

# SITE DEVELOPMENT PLANS FOR DIMENSION ENERGY



**EXISTING CONDITION**  
SCALE: 1 IN. = 100 FT.

**PROPOSED CONDITION**  
SCALE: 1 IN. = 100 FT.

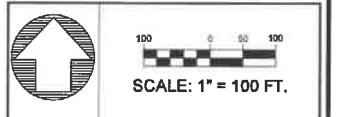
## TOWN OF CORTLANDT WESTCHESTER COUNTY, NEW YORK

- SITE SPECIFIC NOTES**
- PARCEL TAX MAP (DEPARTMENT SECTION 34.7, BLOCK 1, LOTS 34, 35, 36).
  - TOTAL AREA OF PARCEL = 433.44 ACRES.
  - PROPERTY IS LOCATED IN THE CDD ZONING DISTRICT.
  - EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR DIMENSION ENERGY" DATED AUGUST 1, 2020.
  - TREE INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "TREE LOCATION SURVEY FOR DIMENSION ENERGY" DATED OCTOBER 7, 2020.
  - WETLAND INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "WETLAND SURVEY FOR DIMENSION ENERGY" DATED AUGUST 19, 2020.
  - LOCATIONS OF STRUCTURES OUTSIDE OF PROPERTY LIMITS ARE BASED ON BOTH SURVEY INFORMATION AND AVAILABLE INFORMATION FROM THE WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEM.
  - REFERENCES MADE TO A TRIE INVENTORY AND ASSESSMENT SUMMARY PREPARED BY WESTON & SAMPOK, P.E., L.S., L.A., P.E., DATED OCTOBER 14, 2020.
- ENGINEER'S NOTES TO OWNER/CONTRACTOR**
- A PRE-CONSTRUCTION SITE INSPECTION WITH CRONIN ENGINEERING, P.E., P.C., IS REQUIRED BY THE OWNER AND CONTRACTOR PRESENT TO CONFIRM THE CONSTRUCTION PROCEDURES.
  - THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT FIRST CONTACTING CRONIN ENGINEERING, P.E., P.C. FOR APPROVAL.
  - PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR SHALL CALL THE UNDERGROUND LINE LOCATION SERVICE (CODE 55) AT (800) 963-7862 FOR MORE INFORMATION. VISIT WWW.CALL55.NY.GOV.
  - EROSION & SEDIMENT CONTROL MEASURES AS SHOWN IN THIS PLAN SET SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. IF UNFORESEEN FIELD CONDITIONS MAKE IMPLEMENTATION OF CERTAIN EROSION & SEDIMENT CONTROL MEASURES AS SHOWN, IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT CRONIN ENGINEERING, P.E., P.C. IMMEDIATELY TO DISCUSS ALTERNATIVE MEASURES. IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO ENSURE THE INTEGRITY OF ALL EROSION & SEDIMENT CONTROL MEASURES AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT.
  - CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATIONS OR CERTIFICATIONS AS TO THE INTEGRITY, LOCATION OR EXISTENCE OF SUBSURFACE STRUCTURES OR SOIL CONDITIONS WITH RESPECT TO STABILITY AND BEARING CAPACITY FOR THE INTENDED PURPOSE. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY ALL SUBSURFACE CONDITIONS AND INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SATISFACTORY BEARING CAPACITY.
  - CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION OR CERTIFICATIONS AS TO THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED FOR THE SUCCESSFUL CONSTRUCTION OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED TO SUCCESSFULLY CONSTRUCT THE PROJECT.
  - IN THE EVENT THAT FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS PRESENTED IN THIS PLAN SET, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY CRONIN ENGINEERING, P.E., P.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK.
  - IF UNFORESEEN SUBSURFACE CONDITIONS ARE ENCOUNTERED (I.E. ROCK, GROUNDWATER, ETC.), THE OWNER AND/OR CONTRACTOR SHALL STOP WORK AND NOTIFY CRONIN ENGINEERING, P.E., P.C. ALL NECESSARY MODIFICATIONS OR CHANGES SHALL BE DISCUSSED WITH AND APPROVED BY CRONIN ENGINEERING, P.E., P.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK. FURTHERMORE, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
  - IT IS THE OWNER AND/OR CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW LOCAL, STATE AND ANY OTHER APPLICABLE CODES OR REQUIREMENTS THROUGHOUT THE DURATION OF THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO PROVIDING ADEQUATE BRACING AND GUARANTEES THE STABILITY OF EXCAVATIONS AND OTHER VERTICAL STRUCTURES.
  - CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION AS TO THE QUALITY (I.E. CONTAMINATION) OF ANY OF THE SOILS ON THIS SITE. THE OWNER AND/OR CONTRACTOR ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE SITE HAS NO CONTAMINATED SOILS.
  - CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION AS TO THE SOIL BEARING CAPACITY OF THE SOILS ON SITE. THE OWNER AND/OR CONTRACTOR ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE CONSTRUCTION OF THE FOUNDATION MEETS THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE AND THE BUILDING CODE OF THE TOWN OF NEW CASTLE. FOUNDATION DESIGN IS NOT PROVIDED BY THIS OFFICE AND IS THE RESPONSIBILITY OF THE CONTRACTOR/ARCHITECT.
  - THE OWNER/ARCHITECT/ENGINEER IS RESPONSIBLE TO ENSURE THAT THE BUILDING FOUNDATION MEETS ALL CITY CODES AND THE NEW YORK STATE RESIDENTIAL BUILDING CODE. IF UNSUITABLE MATERIAL IS ENCOUNTERED, THE OWNER SHALL MAKE PROVISIONS (I.E. DEEPER FOOTING, SPREAD FOOTING, GRADE BEAM, PILES, ETC.) AS NECESSARY TO ENSURE A GOOD COMPACT FOUNDATION TO THE SATISFACTION OF THE TOWN OF NEW CASTLE BUILDING DEPARTMENT.
- SITE PLAN NOTES**
- THE APPLICANT IS AWARE THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLIANCE. DISTURBED AREAS SHALL BE RESTORED AND ESTABLISHED APPROPRIATELY IN A TIMELY MANNER. A NOTICE OF TERMINATION SHALL BE FILED WITH THE NYSDC PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE.
  - NO RECYCLED MATERIAL (C/D) SHALL BE BROUGHT TO THE SITE WITHOUT PRIOR TOWN OF CORTLANDT WRITTEN ACKNOWLEDGEMENT. ALL RECYCLED MATERIAL MUST BE COMPLIANT WITH THE NYSDC'S BENEFICIAL USE DETERMINATION AND BE UNCONTAMINATED.
  - ALL DEMOLITION DEBRIS INCLUDING FOUNDATIONS AND SLABS, IF ANY, SHALL BE LAWFULLY DISPOSED OFF-SITE.
  - PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLIANCE, THE DESIGNER OF RECORD SHALL PROVIDE A SIGNED AND SEALED LETTER STATING THAT THERE IS NO ADVERSE IMPACT TO ADJACENT OR ADJOINING NEIGHBORS AS IT PERTAINS TO STORMWATER RUNOFF ASSOCIATED WITH THESE CONSTRUCTION ACTIVITIES.



VICINITY MAP SCALE: 1" = 1,000'

**Dig Safely.  
New York**  
(800) 962-7962  
www.digsafelynewyork.com



**OWNER/APPLICANT**  
DIMENSION ENERGY  
3289 PEACHTREE ROAD NE, 1TH FLOOR  
ATLANTA, GA 30305

**APPLICANT/CONTRACT VENUEE**

**PROPERTY OWNER**

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 143, SECTION 2008 (1) (f) IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THESE DRAWINGS UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A BRIEF DESCRIPTION OF THE ALTERATION. COPYRIGHT © 2020 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

**REVISIONS**

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:  
SECTION: 34.7  
BLOCK: 1  
LOT: 34, 35, 36  
SUBLOT: —  
DRAWN BY: ASACGS  
CHECKED: KOS  
PROJECT: DIMENSION  
DATE: DECEMBER 21, 2020  
JOB #: 200601

