

SITE DEVELOPMENT PLANS FOR DIMENSION ENERGY



VICINITY MAP SCALE: 1" = 1,000'

Dig Safely.
New York
 (800) 962-7962
 www.digsafelynewyork.com



SCALE: 1" = 100 FT.

OWNER/APPLICANT

DIMENSION ENERGY
 3280 PEACHTREE ROAD NE, 7TH FLOOR
 ATLANTA, GA 30325

APPLICANT/CONTRACT VENDEE

PROPERTY OWNER

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 1203 CL IF UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE ALTERATION IS VOID. ANY ALTERATION SHALL BE THE PROPERTY OF THE DESIGNER AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. COPYRIGHT © 2021 BY CRONIN ENGINEERING, P.L.L.C. ALL RIGHTS RESERVED.

REVISIONS

#	REASON	DATE
1	PER TOWN PLANNING BOARD / STAFF COMMENTS	05-20-21

MUNICIPAL TAX IDENTIFICATION:

SECTION:	34.7
BLOCK:	1
LOT:	3-8, 11-17
SUBLOT:	---
DRAWN BY:	ASB/CES
PROJECT:	DIMENSION
DATE:	DECEMBER 15, 2020
JOB #:	200801

THOMAS L. CRONIN (P.E.)
 LICENSE #002380



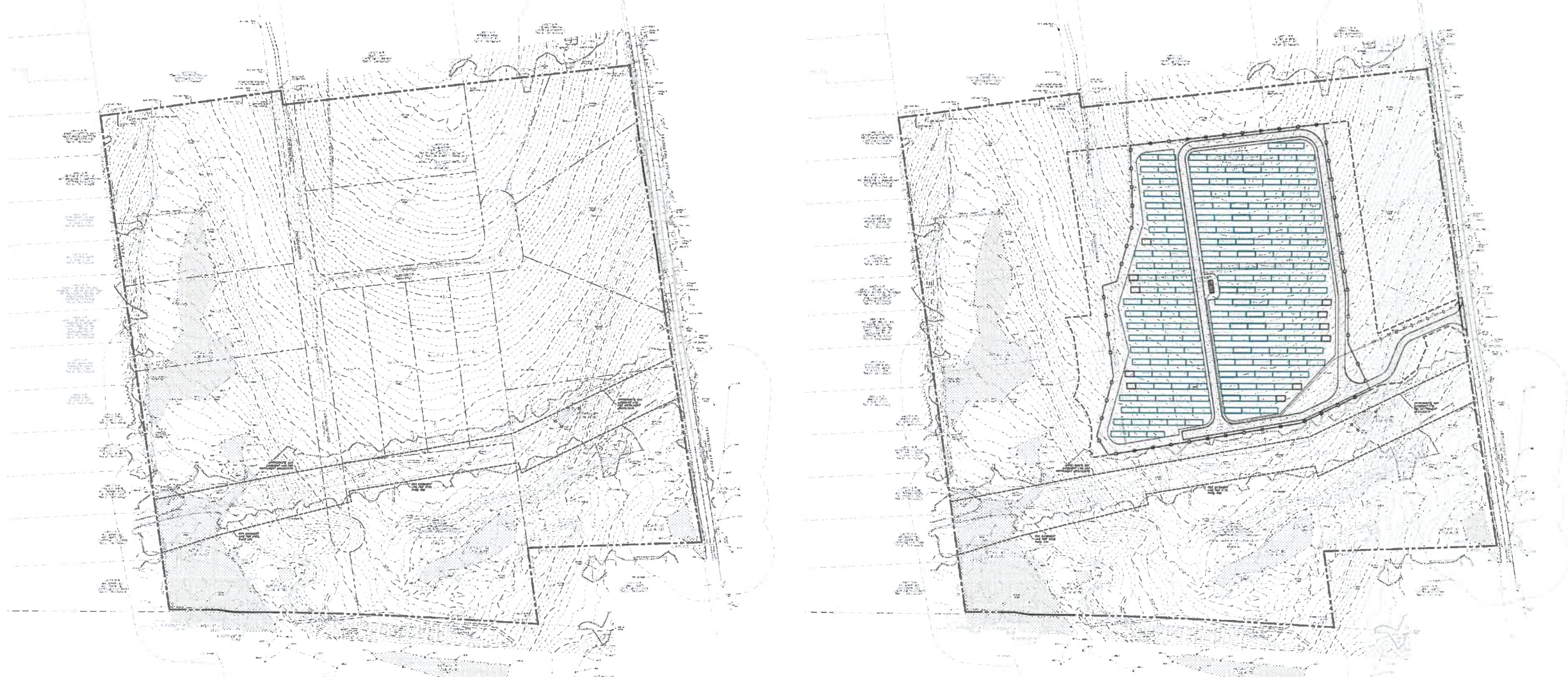
**39 ARLO LANE
 CORTLANDT, NEW YORK 10567**

COVER SHEET

SITE DEVELOPMENT FOR DIMENSION ENERGY

LOCATION:
 LEGKINGTON AVENUE
 TOWN OF CORTLANDT, NEW YORK 10647

SHEET 1 OF 8 **CS-1.0**



EXISTING CONDITION
 SCALE: 1 IN. = 100 FT.

PROPOSED CONDITION
 SCALE: 1 IN. = 100 FT.

SITE SPECIFIC NOTES

- PARCEL TAX MAP DESIGNATION: SECTION 34.7, BLOCK 1, LOTS 3-8, 11-17.
- TOTAL AREA OF PARCELS = 432.86 ACRES.
- PROPERTY IS LOCATED IN THE CD ZONING DISTRICT.
- SURVEY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR DIMENSION ENERGY" DATED AUGUST 4, 2020.
- TREE INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "TREE LOCATION SURVEY FOR DIMENSION ENERGY" DATED OCTOBER 7, 2020.
- WETLAND INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "WETLAND INFORMATION FOR DIMENSION ENERGY" DATED AUGUST 18, 2020.
- LOCATIONS OF STRUCTURES OUTSIDE OF PROPERTY LIMITS ARE BASED ON BOTH SURVEY INFORMATION AND AVAILABLE INFORMATION FROM THE WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEMS.

