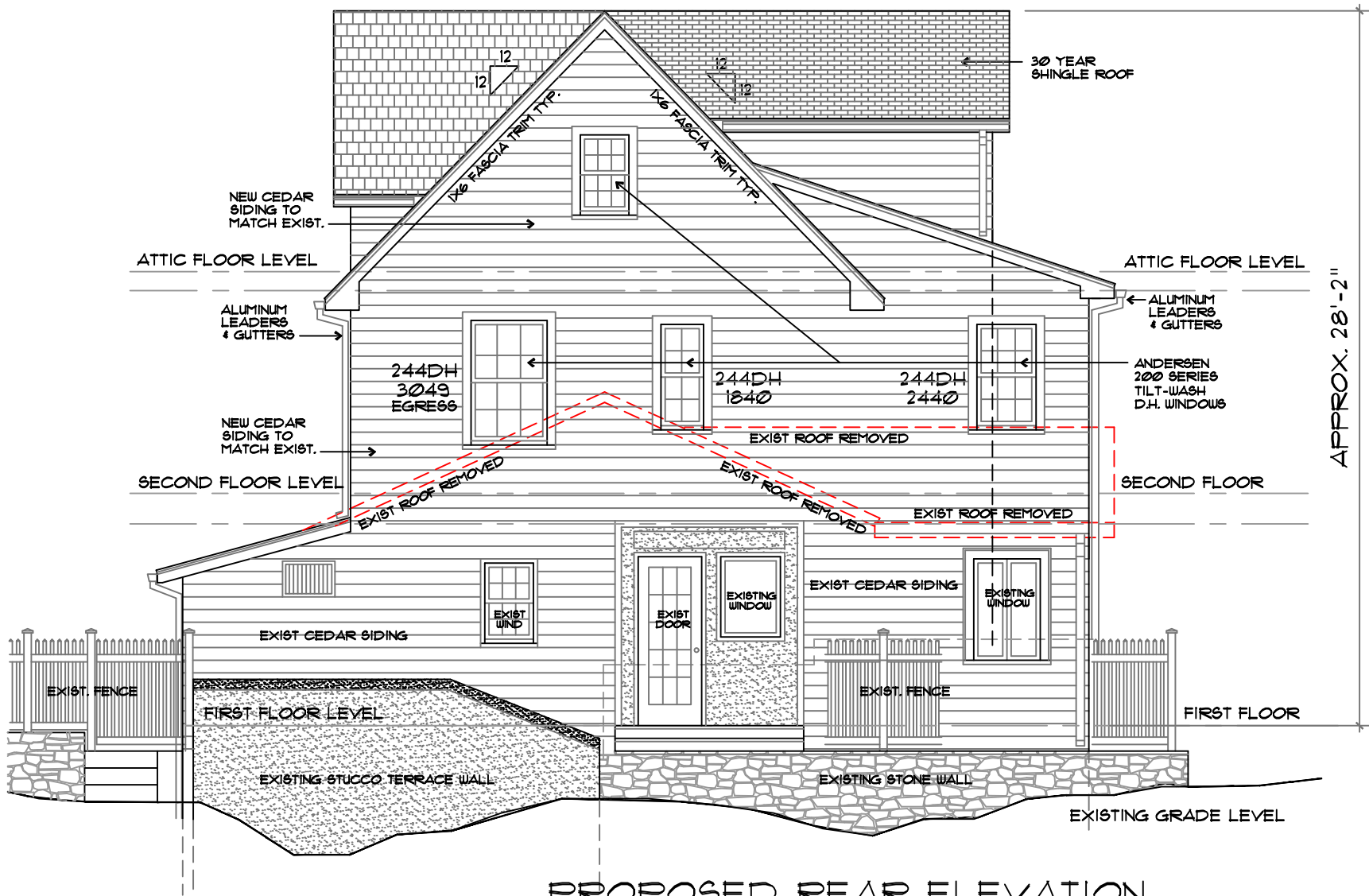
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EXIST. PLANS	4/10/19

No.	Revisions	Date
		3/27/19

**PROPOSED
REAR ELEVATION**

Drawn by	JJP	Checked by	JJP
Project No.	2019.08	Scale	1/4" = 1'-0"
Drawing No.			