**CRONIN ENGINEERING**  
PROFESSIONAL ENGINEERING & CONSULTING  
(914) 736-3664

TIMOTHY L. CRONIN, P.E.  
LICENSE #002580

**LIST OF DRAWINGS**

SHEET #	SHEET X OF Y	TITLE	ISSUE DATE	LAST REVISED
CS-1.0	1 OF 6	COVER SHEET	DECEMBER 21, 2020	-
EG-2.0	2 OF 6	EXISTING CONDITIONS	DECEMBER 21, 2020	-
EP-3.0	3 OF 6	SITE LAYOUT AND ZONING COMPLIANCE PLAN	DECEMBER 21, 2020	-
TRP-4.0	4 OF 6	TREE REMOVAL AND LANDSCAPING PLAN	DECEMBER 21, 2020	-
ERC-5.0	5 OF 6	EROSION AND SEDIMENT CONTROL PLAN	DECEMBER 21, 2020	-
CD-6.0	6 OF 6	ROAD PROFILE AND CONSTRUCTION DETAILS	DECEMBER 21, 2020	-

THE DEPARTMENT HEAD DRAWINGS INDICATE THAT THIS DRAWING OR SET OF DRAWINGS IS CONSISTENT WITH THE PLANNING BOARD RESOLUTION OF APPROVAL AND WITH THE GENERAL REQUIREMENTS AND POLICIES OF THE TOWN OF CORTLANDT FOR WHICH THE DEPARTMENT HEAD IS RESPONSIBLE. THE PROJECT DESIGN INCLUDING ALL PUBLIC HEALTH AND SAFETY CONSIDERATIONS ARE SOLELY THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL WHO HAS SIGNED AND SEALED THE DRAWINGS.

REVIEWED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
REVIEWED BY THE DEPARTMENT OF TECHNICAL SERVICES

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY RESOLUTION NO. \_\_\_\_\_ OF THE PLANNING BOARD OF THE TOWN OF CORTLANDT, NEW YORK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION IN THIS PLAN, OR SITE DEVELOPMENT PLAN, AFTER THE ABOVE DATE, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_  
CHAIRPERSON OF THE PLANNING BOARD

**CRONIN ENGINEERING**  
PROFESSIONAL ENGINEERING & CONSULTING  
(914) 736-3664

39 ARLO LANE  
CORTLANDT, NEW YORK 10567

**COVER SHEET**

**SITE DEVELOPMENT  
FOR  
DIMENSION ENERGY**

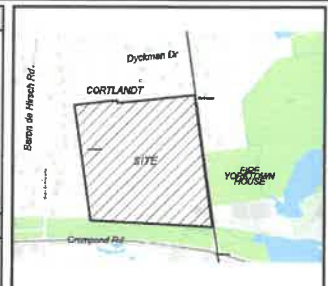
LOCATION:  
LEXINGTON AVENUE  
TOWN OF CORTLANDT, NEW YORK 10547

SHEET 1 OF 6 **CS-1.0**





- GENERAL NOTES**
1. PARCEL TAX MAP DEMONSTRATION: SECTION 34.7, BLOCK 1, LOTS 24, 11-17.
  2. TOTAL AREA OF PARCEL = 433.86 ACRES.
  3. SURVEY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR DIMENSION ENERGY" DATED AUGUST 4, 2020.
  4. TREE INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "TREE LOCATION SURVEY FOR DIMENSION ENERGY" DATED OCTOBER 7, 2020.
  5. WETLAND INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "WETLAND EXHIBIT FOR DIMENSION ENERGY" DATED AUGUST 19, 2020.
  6. LOCATIONS OF STRUCTURES OUTSIDE OF PROPERTY LIMITS ARE BASED ON BOTH SURVEY INFORMATION AND AVAILABLE INFORMATION FROM THE WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEM.
  7. REFERENCE IS MADE TO A TREE INVENTORY AND ASSESSMENT SUMMARY PREPARED BY WESTON & SAMPSON, P.E., L.S., L.A., P.C. DATED OCTOBER 14, 2020.
- DEMOLITION NOTES**
1. NO WORK SHALL BE PERFORMED UNTIL A PERMIT IS ISSUED BY THE TOWN OF CORTLANDT.
  2. ALL DEMOLITION MATERIAL SHALL BE REMOVED FROM THE SITE AND DEPOSITED OF IN A LAWFUL MANNER.
  3. BUILDINGS TO BE DEMOLISHED AND DEPOSITED OF IN A MANNER CONSISTENT WITH STANDARD DEMOLITION PRACTICES. ALL MATERIALS MUST BE REMOVED FROM SITE AND DEPOSITED OF IN A LAWFUL MANNER.
  4. EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED IN PLACE AS DIRECTED BY ENGINEER PRIOR TO DEMOLITION WORK.
  5. ALL BACKFILLING SHALL BE ACCOMPLISHED WITH ONSITE SOILS FROM WITHIN THE PROJECT LIMITS OF DISTURBANCE.
  6. ANY PROPOSED SOIL BROUGHT TO THE SITE WILL BE REQUIRED TO BE TESTED AND CERTIFIED AS CLEAN.
  7. ANY AGGREGATE BROUGHT TO THE SITE SHALL MEET THE NYSDOT'S DEFINITION OF A BIOMATERIAL AND BE CERTIFIED AS SUCH BY THE DESIGN ENGINEER.
  8. NO CONSTRUCTION DEBRIS IS PERMITTED ON SITE.
  9. ANY CONSTRUCTION DEBRIS GENERATED MUST BE LAWFULLY DISPOSED OF OFFSITE.
  10. PROCESSING OF EXCAVATED ROCK FROM THE PROJECT SITE IS PERMITTED PROVIDED THE TOWN APPROVES THE LOCATION AND DURATION OF OPERATIONS. THE EQUIPMENT MUST HAVE ALL COUNTY AIR QUALITY APPROVALS.



**SOIL DATA CHART (USDA)**

SOIL SYMBOL	DESCRIPTION	% OF SITE
PnC	PAXTON FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES	47.8%
RdB	RIDGEBURY LOAM, 3 TO 8 PERCENT SLOPES	16.3%
PnD	PAXTON FINE SANDY LOAM, 15 TO 25 PERCENT SLOPES	12.5%
Ub	UDORTMENTS, SMOOTHED	5.1%
ChE	CHARLTON LOAM, 25 TO 35 PERCENT SLOPES	5.1%
PnB	PAXTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES	4.1%
NcA	NATCHAUG MUCK, 0 TO 2 PERCENT SLOPES	2.6%
HnB	HINCKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES	2.2%
Pw	POMPTON SILT LOAM, LOAMY SUBSTRATUM	1.8%
Uc	UDORTMENTS, WET SUBSTRATUM	0.4%
Ff	FLUVAQUENTS-UDIFLUVENTS COMPLEX, FREQUENTLY FLOODED	0.1%

**ON-SITE WETLAND AREAS**

DESCRIPTION	AREA (S.F.)	AREA (ACRES)
WETLAND A	44,177	1.01
WETLAND B	52,585	1.21
WETLAND C	OFFSITE	
WETLAND D	3,866	0.09
WETLAND E	13,632	0.31
WETLAND F	OFFSITE	
WETLAND G	1,038	0.02
WETLAND H	1,025	0.02
TOTAL	116,443	2.67
WETLAND BUFFER AREA	386,426	8.87

**LAND COVER**

DESCRIPTION	EXISTING		
	AREA (S.F.)	AREA (ACRES)	% OF PROPERTY
MEADOW (BRUSHLAND)	145,850	3.35	9.9
FORESTED	1,211,114	27.80	82.1
FRESHWATER WETLAND	116,443	2.67	7.9
UNVEGETATED	1,811	0.04	0.1
GROSS PARCEL AREA	1,475,058	33.86	100.0

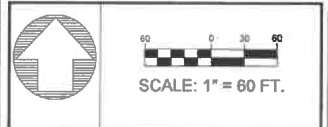
**NYCEP WATERSHED**

DESCRIPTION	AREA (ACRES)
EXISTING ON-SITE AREA	33.86 ACRES

**SLOPE ANALYSIS**

DESCRIPTION	AREA (S.F.)	% OF PROPERTY
0% TO 15%	785,594	52.9 %
15% TO 20%	263,417	19.3%
20% TO 25%	198,146	10.8 %
25% TO 100%	251,901	17.1 %
GROSS PARCEL AREA	1,475,058	100.0 %

**Dig Safely. New York**  
 (800) 962-7962  
 www.digsafelynewyork.com



**OWNER/APPLICANT**  
 DIMENSION ENERGY  
 3280 PEACHTREE ROAD NE, 7TH FLOOR  
 ATLANTA, GA 30305

**APPLICANT/CONTRACT VENUEE**

**PROPERTY OWNER**

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 142, SECTION 2096 (6), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THESE DRAWINGS, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ACTING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. COPYRIGHT 2020 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