ENGINEER'S NOTES TO OWNER/CONTRACTOR

- A PRE-CONSTRUCTION MEETING WITH CRONIN ENGINEERING, P.L.L.C. IS REQUIRED BY THE OWNER AND CONTRACTOR PRESENT TO CONFIRM THE CONSTRUCTION PROCEDURE.
- IF ANY MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT FIRST CONTACTING CRONIN ENGINEERING, P.L.L.C. FOR APPROVAL. FOR FURTHER INFORMATION, VISIT WWW.DIGSAFELYNEWYORK.COM.
- BEFORE TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR SHALL CALL THE UNDERGROUND UTILITY LOCATION SERVICE (CODE 53) AT (800) 486-7962.
- EROSION & SEDIMENT CONTROL MEASURES AS SHOWN IN THIS PLAN SET SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. IF UNDESIRABLE FIELD CONDITIONS ARE ENCOUNTERED WHICH PREVENT THE INSTALLATION OF CERTAIN EROSION & SEDIMENT CONTROL MEASURES AS SHOWN, IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT CRONIN ENGINEERING, P.L.L.C. IMMEDIATELY TO DISCUSS ALTERNATIVE METHODS. IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO ENSURE THE INTEGRITY OF ALL EROSION & SEDIMENT CONTROL MEASURES AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT.
- CRONIN ENGINEERING, P.L.L.C. MAKES NO REPRESENTATIONS OR CERTIFICATIONS AS TO THE INTEGRITY, LOCATION OR EXISTENCE OF SUBSURFACE STRUCTURES OR SOIL CONDITIONS WITH RESPECT TO STABILITY AND SUITABILITY FOR THE INTENDED PURPOSE. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY ALL SUBSURFACE CONDITIONS AND INSURE THAT ALL APPROVED ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
- CRONIN ENGINEERING, P.L.L.C. MAKES NO REPRESENTATION OR CERTIFICATIONS AS TO THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED FOR THE SUCCESSFUL CONSTRUCTION OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED TO SUCCESSFULLY CONSTRUCT THE PROJECT.
- IN THE EVENT THAT FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS PRESENTED IN THIS PLAN SET, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY CRONIN ENGINEERING, P.L.L.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK.
- IF UNDESIRABLE SUBSURFACE CONDITIONS ARE ENCOUNTERED (E.G. ROCK, BEDROCK, ETC.), THE OWNER AND/OR CONTRACTOR SHALL STOP WORK AND NOTIFY CRONIN ENGINEERING, P.L.L.C. ALL NECESSARY MODIFICATIONS OR CHANGES SHALL BE OBTAINED WITH AND APPROVED BY CRONIN ENGINEERING, P.L.L.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK. FURTHERMORE, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IF RELATIVE TO SUCH CHANGES.
- IT IS THE OWNER AND/OR CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW OSHA, NYS AND ANY OTHER APPLICABLE CODES OR REQUIREMENTS THROUGHOUT THE DURATION OF THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO PROVIDING ADEQUATE TRAINING AND GUARANTEEING THE STABILITY OF EXCAVATIONS OF THE PROJECT.
- CRONIN ENGINEERING, P.L.L.C. MAKES NO REPRESENTATION AS TO THE QUALITY (I.E. CONTAMINATION) OF ANY OF THE SOILS ON THIS SITE. THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE SITE HAS NO CONTAMINATED SOILS.
- CRONIN ENGINEERING, P.L.L.C. MAKES NO REPRESENTATION AS TO THE SOIL BEARING CAPACITY OF THE SOILS ON SITE. THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE CONSTRUCTION OF THE FOUNDATION MEETS THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE AND THE BUILDING CODE OF THE TOWN OF NEW CASTLE. FOUNDATION DESIGN IS NOT PROVIDED BY THIS OFFICE AND IS THE RESPONSIBILITY OF THE OWNER/ARCHITECTURAL.
- THE OWNER/ARCHITECT IS RESPONSIBLE TO ENSURE THAT THE BUILDING FOUNDATION MEETS ALL CITY CODES AND THE NEW YORK STATE RESIDENTIAL BUILDING CODE. IF UNDESIRABLE MATERIAL IS ENCOUNTERED, THE OWNER SHALL OBTAIN PROFESSIONAL (I.E. GEOTECHNICAL, SPECIAL FOOTING, OILCME BEAMS, PILES, ETC.) AS NECESSARY TO INSURE A CODE COMPLIANT FOUNDATION TO THE SATISFACTION OF THE TOWN OF NEW CASTLE BUILDING DEPARTMENT.

SITE PLAN APPROVAL NOTES

- REFERENCE IS MADE TO THE TOWN BOARD SPECIAL PERMIT RESOLUTION. ALL CONDITIONS SHALL COMPLY WITH THIS RESOLUTION.
- REFERENCE IS MADE TO PLANNING BOARD RESOLUTION. ALL CONDITIONS SHALL COMPLY WITH THIS RESOLUTION.
- REFERENCE IS MADE TO THE PROJECT DECOMMISSIONING PLAN ON FILE WITH THE TOWN.
- REFERENCE IS MADE TO THE PROJECT STORMWATER POLLUTION PREVENTION PLAN DATED AS REVISED MAY 20, 2021.
- REFERENCE IS MADE TO A TREE INVENTORY AND ASSESSMENT SUMMARY PREPARED BY WESTON & SHAMPSON, P.L.L.C., L.L., P.C. DATED OCTOBER 14, 2020.
- REFERENCE IS MADE TO THE FOLLOWING DOCUMENTS PREPARED BY THE APPLICANT:
 - CONSTRUCTION SEQUENCING NARRATIVE
 - DECOMMISSIONING PLAN
 - CONSTRUCTION PLAN
- REFERENCE IS MADE TO THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE (UNIFORM CODE).

REFERENCE NOTE

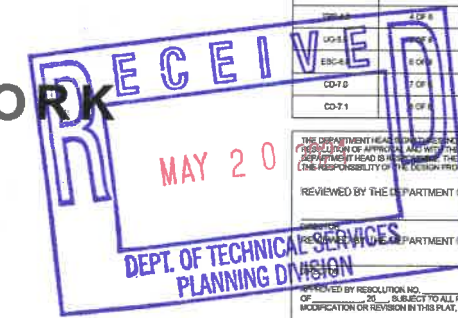
REFERENCE IS MADE TO THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY CRONIN ENGINEERING P.L.L.C. AND DATED AS REVISED MAY 20, 2021.