A-8

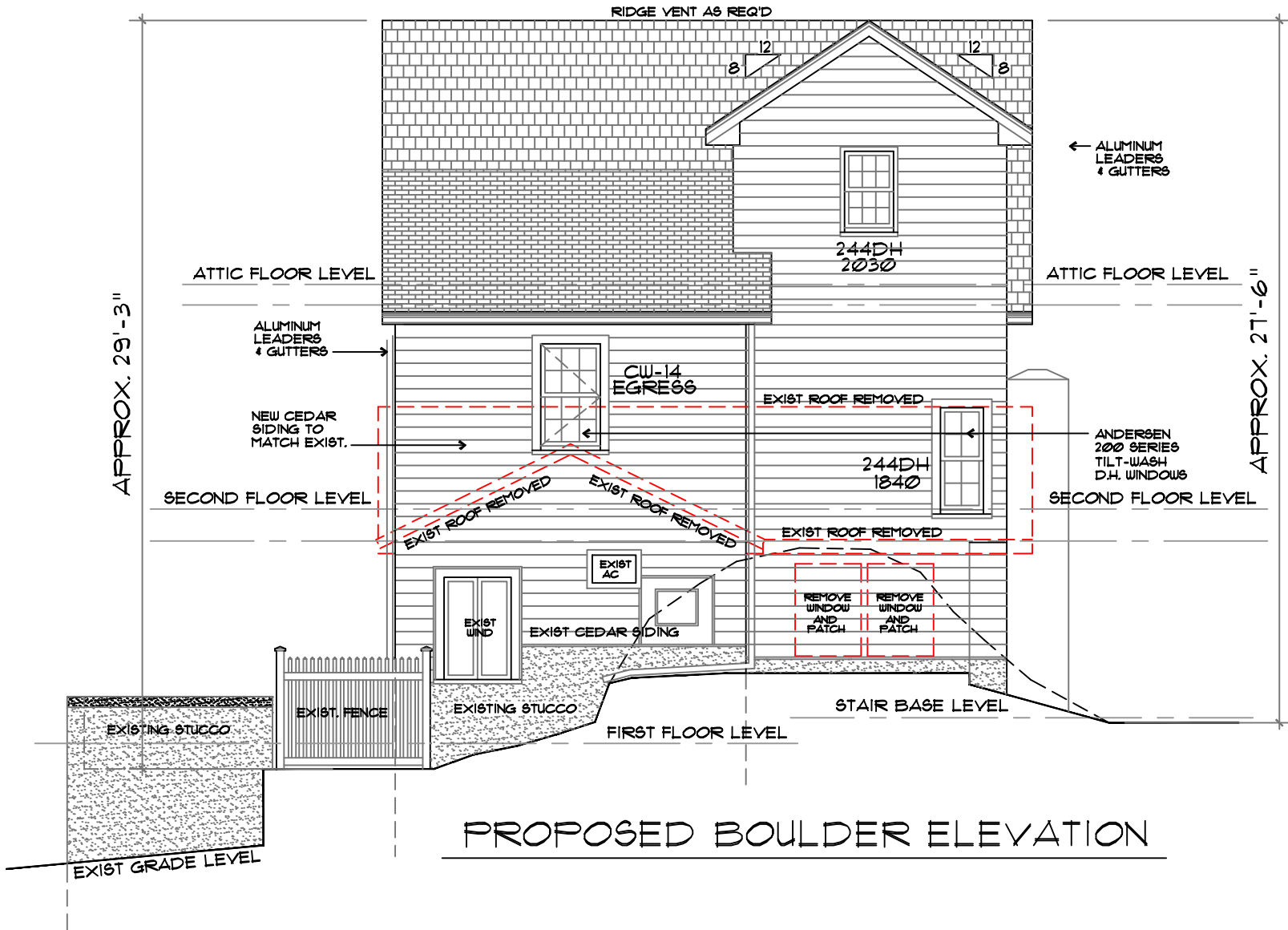


PROPOSED REAR ELEVATION

APPROX. 28'-2"

APPROX. 29'-3"

APPROX. 27'-6"

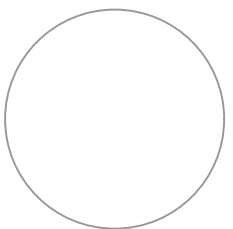


PROPOSED BOULDER ELEVATION

**PERLMAN
RESIDENCE**

**ADDITION &
ALTERATIONS**

131
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DESIGN REVIEW	5/2/19
PLANS D1 & D2	4/15/19
EXIST. ELEV.	4/11/19
EXIST. PLANS	4/10/19

No.	Revisions	Date

PROJECT START 3/27/19
Drawing Title

**PROPOSED
SIDE ELEVATION
(BOULDER SIDE)**

Drawn by JJP Checked by JJP

Project No. 201908 Scale 1/4" = 1'-0"
Drawing No.

A-9