**REVISIONS**

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:  
 SECTION: 34.7  
 BLOCK: 1  
 LOT: 24, 11-17  
 SUBLOT: —  
 DRAWN BY: ASKOS  
 CHECKED: KCS  
 PROJECT: DIMENSION  
 DATE: DECEMBER 21 2020  
 JOB #: 200001

TIMOTHY L. CRONIN II, P.E.  
 LICENSE 600380

**CRONIN ENGINEERING**  
 PROFESSIONAL ENGINEERING & CONSULTING  
 (914) 736-3664

39 ARLO LANE  
 CORTLANDT, NEW YORK 10567

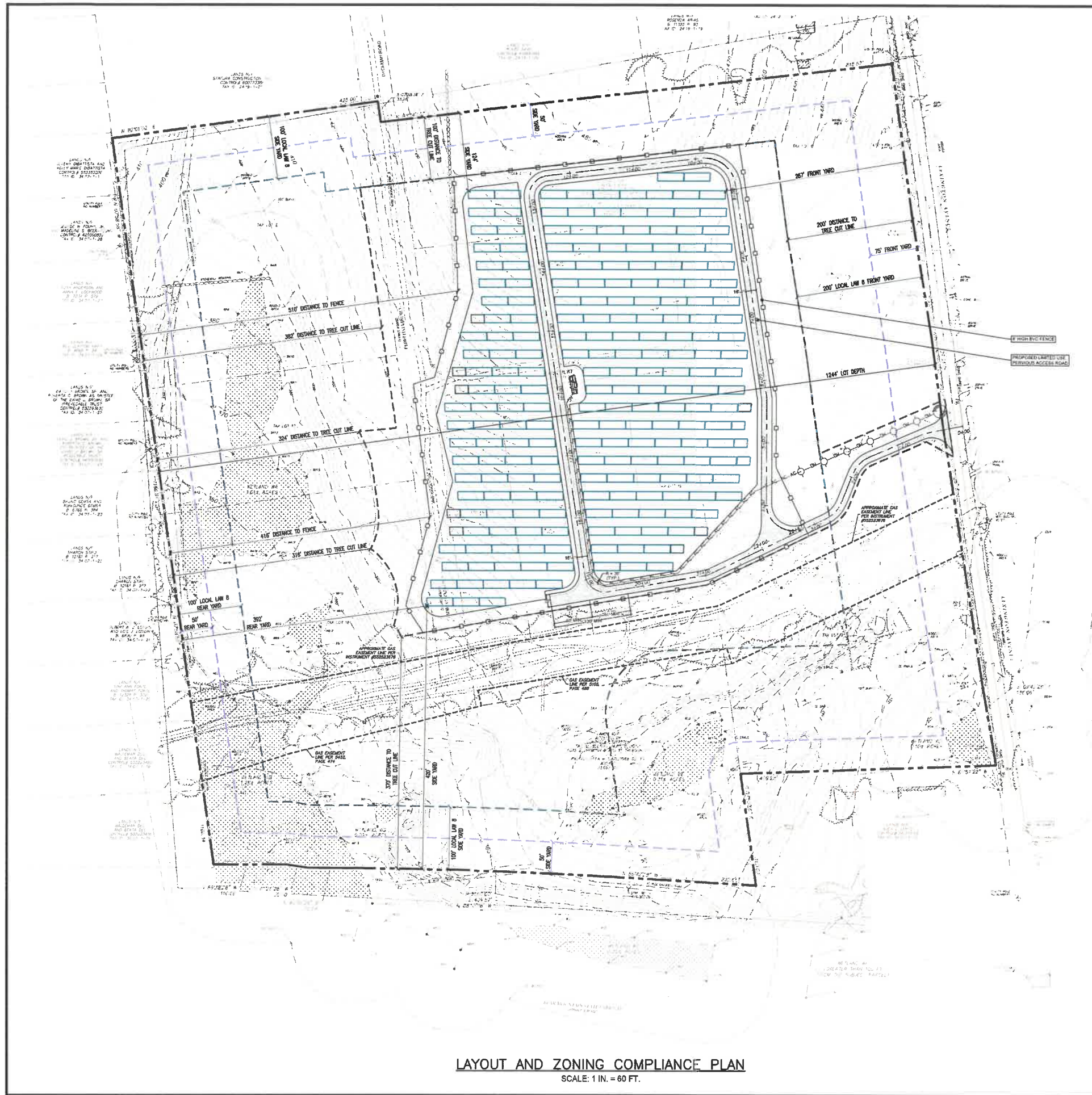
**EXISTING CONDITIONS**

**SITE DEVELOPMENT FOR DIMENSION ENERGY**

LOCATION:  
 LEXINGTON AVENUE  
 TOWN OF CORTLANDT, NEW YORK 10547

SHEET 2 OF 6 **EX-2.0**





- GENERAL NOTES**
1. PARCEL TAX MAP DESIGNATION: SECTION 34.7, BLOCK 1, LOTS 24, 11-17.
  2. TOTAL AREA OF PARCEL = 433.86 ACRES.
  3. SURVEY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR DIMENSION ENERGY" DATED AUGUST 4, 2020.
  4. TREE INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "TREE LOCATION SURVEY FOR DIMENSION ENERGY" DATED OCTOBER 7, 2020.
  5. WETLAND INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "WETLAND EXPERT FOR DIMENSION ENERGY" DATED AUGUST 19, 2020.
  6. LOCATIONS OF STRUCTURES OUTSIDE OF PROPERTY LIMITS ARE BASED ON BOTH SURVEY INFORMATION AND AVAILABLE INFORMATION FROM THE WEBSTER COUNTY GEOGRAPHIC INFORMATION SYSTEM.
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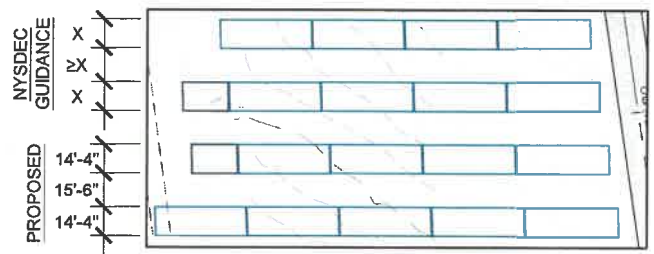
**ZONING DATA CHART - CD (NON RESIDENTIAL DISTRICT)**

LOT DESCRIPTION	LOT AREA (SF)	LOT WIDTH (FT)	YARD SETBACK (FT)	SIDE YARD SETBACK (FT)	REAR YARD SETBACK (FT)	BUILDING COVERAGE (SF)	LANDSCAPE COVERAGE (%)	BUILDING HEIGHT (FT)	BUILDING FLOOR AREA (SF)	SCREENING RATIO
REQUIRED/PERMITTED	80,000 MIN.	200 MIN.	200 MIN.	50 MIN.	50 MIN.	20% MAX.	60% MIN.	8	NA	NA
PROPOSED	1,475,058 SF	85,244	287	124 / 400	387	0.00	± 90%	7.6	0.00	0.00

**LOCAL LAW #8 REGULATION OF SOLAR ENERGY SYSTEMS WITHIN THE TOWN OF CORTLANDT**

LOT DESCRIPTION	LOT SIZE (SF / AC)	FRONT YARD SETBACK (FT)	SIDE YARD SETBACK (FT)	REAR YARD SETBACK (FT)	STRUCTURE HEIGHT (FT)	LANDSCAPE COVERAGE (%)	FENCE HEIGHT (FT)
MINIMUM REQUIRED	435,800 / 10	200	100	100	27 / 2 STORES	50	6
PROPOSED	1,475,058 / 33.66	287	124 / 400	387	± 8	± 90%	8

\*PER LOCAL LAW #8 OF 2018, SECTION 11(1)(b), SETBACK SHALL BE 100' FROM AN ABUTTING LOT WHEN THE PROPERTY IS LOCATED IN A COMMERCIAL OR INDUSTRIAL DISTRICT.