SITE PLAN NOTES

- THE APPLICANT IS AWARE THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY COMPLIANCE. CONTAMINATED AREAS SHALL BE RESTORED AND STABILIZED APPROPRIATELY IN A TIMELY MANNER. A NOTICE OF TERMINATION SHALL BE FILED WITH THE NYSDEC PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE.
- NO RECYCLED MATERIAL (CRM) SHALL BE BROUGHT TO THE SITE WITHOUT PRIOR TOWN OF CORTLANDT WRITTEN ACKNOWLEDGEMENT. ALL RECYCLED MATERIAL MUST BE COMPLIANT WITH THE NYSDEC'S GENERAL USE DETERMINATION AND BE UNCONTAMINATED.
- ALL DEMOLITION DEBRIS INCLUDING FOUNDATIONS AND SLABS, IF ANY, SHALL BE LAWFULLY DISPOSED OF OFF-SITE.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY COMPLIANCE, THE DESIGNER OF RECORD SHALL PROVIDE A SIGNED AND SEALED LETTER STATING THAT THERE IS NO ADVERSE IMPACT TO ADJACENT OR ADJOINING NEIGHBORS AS IT PERTAINS TO STORMWATER RUNOFF ASSOCIATED WITH THESE CONSTRUCTION ACTIVITIES.

LIST OF DRAWINGS

SHEET #	SHEET X OF Y	TITLE	ISSUE DATE	LAST REVISED
CS-1.0	1 OF 8	COVER SHEET	DECEMBER 15, 2020	MAY 20, 2021
EX-2.0	2 OF 8	EXISTING CONDITIONS	DECEMBER 15, 2020	MAY 20, 2021
SP-3.0	3 OF 8	SITE LAYOUT AND FINISH COMPLIANCE PLAN	DECEMBER 15, 2020	MAY 20, 2021
LD-4.0	4 OF 8	TREE REMOVAL AND LANDSCAPING PLAN	DECEMBER 15, 2020	MAY 20, 2021
UD-5.0	5 OF 8	GRADING, DRAINAGE AND UTILITY PLAN	MAY 20, 2021	-
ESC-6.0	6 OF 8	EROSION AND SEDIMENT CONTROL PLAN	DECEMBER 15, 2020	MAY 20, 2021
CO-7.0	7 OF 8	ROAD PROFILE AND CONSTRUCTION DETAILS	DECEMBER 15, 2020	MAY 20, 2021
CO-7.1	8 OF 8	CONSTRUCTION DETAILS	MAY 20, 2021	-



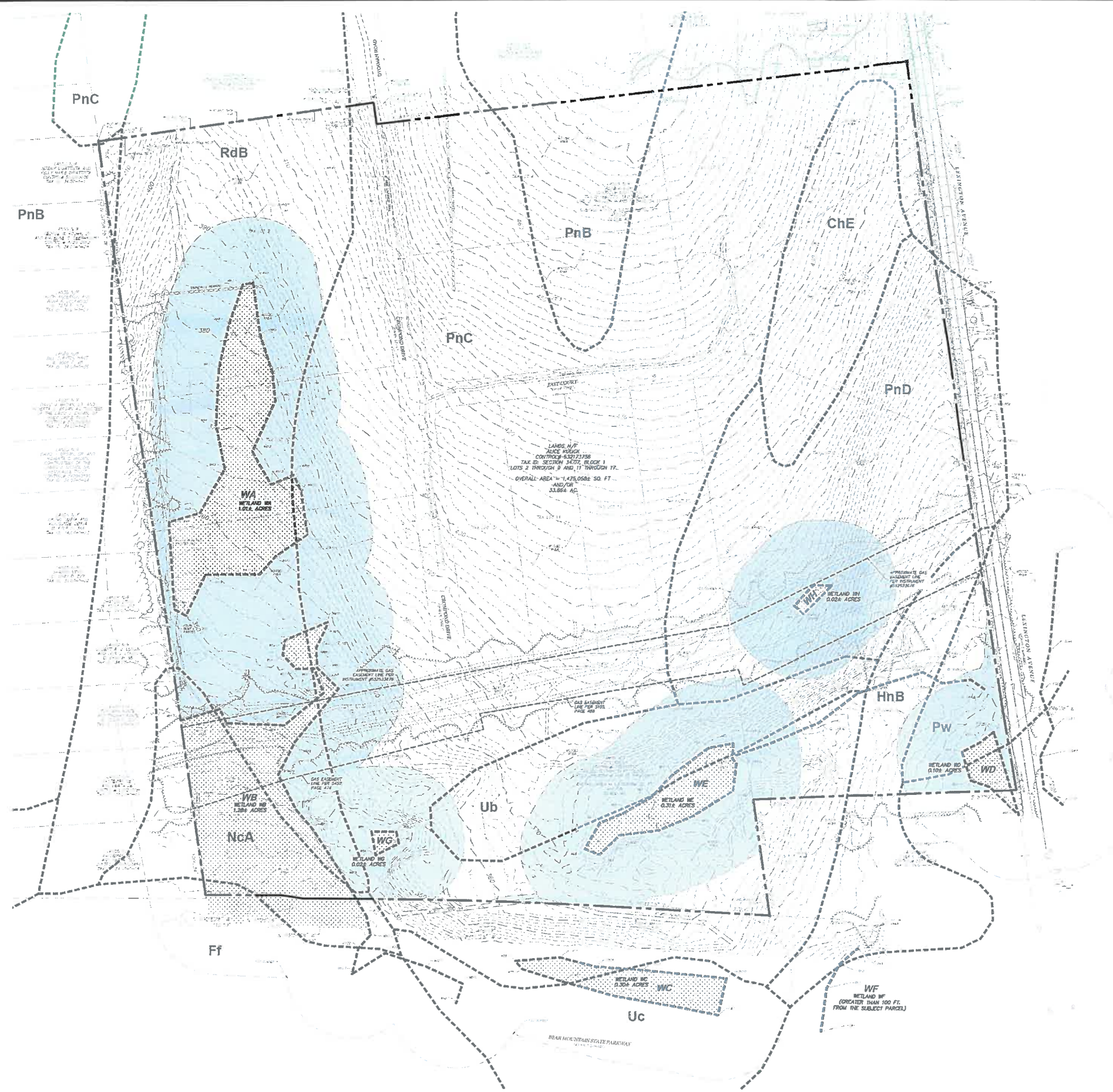
THE DEPARTMENT HEADS HEREBY CERTIFICATE THAT THIS DRAWING OR SET OF DRAWINGS IS CONSISTENT WITH THE PLANNING BOARD (REGULATION OF UTILITIES) AND THE DESIGN REQUIREMENTS AND POLICES OF THE TOWN OF CORTLANDT FOR WHICH THE DEPARTMENT HEAD IS RESPONSIBLE. THE PROJECT DESIGN INCLUDING ALL PUBLIC HEALTH AND SAFETY CONSIDERATIONS ARE SOLELY THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL, WHO HAS SIGNED AND SEALED THE DRAWINGS.