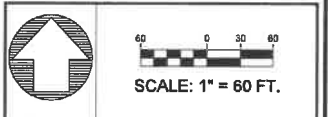


**PANEL SPACING**  
SCALE: 1 IN. = 30 FT.



VICINITY MAP SCALE: 1" = 1,000'

**Dig Safely. New York**  
(800) 962-7962  
www.digsafelynewyork.com



**OWNER/APPLICANT**  
DIMENSION ENERGY  
3280 PEACHTREE ROAD NE, 7TH FLOOR  
ATLANTA, GA 30305

**APPLICANT/CONTRACT VENDEE**

**PROPERTY OWNER**

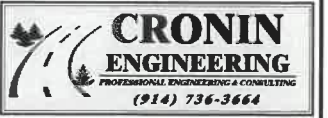
UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7206 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL APPLY TO THE ESEA HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. © COPYRIGHT 2020 BY CRONIN ENGINEERING, P.A., P.C. ALL RIGHTS RESERVED.

**REVISIONS**

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:  
SECTION: 34.7  
BLOCK: 1  
LOT: 24, 11-17  
SUBLOT: —  
DRAWN BY: ASKNC  
CHECKED: KCS  
PROJECT: DIMENSION  
DATE: DECEMBER 21, 2020  
JOB #: 200001

TIMOTHY L. CRONIN III, P.E.  
LICENSE #062980



**LAYOUT AND ZONING COMPLIANCE PLAN**

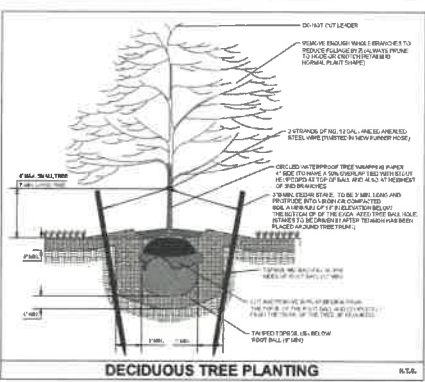
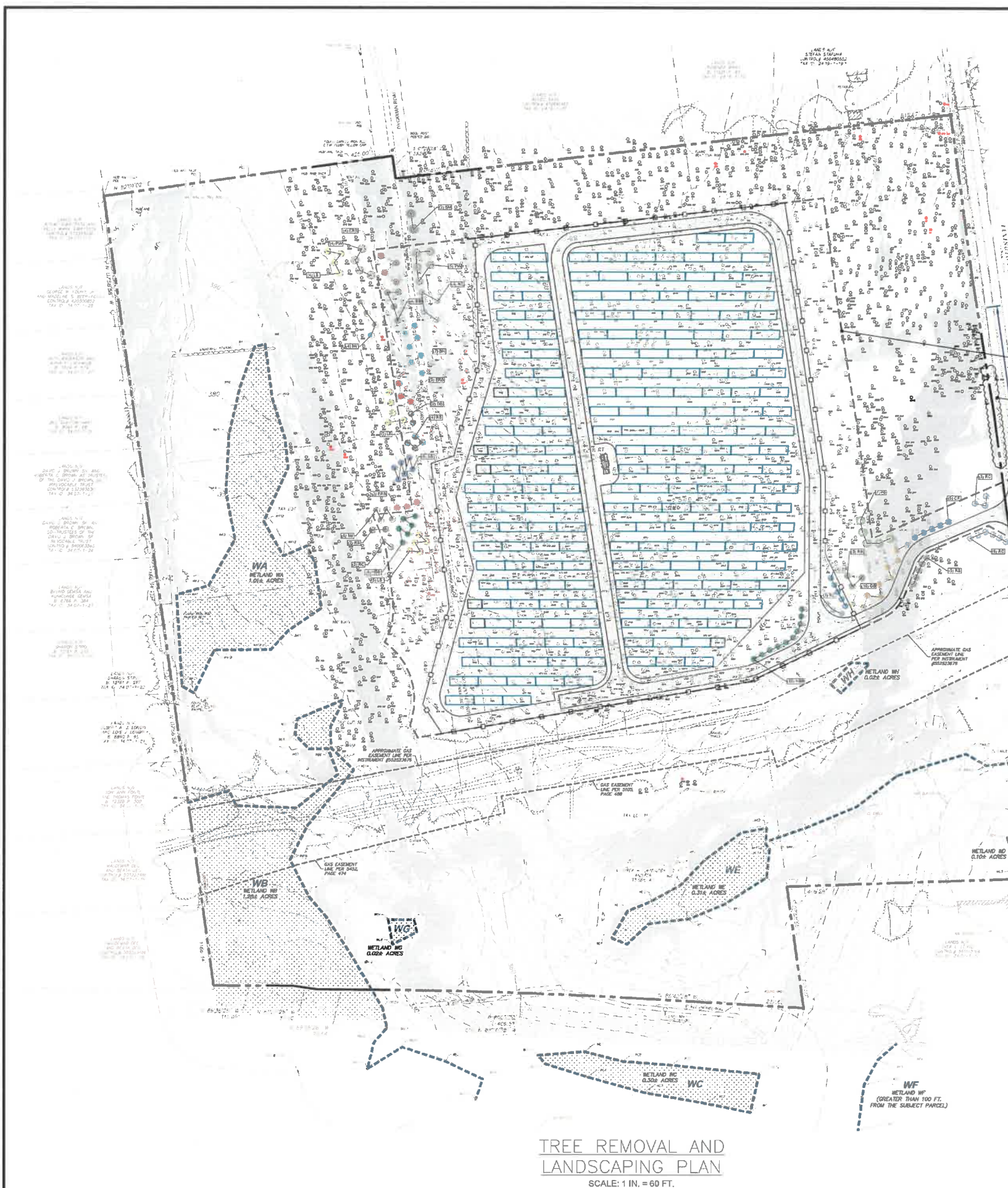
**SITE DEVELOPMENT FOR DIMENSION ENERGY**

LOCATION:  
LEXINGTON AVENUE  
TOWN OF CORTLANDT, NEW YORK 10547

SHEET 3 OF 6 **SP-3.0**

**LAYOUT AND ZONING COMPLIANCE PLAN**  
SCALE: 1 IN. = 60 FT.



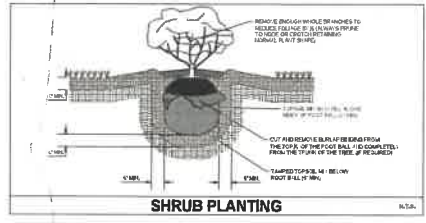
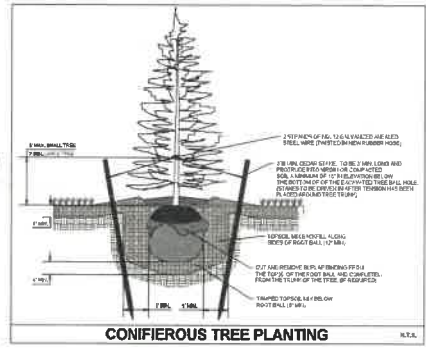


**LIMIT OF DISTURBANCE**

DESCRIPTION	AREA (S.F.)	AREA (ACRES)
WITHIN WETLAND BUFFER	9,533	0.22
WITHIN WETLAND	0	0.00
WITHIN SLOPE < 15%	269,774	6.19
WITHIN STEEP SLOPE > 15%	254,480	4.88
TOTAL	483,777	11.11

**TREE PRESERVATION CHART**

LINE	DESCRIPTION	NUMBER
1	TOTAL EXISTING TREES	3,111
2	TREES ON SLOPES > 20% TO BE REMOVED	78
4	TOTAL TREES TO BE REMOVED	2,005
5	TREES TO REMAIN	1,106
6	TREES TO BE REPLANTED	132



- LANDSCAPING NOTES**
1. ALL PLANTINGS MUST TAKE PLACE IN THE ACCEPTED FALL OR SPRING PLANTING SEASONS.
  2. ALL PLANTS MUST BE HEALTHY AND REPRESENTATIVE OF THE FORM OF THE SPECIES.
  3. PLANTINGS SHOULD INCLUDE MIXING SPECIES ONLY.
  4. LANDSCAPE CONTRACTOR TO ENSURE SUITABLE SOIL CONDITIONS, IF NECESSARY, PROVIDE ORGANIC MATERIAL OR COMPOST, NUTRIENT BARK IN THE PROPORTION OF 2 PARTS SOIL 1 PART OF ORGANIC MATTER.
  5. THE WATERING BASIN FOR TREES SHALL BE AT LEAST 12 IN DIAMETER OR TWICE THE SIZE OF THE ROOTBALL.
  6. NOTE: PRIOR TO PLANTING, IT IS RECOMMENDED THAT A SOIL TEST FOR FERTILITY BE PERFORMED.
  7. TOPSOIL SHALL BE STABILIZED AS FOLLOWS:
    - 7.1. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS.
    - 7.2. PERFORM ALL CULTURAL OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.
    - 7.3. PLACE A MIN OF 4\"/>
  - 7.4. APPLY LIME AT A RATE OF 3 TONS GROUND LIMESTONE PER ACRE (100 LB/1000 SQ FT).
  8. FOR AREAS OUTSIDE OF THE FENCE LINE AT THE ENTRANCE ONLY, EXCEPT WHEN HYDRO-SEEDING, SMOOTH-THE SEED BED WITH THE FOLLOWING SEED MIXTURE (BY WEIGHT) OR APPROVED EQUAL:
    - 8.1. BENTONITE BLUE GRASS 60%
    - 8.2. PERENNIAL RYE GRASS 25%
    - 8.3. FINE FESCUE 15%
 APPLY TO APRIL 15 OR AUG 15 TO SEPT 30. APPLY SEED AT A RATE OF 8 LBS PER 1000 SQ FT. COVER GRASS AND LEGUME SEEDS WITH MULCH AT A RATE OF 1.5 TO 2 TONS PER ACRE.
  9. ANCHOR AS REQUIRED ON STEEP SLOPES OR INSTALL AN EROSION CONTROL NETTING.
  10. ALL PLANT BEDS AND BALERS SHALL BE MATCHED TO A 2\"/>

**CLEARING NOTE**

PURSUANT TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION MAPPER, THIS SITE DOES NOT CONTAIN ANY TREE CLEARING RESTRICTIONS.

- TREE REMOVAL NOTES**
1. ALL TREES TO BE CUT SHALL BE CHIPPED WITH THE WOOD CHIPS SPREAD EVENLY. ALL ATTEMPTS TO BE REMOVED FROM THE SITE IN A LAWFUL MANNER.
  2. ANY TREE THAT IS BURNED FOR ANY REASON, NOT PREVIOUSLY APPROVED ON THE APPROVED AND ACCEPTED PLAN SET SHALL BE REPLANTED AT A RATIO OF 2 TREES PER 1 TREE REMOVED, UNLESS WRITTEN CONSENT IS PROVIDED BY THE TOWN OF CORTLANDT.

**NYCDEP NOTES**

1. PRIOR TO PLANTING, THE SOIL SHOULD BE TESTED BY A QUALIFIED LAB.
2. SEED MIXES AS INDICATED IN THE PROJECT STORMWATER POLLUTION PREVENTION PLAN. THE SEED MIXES SHALL BE A POLLINATOR MEADOW MIX.

**TREE REMOVAL SUMMARY**

TREE SPECIES	COUNT	DEAD	POOR	FAIR	GOOD
AMERICAN BEECH	33	0	1	2	30
AMERICAN ELM	19	3	3	6	7
BALTOOTH ASPEN	4	0	1	2	1
BLACK CHERRY	58	11	10	28	9
BLACK LOCUST	51	1	0	1	49
EASTERN WHITE PINE	26	1	4	13	10
GREEN ASH	1	1	0	0	0
HICKORY SPECIES	1	0	0	0	0
MULLEN SPINDLE	1	0	0	0	1
MUGGINS HICKORY	3	0	0	1	2
NORTHERN RED OAK	66	13	18	69	60
NORWAY MAPLE	388	4	4	4	375
PRESNUT HICKORY	5	0	0	0	4
RED BARK	1	0	0	0	1
RED MAPLE	373	19	88	88	88
RED PINE	4	0	5	2	0
RED SPRUCE	18	0	0	3	0
SHAGBARK HICKORY	1	0	0	1	1
SILVER MAPLE	3	0	2	0	0
SPICEBUSH	1	0	1	0	0
SUGAR MAPLE	240	4	13	56	172
SWEET BIRCH	36	1	1	4	20
TULIP TREE	34	7	5	27	55
UNKNOWN	115	115	0	0	0
WHITE ASH	1	0	1	0	0
WHITE OAK	8	0	1	2	0
TOTAL TREES WITHIN TREE CUT LIMIT LINE	2,005	84	154	311	476
1 - UNKNOWN SPECIES	-840				
2 - DECAYING CONDITION	-208				
3 - TREES ON STEEP SLOPES COUNT AS 2	-476				
GRAND TOTAL	881				

**ENTRANCE PLANTINGS CHART**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE			COMMENTS
				CALIPER (IN.)	HEIGHT (FT.)	VOLUME (GAL.)	
10	HBB	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	---	---	2 GALLON	ENTRANCE, SEE PLAN
10	GB	BETULA POPULIFOLIA	GREY BIRCH	2\"/>			

**WESTERN PROPERTY LINE PLANTING CHART**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE			COMMENTS
				CALIPER (IN.)	HEIGHT (FT.)	VOLUME (GAL.)	
2	SM	ACER SACCHARUM	SUGAR MAPLE	2\"/>			

**NYCDEP DISTURBANCE**

DESCRIPTION	AREA (S.F.)
INSIDE WATERSHED	483,777
OUTSIDE WATERSHED	0
TOTAL DISTURBANCE	483,777

**TREE REMOVAL AND LANDSCAPING PLAN**  
SCALE: 1 IN. = 60 FT.



**LEGEND**

- 2,005 EXISTING TREE TO BE REMOVED
- 0,1,106 EXISTING TREE TO REMAIN
- SLOPES < 25%
- SLOPES > 25%
- SHAGBARK HICKORY TREES

**SCALE: 1" = 60 FT.**

**OWNER/APPLICANT**  
**DIMENSION ENERGY**  
3380 PEACHTREE ROAD NE, 7TH FLOOR  
ATLANTA, GA 30305

**APPLICANT/CONTRACT VENUEE**

**PROPERTY OWNER**

**REVISIONS**

NO.	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:  
SECTION: 34.7  
BLOCK: 1  
LOT: 2-8, 11-17  
SUBLOT: ---  
DRAWN BY: ASKCS  
CHECKED: KCS  
PROJECT: DIMENSION  
DATE: DECEMBER 21, 2020  
JOB #: 200601