REVIEWED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES

DATE: _____

DATE: _____

SIGNED THIS _____ DAY OF _____, 20____ BY _____ CHAIRPERSON OF THE PLANNING BOARD



- GENERAL NOTES**
1. PARCEL TAX MAP DESIGNATION: SECTION 34.7, BLOCK 1, LOTS 2-8, 11-17.
 2. TOTAL AREA OF PARCEL = 423.85 ACRES.
 3. SURVEY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR DIMENSION ENERGY" DATED AUGUST 4, 2020.
 4. TREE INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "TREE LOCATION SURVEY FOR DIMENSION ENERGY" DATED OCTOBER 7, 2020.
 5. WETLAND INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "WETLAND EXHIBIT FOR DIMENSION ENERGY" DATED AUGUST 18, 2020.
 6. LOCATIONS OF STRUCTURES OUTSIDE OF PROPERTY LIMITS ARE BASED ON BOTH SURVEY INFORMATION AND AVAILABLE INFORMATION FROM THE WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEM.
 7. REFERENCE IS MADE TO A TREE INVENTORY AND ASSESSMENT SUMMARY PREPARED BY WESTON & GARRISON, P.E., L.S., L.A., P.C. DATED OCTOBER 14, 2020.

- DEMOLITION NOTES (AS APPROPRIATE)**
1. NO WORK SHALL BE PERFORMED UNTIL A PERMIT IS ISSUED BY THE TOWN OF CORTLANDT.
 2. ALL DEMOLITION MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
 3. BUILDINGS TO BE DEMOLISHED AND DISPOSED OF IN A MANNER CONSISTENT WITH STANDARD DEMOLITION PRACTICES. ALL MATERIALS MUST BE REMOVED FROM SITE AND DISPOSED OF IN A LAWFUL MANNER.
 4. EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED IN PLACE AS DIRECTED BY ENGINEER PRIOR TO DEMOLITION WORK.
 5. ALL BACKFILLING SHALL BE ACCOMPLISHED WITH CRIBS BUILT FROM WITHIN THE PROJECT LIMITS OF DISTURBANCE.
 6. ANY PROPOSED SOIL BROUGHT TO THE SITE WILL BE REQUIRED TO BE TESTED AND CERTIFIED AS CLEAN.
 7. ANY AGGREGATE BROUGHT TO THE SITE SHALL MEET THE SPECIFICS OF A GENERAL USE AND BE CERTIFIED AS SUCH BY THE DESIGN ENGINEER.
 8. NO CONSTRUCTION DEBRIS IS PERMITTED ON SITE.
 9. ANY CONSTRUCTION DEBRIS GENERATED MUST BE LAWFULLY DISPOSED OF OFFSITE.
 10. PROCESSING OF EXCAVATED ROCK FROM THE PROJECT SITE IS PERMITTED PROVIDED THE TOWN APPROVES THE LOCATION AND DURATION OF OPERATIONS. THE EQUIPMENT MUST HAVE ALL COUNTY AIR QUALITY APPROVALS.

SOIL DATA CHART (USDA)

SOIL SYMBOL	DESCRIPTION	% OF SITE
PnC	PAXTON FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES	47.8%
RdB	RIDGEBURY LOAM, 3 TO 8 PERCENT SLOPES	18.3%
PnD	PAXTON FINE SANDY LOAM, 15 TO 25 PERCENT SLOPES	12.5%
Ub	UDORTMENTS, SMOOTHED	5.1%
ChE	CHARLTON LOAM, 25 TO 35 PERCENT SLOPES	5.1%
PnB	PAXTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES	4.1%
HnA	HATCHULG MUCK, 0 TO 2 PERCENT SLOPES	2.6%
HnB	HICKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES	2.2%
Pw	POMPTON SILT LOAM, LOAMY SUBSTRATUM	1.8%
Uc	UDORTMENTS, WET SUBSTRATUM	0.4%
Ff	FLUVAQUENTS-UDIFLUVENTS COMPLEX, FREQUENTLY FLOODED	0.1%

ON-SITE WETLAND AREAS

DESCRIPTION	AREA (S.F.)	AREA (ACRES)
WETLAND A	44,177	7.01
WETLAND B	52,585	1.21
WETLAND C		OFFSITE
WETLAND D	3,898	0.09
WETLAND E	18,632	0.21
WETLAND F		OFFSITE
WETLAND G	1,036	0.02
WETLAND H	1,025	0.02
TOTAL	116,443	2.67
WETLAND BUFFER AREA	368,426	8.87

LAND COVER

DESCRIPTION	EXISTING		
	AREA (S.F.)	AREA (ACRES)	% OF PROPERTY
MEADOW (BURLAND)	145,880	3.35	9.8
FORESTED	1,211,114	27.80	82.1
FRESHWATER WETLAND	116,443	2.67	7.9
UNVEGETATED	1,811	0.04	0.1
GROSS PARCEL AREA	1,475,058	33.88	100.0

NYCEP WATERSHED

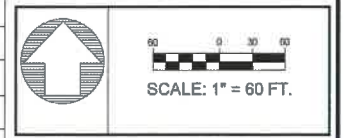
DESCRIPTION	AREA (ACRES)
EXISTING ON-SITE AREA	33.88 ACRES

SLOPE ANALYSIS

DESCRIPTION	AREA (S.F.)	% OF PROPERTY
0% TO 10%	780,584	52.8%
15% TO 20%	283,417	19.3%
20% TO 25%	159,146	10.8%
25% TO 100%	251,801	17.1%
GROSS PARCEL AREA	1,475,058	100.0%



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OWNER/APPLICANT
 DIMENSION ENERGY
 3280 PEACHTREE ROAD NE, 7TH FLOOR
 ATLANTA, GA 30305

APPLICANT/CONTRACT VENDEE

PROPERTY OWNER

* UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS EXHIBIT, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. COPYRIGHT © 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS

#	REASON	DATE
1	PERFORM PLANNING BOARD / STAFF COMMENTS	05-20-21
2		

MUNICIPAL TAX IDENTIFICATION:
 SECTION: 34.7
 BLOCK: 1
 LOT: 2-8, 11-17
 SUBLOT: ---
 DRAWN BY: ASBDS
 CHECKED: MCS
 PROJECT: DIMENSION
 DATE: DECEMBER 15, 2020
 JOB #: 200801