TIMOTHY L. CRONIN (P.E.)  
LICENSE # 092280

**CRONIN ENGINEERING**  
PROFESSIONAL ENGINEERING & CONSULTING  
(914) 736-3664

**39 ARLO LANE  
CORTLANDT, NEW YORK 10567**

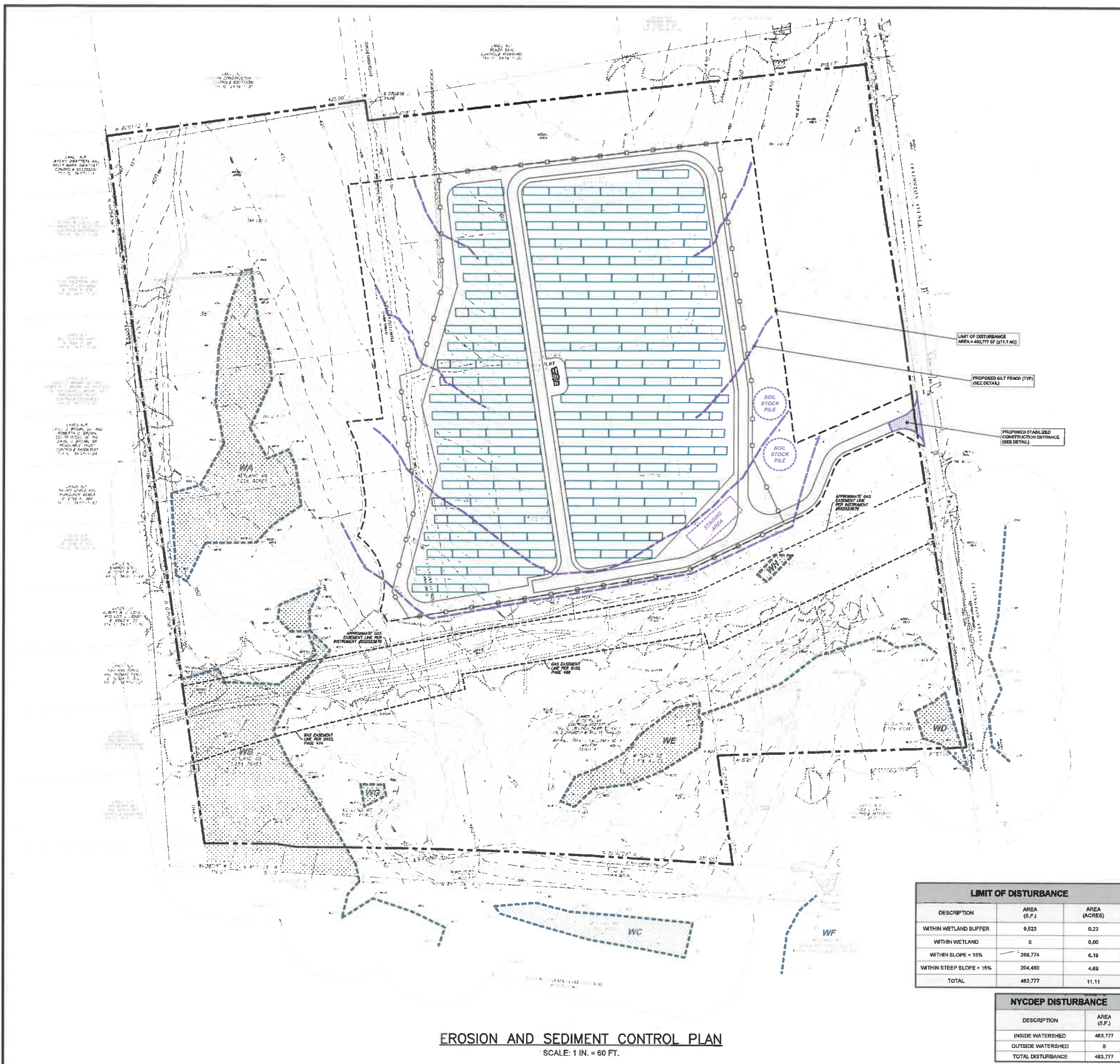
**TREE REMOVAL AND LANDSCAPING PLAN**

**SITE DEVELOPMENT FOR DIMENSION ENERGY**

LOCATION:  
LEKINGTON AVENUE  
TOWN OF CORTLANDT, NEW YORK 10547

SHEET 4 OF 6 **TRP-4.0**





**TREE REMOVAL NOTES**

- ALL TREES TO BE CUT SHALL BE CHIPPED WITH THE WOOD CHIPS SPREAD EVENLY. ALL STUMPS TO BE REMOVED FROM THE SITE IN A LAWFUL MANNER.
- ANY TREE THAT IS REMOVED FOR ANY REASON, NOT PREVIOUSLY APPROVED ON THE APPROVED AND ACCEPTED PLAN SET SHALL BE REPLANTED AT A RATIO OF 2 TREES PER 1 TREE REMOVED UNLESS BETTER CONSENT IS PROVIDED BY THE TOWN OF CORTLAND.

**EROSION & SEDIMENT CONTROL NOTES**

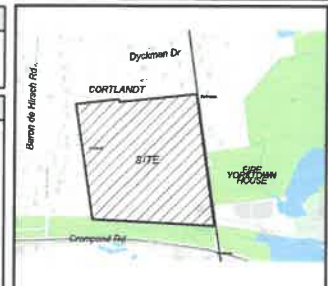
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL EROSION AND SEDIMENT CONTROL PRACTICES. THE EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- THE MAINTENANCE OF EROSION CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED PROMPTLY TO DETERMINE FLOW CAPACITY, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATION AND THE INITIAL LAYOUT TIME OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND BY ACCORDANCE WITH ACCEPTED STANDARDS.
- ALL TOPSOIL, NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FIELD AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDING AND MULCHED WITHIN 14 DAYS.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF AN UNINHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- SOIL SEEDING AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
- ALL SLOPES, BOTH CREATED OR DISTURBED, WHICH EXCEED 4:1 V SHALL BE STABILIZED WITH PROPER EROSION CONTROL MATTING (SEE APPROPRIATE DETAIL).
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING THE CONTRACTOR CERTIFICATION IN APPENDIX A OF THE PROJECT STORMWATER POLLUTION PREVENTION PLAN BEFORE UNDERTAKING ANY CONSTRUCTION ACTIVITY AT THE SITE. A COPY OF THE SIGNED SWPPP SHALL BE MAINTAINED ON SITE AT ALL TIMES DURING CONSTRUCTION.

**CONSTRUCTION SEQUENCE**

REFERENCE IS MADE TO CONSTRUCTION PLAN AND SCHEDULE.

THE FOLLOWING IS THE ANTICIPATED SEQUENCE OF CONSTRUCTION:

- OBTAIN THE NECESSARY APPROVAL, SIGNED/STAMPED ON THE SITE DEVELOPMENT PLANS FROM THE TOWN OF CORTLAND.
- CONDUCT A PRE-CONSTRUCTION MEETING AT THE SITE WITH REPRESENTATIVES FROM THE TOWN, THE GENERAL CONTRACTOR AND THE OWNER.
- FILE THE NECESSARY DOCUMENTS TO OBTAIN THE REQUIRED BUILDING PERMITS.
- INSTALL THE NECESSARY SOIL EROSION AND SEDIMENT CONTROL PRACTICES.
- DEMOLISH ANY EXISTING STRUCTURES TO BE REMOVED AND REMOVE DEBRIS.
- REMOVE THE TREES AND/OR STUMPS TO BE REMOVED.
- CONSTRUCT FENCE AND GATE AROUND SOLAR PANEL AREA.
- CONSTRUCT LIMITED-USE PERVIOUS ACCESS ROAD FROM EXISTING ACCESS ROAD TO NORTHERN EDGE OF SOLAR PANEL AREA.
- INSTALL SOLAR PANEL FOOTINGS AND MOUNTING SYSTEMS.
- INSTALL NEW OVERHEAD AND UNDERGROUND UTILITIES TO THE SOLAR PANELS.
- INSTALL SOLAR PANELS WHERE INDICATED.
- INSTALL LANDSCAPE PLANTINGS WHERE INDICATED.
- INSTALL WETLAND MITIGATION PROCEDURES WHERE INDICATED.
- INSTALL MEADOW PLANTINGS WHERE INDICATED.
- FINALIZE AND STABILIZE ALL SITE CONSTRUCTION. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES.
- APPLY FOR AND OBTAIN CERTIFICATE OF OCCUPANCY.



VICINITY MAP SCALE: 1" = 1,000'

**Dig Safely. New York**  
 (800) 962-7962  
 www.digsafelynewyork.com



**OWNER/APPLICANT**  
 DIMENSION ENERGY  
 3280 PEACHTREE ROAD NE, 7TH FLOOR  
 ATLANTA, GA 30305

**APPLICANT/CONTRACT VENUEE**

**PROPERTY OWNER**

UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7009 (2) (b) (1) IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A BRIFING DESCRIPTION OF THE ALTERATION. © COPYRIGHT 2020 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

**REVISIONS**

#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION:  
 SECTION: 34.7  
 BLOCK: 1  
 LOT: 2-9, 11-17  
 SUBLOT:  

DRAWN BY: ASKCS  
 CHECKED BY: KGS  
 PROJECT: DIMENSION  
 DATE: DECEMBER 21, 2020  
 JOB #: 200601

TIMOTHY L. CRONIN P.E.  
 LICENSE #26260

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 PROFESSIONAL ENGINEERING & CONSULTING  
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39 ARLO LANE  
 CORTLANDT, NEW YORK 10567

**EROSION AND SEDIMENT CONTROL PLAN**

**SITE DEVELOPMENT FOR DIMENSION ENERGY**

LOCATION:  
 LEXINGTON AVENUE  
 TOWN OF CORTLANDT, NEW YORK 10547

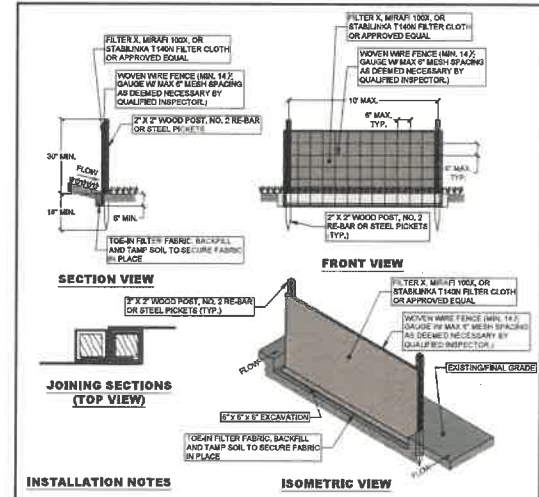
SHEET 5 OF 6 **ESC-5.0**

**LIMIT OF DISTURBANCE**

DESCRIPTION	AREA (S.F.)	AREA (ACRES)
WITHIN WETLAND BUFFER	9,523	0.22
WITHIN WETLAND	0	0.00
WITHIN SLOPE > 15%	269,774	6.19
WITHIN STEEP SLOPE > 15%	204,480	4.69
TOTAL	483,777	11.11