TIMOTHY L. CRONIN III, P.E.
 LICENSE #022989

CRONIN ENGINEERING
 PROFESSIONAL ENGINEERING & CONSULTING
 (914) 736-3664

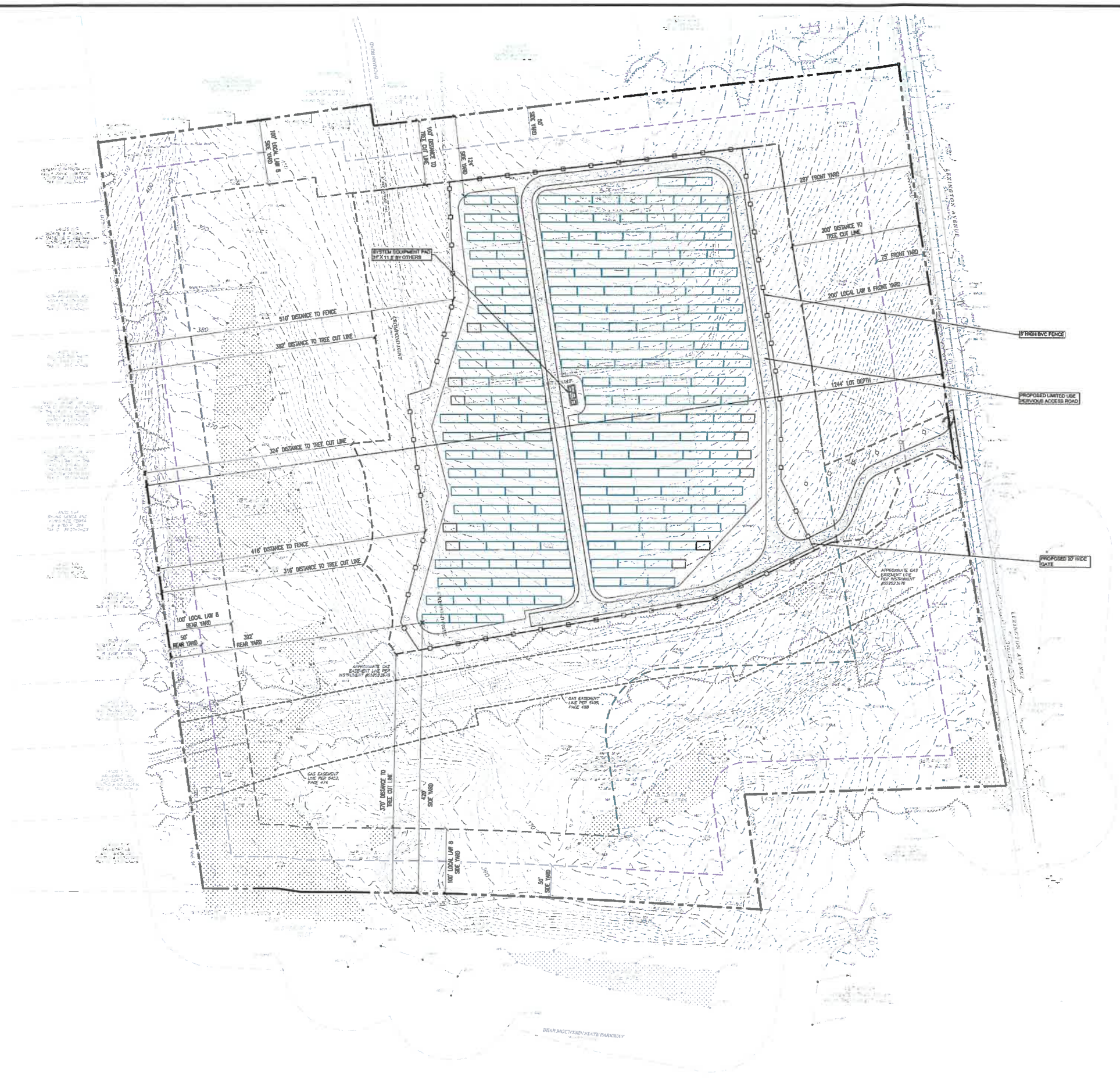
39 ARLO LANE
 CORTLANDT, NEW YORK 10847

EXISTING CONDITIONS

SITE DEVELOPMENT FOR DIMENSION ENERGY

LOCATION:
 LEXINGTON AVENUE
 TOWN OF CORTLANDT, NEW YORK 10847

SHEET 2 OF 8 **EX-2.0**



LAYOUT AND ZONING COMPLIANCE PLAN
SCALE: 1 IN. = 60 FT.

- GENERAL NOTES**
1. PARCEL TAX MAP DESIGNATION: SECTION 34.7, BLOCK 1, LOTS 24, 11-17.
 2. TOTAL AREA OF PARCEL: 4.38 85 ACRES.
 3. SURVEY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR DIMENSION ENERGY" DATED AUGUST 4, 2020.
 4. TREE INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "TREE LOCATION SURVEY FOR DIMENSION ENERGY" DATED OCTOBER 7, 2020.
 5. WETLAND INFORMATION SHOWN HEREON WAS TAKEN FROM A MAP PREPARED BY MASER CONSULTING, P.A. ENTITLED "WETLAND SURVEY FOR DIMENSION ENERGY" DATED AUGUST 19, 2020.
 6. LOCATIONS OF STRUCTURES OUTSIDE OF PROPERTY LIMITS ARE BASED ON BOTH SURVEY INFORMATION AND AVAILABLE INFORMATION FROM THE WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEM.
 7. REFERENCE IS MADE TO A TREE INVENTORY AND ASSESSMENT SUMMARY PREPARED BY WESTON & GAMPSON, P.E., L.S., L.A., P.C. DATED OCTOBER 14, 2020.

ZONING DATA CHART - CD (NON RESIDENTIAL DISTRICT)

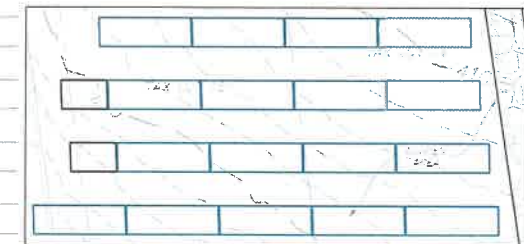
LOT DESCRIPTION	LOT AREA (SF)	LOT WIDTH (FT)	FRONT YARD SETBACK (FT)	REAR YARD SETBACK (FT)	SIDE YARD SETBACK (FT)	BUILDING COVERAGE (SF)	LANDSCAPE COVERAGE (%)	BUILDING HEIGHT (FT)	BUILDING FLOOR AREA (SF)	FLOOR AREA RATIO
RECALLEDY PERMITTED	90,000 MIN.	200 MIN.	75 MIN.	50 MIN.	50 MIN.	20% MAX.	20% MIN.	3 STORES OR 30' MAX.	NA	NA
PROPOSED	1,475,059 SF	11,584	287	134' / 400'	352	0.09	± 80%	7.5'	0.00	0.00

LOCAL LAW #8 REGULATION OF SOLAR ENERGY SYSTEMS WITHIN THE TOWN OF CORTLANDT

LOT DESCRIPTION	LOT SIZE (SF / AC)	FRONT YARD SETBACK (FT)	REAR YARD SETBACK (FT)	SIDE YARD SETBACK (FT)	STRUCTURE HEIGHT (FT)	LANDSCAPE COVERAGE (%)	FENCE HEIGHT (FT)
MINIMUM REQUIRED	435,000 / 10	200	100	100	25' / 2 STORES	50	8
PROPOSED	1,475,059 / 33.86	287	134' / 400'	352	27.5	± 80%	8

*PER LOCAL LAW #8 OF 2018, SECTION 11(10)(a) SETBACK SHALL BE 100' FROM AN ABUTTING LOT WHEN THE PROPERTY IS LOCATED IN A COMMERCIAL OR INDUSTRIAL DISTRICT

NYSDEC GUIDANCE
X
≥X
X
PROPOSED
14'-4"
15'-6"
14'-4"



PANEL SPACING SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION MEMORANDUM "SOLAR PANEL CONSTRUCTION STORMWATER PERMITTING SWPPP GUIDANCE" DATED AUGUST 5, 2019.

PANEL SPACING
SCALE: 1 IN. = 30 FT.



VICINITY MAP SCALE: 1" = 1,000'

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OWNER/APPLICANT

DIMENSION ENERGY
3280 PEACHTREE ROAD NE, 7TH FLOOR
ATLANTA, GA 30305

APPLICANT/CONTRACT VENDEE

PROPERTY OWNER

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 2209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SIGN AND THE WORDS "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. © COPYRIGHT 2021 BY CRONIN ENGINEERING, P.A., P.C. ALL RIGHTS RESERVED.

REVISIONS

#	REASON	DATE
1	PER TOWN PLANNING BOARD / STAFF COMMENTS	05-25-21

MUNICIPAL TAX IDENTIFICATION:

SECTION: 34.7
BLOCK: 1
LOT: 24, 11-17
SUBLOT: ---
DRAWN BY: ASKCS
CHECKED: KCS
PROJECT: DIMENSION
DATE: DECEMBER 15, 2020
JOB #: 200021

TIMOTHY L. CRONIN III, P.E.
LICENSE # 402080



39 ARLO LANE
CORTLANDT, NEW YORK 10567

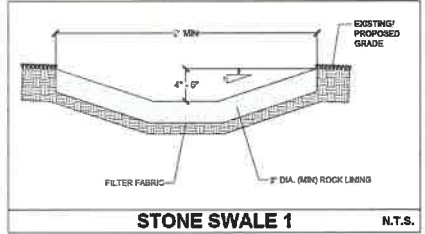
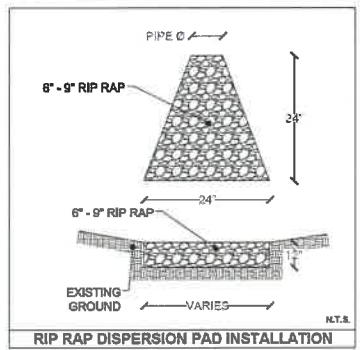
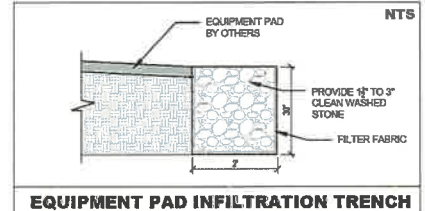
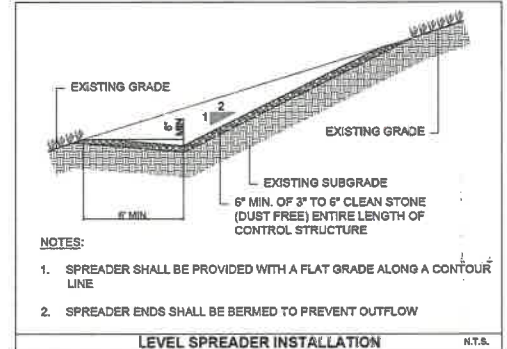
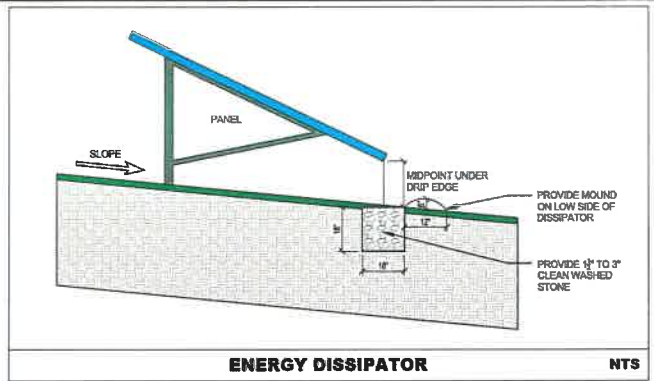
LAYOUT AND ZONING COMPLIANCE PLAN

SITE DEVELOPMENT FOR DIMENSION ENERGY

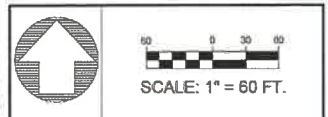
LOCATION:
LEXINGTON AVENUE
TOWN OF CORTLANDT, NEW YORK 10547



GRADING, DRAINAGE AND UTILITY PLAN
SCALE: 1 IN. = 60 FT.