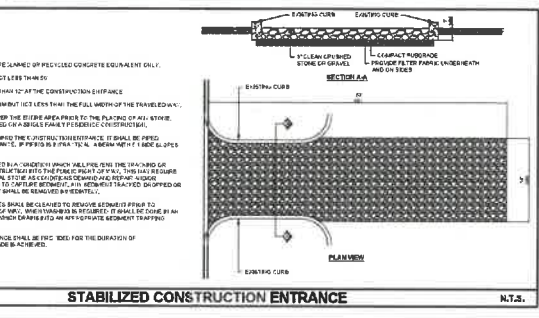
**NYCDEP DISTURBANCE**

DESCRIPTION	AREA (S.F.)
INSIDE WATERSHED	483,777
OUTSIDE WATERSHED	0
TOTAL DISTURBANCE	483,777



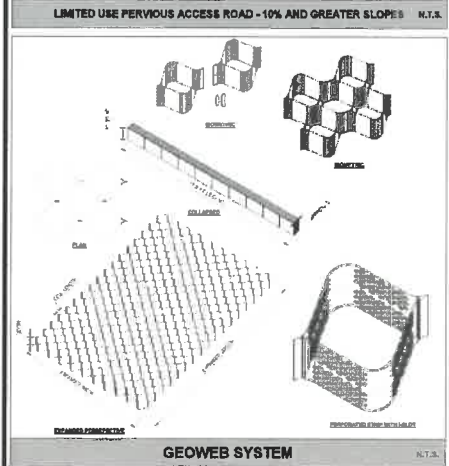
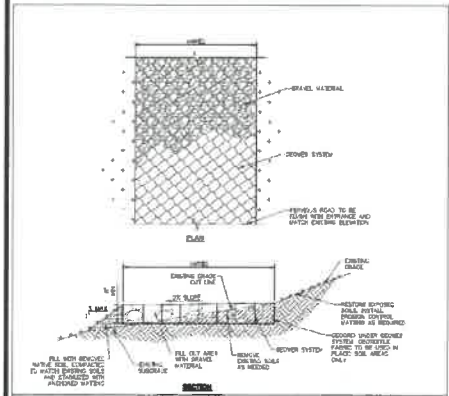
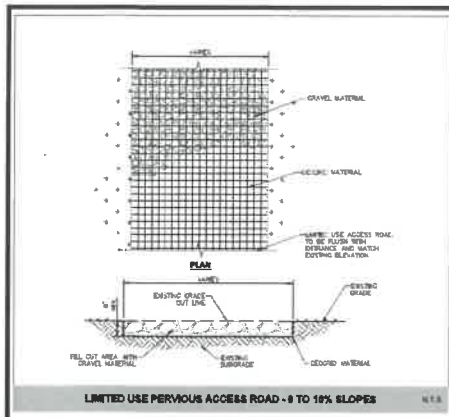
**INSTALLATION NOTES**

- EXCAVATE A 4 INCH X 4 INCH TRENCH ALONG THE LOWER SIDE OF A SLOPE AS SPECIFIED ON SITE PLAN.
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNHILL) WALL OF THE TRENCH (SEE SIDE VIEW) AWAY FROM DIRECTION OF STORM WATER FLOW.
- DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
- LAY THE TIGHT FLAP OF FABRIC FLAT IN THE BOTTOM OF THE TRENCH AND BACKFILL THE TRENCH AND TAMP THE SOIL OVER THE FLAP TO SECURELY HOLD THE FABRIC IN PLACE. STEEPER SLOPES REQUIRE AN INTERCEPT DEVICE.
- JOIN SECTIONS AS SHOWN ABOVE.
- PREFABRICATED UNITS SHALL BE OF TYPE SEDFAS, ENVROFENCE, OR APPROVED EQUIVALENT.



STABILIZED CONSTRUCTION ENTRANCE N.T.S.