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www.digsafelynewyork.com



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ATLANTA, GA 30305

APPLICANT/CONTRACT VENUEE

PROPERTY OWNER

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7205 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. COPYRIGHT 2021 BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS		
#	REASON	DATE

MUNICIPAL TAX IDENTIFICATION	
SECTION:	34.7
BLOCK:	1
LOT:	2-5, 11-17
SUBLOT:	
DRAWN BY:	ASWCS
CHECKED:	KCS
PROJECT:	DIMENSION
DATE:	MAY 20, 2021
LC#:	200001
TIMOTHY L. CRONIN III, P.E. LICENSE #002980	

CRONIN ENGINEERING
PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

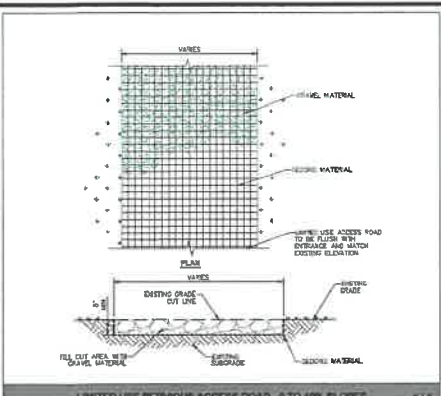
39 ARLO LANE
CORTLANDT, NEW YORK 10567

GRADING, DRAINAGE & UTILITY PLAN

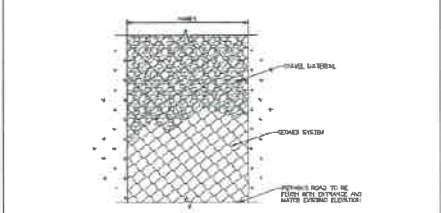
SITE DEVELOPMENT FOR DIMENSION ENERGY

LOCATION:
LEXINGTON AVENUE
TOWN OF CORTLANDT, NEW YORK 10547

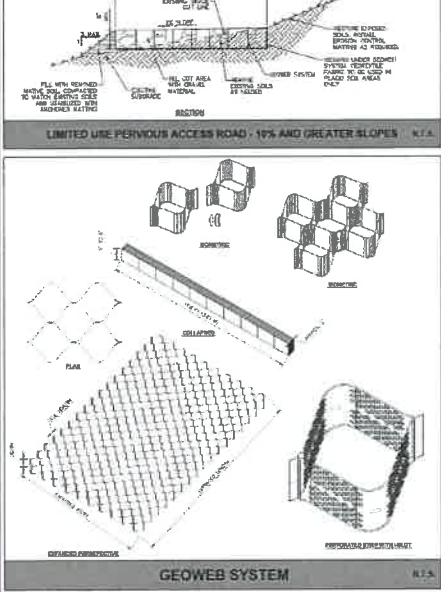
SHEET 5 OF 8 **UG-5.0**



LIMITED USE PERVIOUS ACCESS ROAD - 0 TO 10% SLOPES N.T.S.



LIMITED USE PERVIOUS ACCESS ROAD - 10% AND GREATER SLOPES N.T.S.



GEOWEB SYSTEM N.T.S.