### LIMITED USE PERVIOUS ACCESS ROAD NOTES

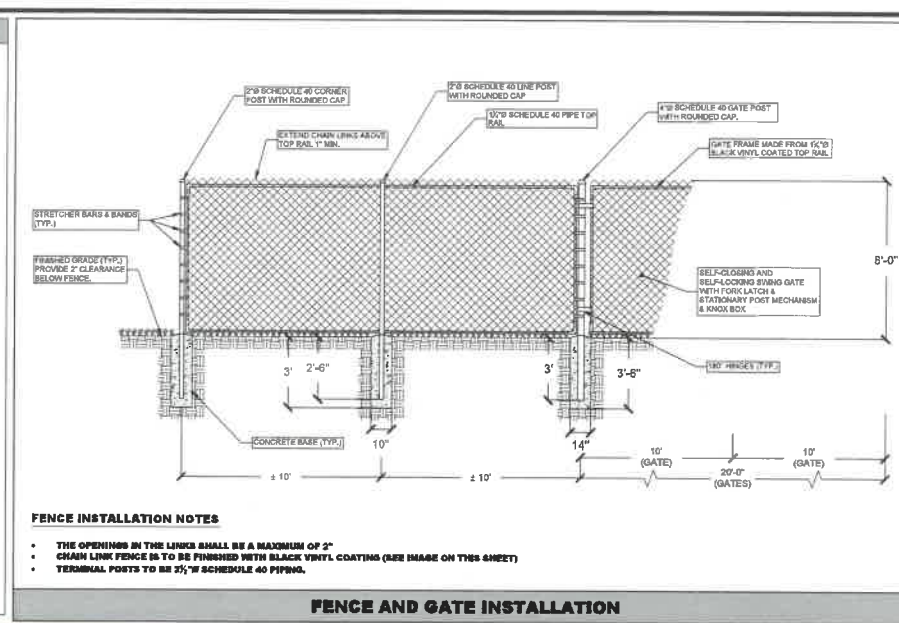
**GENERAL NOTES**

- USE OF THIS DETAIL/CRITERION IS LIMITED TO ACCESS ROADS USED ON AN OCCASIONAL BASIS ONLY (I.E. PROVIDE ACCESS FOR MOVING EQUIPMENT REPAIR OR MAINTENANCE, ETC.).
- LIMITED USE PERVIOUS ACCESS ROAD IS LIMITED TO LOW IMPACT IRREGULAR MAINTENANCE ACCESS ASSOCIATED WITH RENEWABLE ENERGY PROJECTS IN NEW YORK STATE.
- REMOVE STUMPS, ROCKS, AND DEBRIS AS NECESSARY. FILL Voids TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
- REMOVED TOPSOIL MAY BE REAPPLIED IN ADJACENT AREAS AS DIRECTED BY THE PROJECT ENGINEER. COMPACT TO THE DEGREE OF THE NATIVE IN-SITU SOIL. DO NOT PLACE IN AN AREA THAT IMPEDS DRAINAGE.
- GRADE ROADWAY, WHERE NECESSARY, TO NATIVE SOIL AND DESIRED ELEVATION. MINOR GRADING FOR CROSS SLOPE CUT AND FILL MAY BE REQUIRED.
- REMOVE REFUSE SOILS AS DIRECTED BY THE PROJECT ENGINEER. DO NOT PLACE IN AN AREA THAT IMPEDS DRAINAGE.
- ROADWAY WIDTH DEFINED IN PLAN.
- THE LIMITED USE PERVIOUS ACCESS ROAD CROSS SLOPE SHALL BE 2% IN MOST CASES AND SHOULD NOT EXCEED 5%. THE LONGITUDINAL SLOPE OF THE ACCESS DRIVE SHOULD NOT EXCEED 10%.
- LIMITED USE PERVIOUS ACCESS ROAD WILL NOT BE UTILIZED FOR CONSTRUCTION WHICH MAY SUBJECT THE ACCESS TO EXCESSIVE TRAFFIC. THIS SPECIFICATION IS TO BE DEVELOPED FOR POST-CONSTRUCTION USE. SOIL RESTORATION PRACTICES MAY BE APPLICABLE TO RESTORE CONSTRUCTION-RELATED COMPACTION TO PRE-EXISTING CONDITIONS AND SHOULD BE VERIFIED BY SOIL PENETROMETER READINGS. THE PENETROMETER READINGS SHALL BE COMPARED TO THE RESPECTIVE RECORDED READINGS TAKEN PRIOR TO CONSTRUCTION. EVERY 100 LINEAR FEET ALONG THE PROPOSED ROADWAY.
- TO ENSURE THAT SOIL IS NOT TRACKED ONTO THE LIMITED USE PERVIOUS ACCESS ROAD, IT SHALL NOT BE USED BY CONSTRUCTION VEHICLES TRANSPORTING SOIL, FILL MATERIAL, ETC. IF ACCESS IS COMPLETED DURING THE INITIAL PHASE OF CONSTRUCTION A STABILIZED CONSTRUCTION ACCESS DRIVEWAY IS REQUIRED TO REMOVE SEDIMENT FROM CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD. MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STATE.
- THE LIMITED USE PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RUNOFF ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION.
- PROJECT SHOULD AVOID INSTALLATION OF THE LIMITED USE PERVIOUS ACCESS ROAD IN POORLY DRAINAGE AREAS. HOWEVER IF NO ALTERNATIVE LOCATION IS AVAILABLE, THE PROJECT SHALL UTILIZE COVERED MATERIAL AS DETAILED IN FOLLOWING NOTES.
- THE PERVIOUS ACCESS ROAD WILL HAVE A WELL-ESTABLISHED PERENNIAL VEGETATIVE COVER, WHICH SHALL CONSIST OF UNIFORM VEGETATION 20 FEET PARALLEL TO THE DOWN GRADIENT SIDE OF THE ACCESS ROAD. POST-CONSTRUCTION OPERATION AND MAINTENANCE PRACTICES WILL MAINTAIN THIS VEGETATIVE COVER TO ENSURE FINAL STABILIZATION FOR THE LIFE OF THE ACCESS ROAD.
- THE DESIGN PROFESSIONAL MUST ACCOUNT FOR THE LIMITED USE PERVIOUS ACCESS ROAD IN THEIR SITE ASSESSMENT/HYDROLOGY ANALYSIS. IF THE HYDROLOGY ANALYSIS SHOWS THAT THE HYDROLOGY HAS BEEN ALTERED FROM PRE-TO POST-DEVELOPMENT CONDITIONS (SEE APPROXIMATE OF 0.001-0.002 FOR THE DEFINITION OF "ALTERED HYDROLOGY"), THE DESIGN MUST INCLUDE THE NECESSARY RESTORATION PRACTICES TO ATTENUATE THE EXCESSIVE AND 100 YEAR EVENTS TO PRE-DEVELOPMENT CONDITIONS.

**SEEDING MATERIALS NOTES**

- THE GEORDED, OR COMPARABLE PRODUCT, IS INTENDED FOR USE FOR ALL CONDITIONS. IN ORDER TO ASSIST IN MATERIAL SEPARATION FROM NATIVE SOILS AND PRESERVE ACCESS ROADS.
- GRAVEL FILL MATERIAL SHALL CONSIST OF 1 TO 4" CLEAN DURABLE, SHARP-ANGLED CRUSHED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATIONS OF NYSDOT ITEM 704-4. RICE DESIGNATION 3-4 OF TABLE 704-4. STONE MAY BE PLACED IN FRONT OF, AND SPREAD WITH A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
- GEORDED SHALL BE MESH 30X15 OR APPROVED EQUAL. GEORDED SHALL BE DESIGNED BASED ON EXISTING SOIL CONDITIONS AND PROPOSED HULL ROAD SLOPES.
- IF MORE THAN ONE ROLL WIDTH IS REQUIRED, ROLLS SHOULD OVERLAP A MINIMUM OF SIX INCHES.
- LIMITED USE PERVIOUS ACCESS ROAD SHALL BE TOP DRESSED AS REQUIRED WITH ONLY 1 TO 4" CRUSHED STONE MEETING NYSDOT ITEM 704-4 SPECIFICATIONS.

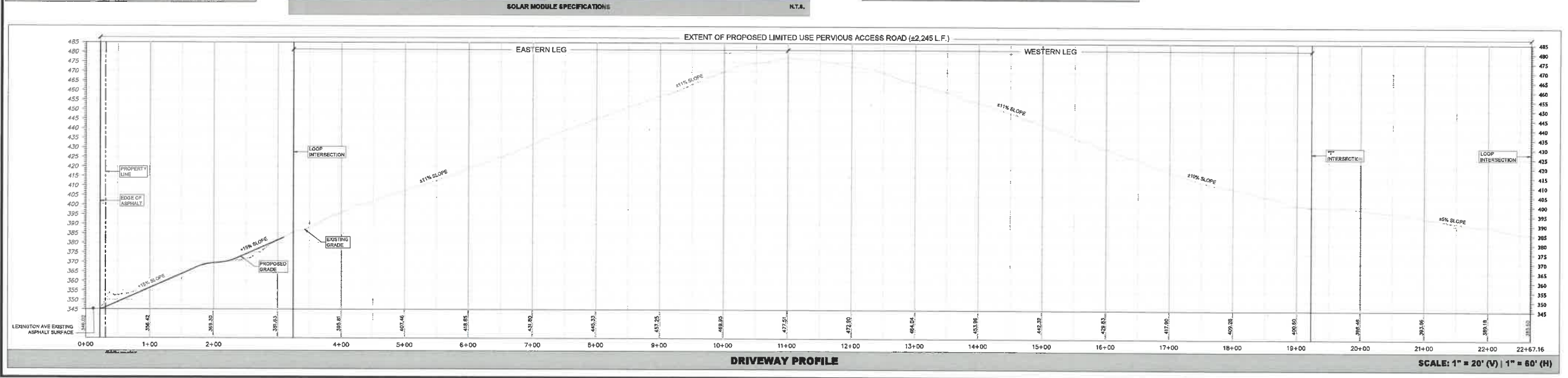
Parameter	Value
Power (Pmax)	440 W
Open Circuit Voltage (Voc)	48.0 V
Short Circuit Current (Isc)	9.17 A
Maximum Power Point Voltage (Vmp)	42.0 V
Maximum Power Point Current (Imp)	10.48 A
Temperature Coefficient (Pmax)	-0.40 %/°C
Temperature Coefficient (Voc)	2.10 %/°C
Temperature Coefficient (Isc)	0.05 %/°C



Parameter	Value
Material	Galvalume Steel
Coating	Black Vinyl Coating
Mesh Size	2\"/>

Parameter	Value
Power (Pmax)	3200 W
Open Circuit Voltage (Voc)	60.0 V
Short Circuit Current (Isc)	10.0 A
Maximum Power Point Voltage (Vmp)	50.0 V
Maximum Power Point Current (Imp)	11.0 A
Temperature Coefficient (Pmax)	-0.40 %/°C
Temperature Coefficient (Voc)	2.10 %/°C
Temperature Coefficient (Isc)	0.05 %/°C

Parameter	Value
Power (Pmax)	100 kW
Open Circuit Voltage (Voc)	1500 V
Short Circuit Current (Isc)	10.0 A
Maximum Power Point Voltage (Vmp)	1250 V
Maximum Power Point Current (Imp)	11.0 A
Temperature Coefficient (Pmax)	-0.40 %/°C
Temperature Coefficient (Voc)	2.10 %/°C
Temperature Coefficient (Isc)	0.05 %/°C



**OWNER/APPLICANT**

**DIMENSION ENERGY**  
3280 PEACHTREE ROAD NE, 7TH FLOOR  
ATLANTA, GA 30305

**APPLICANT/CONTRACT VENUEE**

**PROPERTY OWNER**

**REVISIONS**

#	REASON	DATE
1	MUNICIPAL TAX IDENTIFICATION	3/17
2	SECTION	3/17
3	BLOCK	1
4	LOT	2-9, 11-17
5	SUBLOT	
6	DRAWN BY:	AS/KCS
7	CHECKED BY:	KCS
8	PROJECT:	DIMENSION
9	DATE:	DECEMBER 21, 2020
10	JOB #:	200901

**CRONIN ENGINEERING**  
PROFESSIONAL ENGINEERING & CONSULTING  
(914) 736-3664

39 ARLD LANE  
CORTLANDT, NEW YORK 10567

**ROAD PROFILE AND CONSTRUCTION DETAILS**

**SITE DEVELOPMENT FOR DIMENSION ENERGY**

LOCATION:  
LEXINGTON AVENUE  
TOWN OF CORTLANDT, NEW YORK 10547

SHEET 6 OF 6 **CD-6.0**