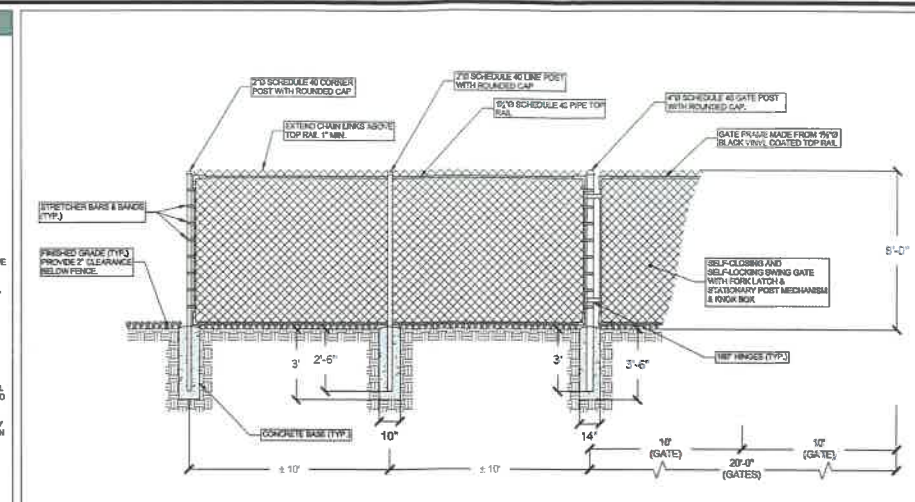
LIMITED USE PERVIOUS ACCESS ROAD NOTES

GENERAL NOTES

- USE OF THIS DETAIL/CATEGORY IS LIMITED TO ACCESS ROADS USED ON AN OCCASIONAL BASIS (I.E. PROVIDE ACCESS FOR MOVING, EQUIPMENT REPAIR OR MAINTENANCE, ETC.)
- LIMITED USE PERVIOUS ACCESS ROAD IS LIMITED TO LOW IMPACT IRREGULAR MAINTENANCE ACCESS ASSOCIATED WITH RENEWABLE ENERGY PROJECTS BY NEW YORK STATE.
- REMOVE STUMPS, ROCKS, AND DEBRIS AS NECESSARY. FILL VOID TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
- REMOVED TOPSOIL MAY BE SPREAD IN ADJACENT AREAS AS DIRECTED BY THE PROJECT ENGINEER. COMPACT TO THE DEGREE OF THE NATIVE (BUILT) SOIL. DO NOT PLACE IN AN AREA THAT IMPEDES STORMWATER DRAINAGE.
- GRADE ROADWAY, WHERE NECESSARY, TO MATCH SOIL AND DESIRED ELEVATION. MINOR GRADINGS FOR CROSS SLOPE CUT AND FILL MAY BE REQUIRED.
- REMOVE EXISTING SOILS AS DIRECTED BY THE PROJECT ENGINEER. DO NOT PLACE IN AN AREA THAT IMPEDES STORMWATER DRAINAGE.
- ROADWAY WIDTH DEFINED IN PLAN.
- LIMITED USE PERVIOUS ACCESS ROAD CROSS SLOPE SHALL BE 2% IN MOST CASES AND SHOULD NOT EXCEED 5%. THE LONGITUDINAL SLOPE OF THE ACCESS DRIVE SHOULD NOT EXCEED 10%.
- LIMITED USE PERVIOUS ACCESS ROAD IS NOT TO BE UTILIZED FOR CONSTRUCTION WHICH MAY SUBJECT THE ACCESS TO SEDIMENT TRACKING. THIS SPECIFICATION IS TO BE DEVELOPED FOR POST CONSTRUCTION USE. SOIL RESTORATION PRACTICES MAY BE APPLICABLE TO RESTORE CONSTRUCTION RELATED CONNECTION TO PRE-EXISTING CONDITIONS AND SHOULD BE VERIFIED BY SOIL PESTICIDE TREATMENTS. THE POINT-TO-POINT ROADWAY SHALL BE COMPARED TO THE RESPECTIVE RECORDING DRAWINGS PRIOR TO CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED ALONG THE PROPOSED ROADWAY.
- TO PREVENT SOIL FROM TRACKING ONTO THE LIMITED USE PERVIOUS ACCESS ROAD, IT SHALL NOT BE USED BY CONSTRUCTION VEHICLES TRANSPORTING SOIL, FILL MATERIAL, ETC. IF ACCESS IS COMPLETED DURING THE INITIAL PHASES OF CONSTRUCTION, A STABILIZED CONSTRUCTION ACCESS DRIVE IS REQUIRED TO REMOVE SEDIMENT FROM CONSTRUCTION TRUCKS AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD. MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STONE.
- LIMITED USE PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RAINFALL ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION.
- PROJECTS SHOULD AVOID INSTALLATION OF THE LIMITED USE PERVIOUS ACCESS ROAD IN POORLY DRAINAGE AREAS, HOWEVER IF NO ALTERNATIVE LOCATION IS AVAILABLE, THE PROJECT SHALL UTILIZE NON-DESTRUCTIVE MATERIAL AS SET FORTH BY FOLLOWING NOTES.
- THE PERVIOUS ACCESS ROAD WILL HAVE A WELL-ESTABLISHED PERMANENT VEGETATIVE COVER, WHICH SHALL CONSIST OF UNIFORM VEGETATION, 20 FEET PARALLEL TO THE ROADWAY SIDES OF THE ACCESS ROAD. POST-CONSTRUCTION OPERATION AND MAINTENANCE PRACTICES WILL MAINTAIN THIS VEGETATIVE COVER TO ENSURE FINAL STABILIZATION FOR THE LIFE OF THE ACCESS ROAD.
- THE DESIGN PROFESSIONAL MUST ACCOUNT FOR THE LIMITED USE PERVIOUS ACCESS ROAD IN THEIR SITE ASSIGNMENT/HYDROLOGY ANALYSIS. IF THE HYDROLOGY ANALYSIS SHOWS THAT THE HYDROLOGY HAS BEEN ALTERED FROM PRE-TO-POST-DEVELOPMENT CONDITIONS (SEE APPENDIX A OF GP-15-002 FOR THE DEFINITION OF "ALTERS THE HYDROLOGY"), THE DESIGN MUST INCLUDE THE NECESSARY DETERMINATION PRACTICES TO ATTAIN THE RATES (10 AND 100 YEAR EVENTS) TO THE DESIGN CONDITIONS.

GEOTEXTILE MATERIAL NOTES

- THE GEOTEXTILE OR COMPOSABLE PRODUCT, IS INTENDED FOR USE FOR ALL CONDITIONS, IN ORDER TO ASSIST IN MATERIAL SEPARATION FROM NATIVE SOILS AND PRESERVE ACCESS ROADS.
- GRAVEL FILL MATERIAL SHALL CONSIST OF 1" TO 2" CLEAN, DURABLE, SHIPWORN/CURBED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATIONS OF HYDROT FEM TSD-02. SIZE DESIGNATION 3/4" TO 1" STONE MAY BE PLACED IN FRONT OF, AND SPREAD WITH, A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
- GEOTEXTILE SHALL BE MEAN SIZE 20 OR APPROVED EQUAL. GEOTEXTILE SHALL BE DESIGNED BASED ON EXISTING SOIL CONDITIONS AND PROPOSED HALL ROAD SLOPES.
- IF MORE THAN ONE ROW WITH IS REQUIRED, ROWS SHOULD OVERLAP A MINIMUM OF SIX INCHES.
- REFER TO MANUFACTURER'S SPECIFICATION FOR PROPER TYPES AND CONNECTIONS.
- LIMITED USE PERVIOUS ACCESS ROAD SHALL BE TOP DRESSED AS REQUIRED WITH ONLY 1" TO 2" CRUSHED STONE MEETING HYDROT FEM TSD-02 SPECIFICATIONS.



FENCE INSTALLATION NOTES

- THE OPENINGS IN THE LINKS SHALL BE A MAXIMUM OF 2"
- CHAIN LINK FENCE IS TO BE FINISHED WITH BLACK VINYL COATING (SEE IMAGE ON THIS SHEET)
- TERMINAL POSTS TO BE 2" SCHEDULE 40 PIPING.

FENCE AND GATE INSTALLATION

KNOXBOX 3200

GENERAL INFORMATION

FEATURES

- 24" High x 36" Wide x 18" Deep
- 24" High x 36" Wide x 18" Deep
- 24" High x 36" Wide x 18" Deep

INSTALLATION INSTRUCTIONS

ABOUT KNOX COMPANY

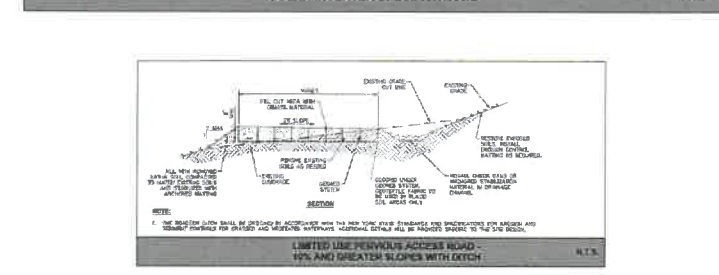
SOLAR INVERTER SPECIFICATIONS

100/125kW, 1500Vdc String Inverters for North America

100/125kW, 1500Vdc String Inverters for North America

KEY FEATURES

- 100/125kW, 1500Vdc String Inverters for North America
- 100/125kW, 1500Vdc String Inverters for North America



LIMITED USE PERVIOUS ACCESS ROAD - 10% AND GREATER SLOPES WITH DETCH N.T.S.

Q-PEAK DUO XL-G10.3/BFG 470-485

REINFORCING BARS WITH EXCELLENT RELIABILITY AND ADDITIONAL YIELD

MECHANICAL SPECIFICATION

ELECTRICAL CHARACTERISTICS

Parameter	Value
Yield Strength	470 MPa
Tensile Strength	570 MPa
Elongation	12%

Q CELLS

BLACK VINYL COATED CHAIN LINK FENCE

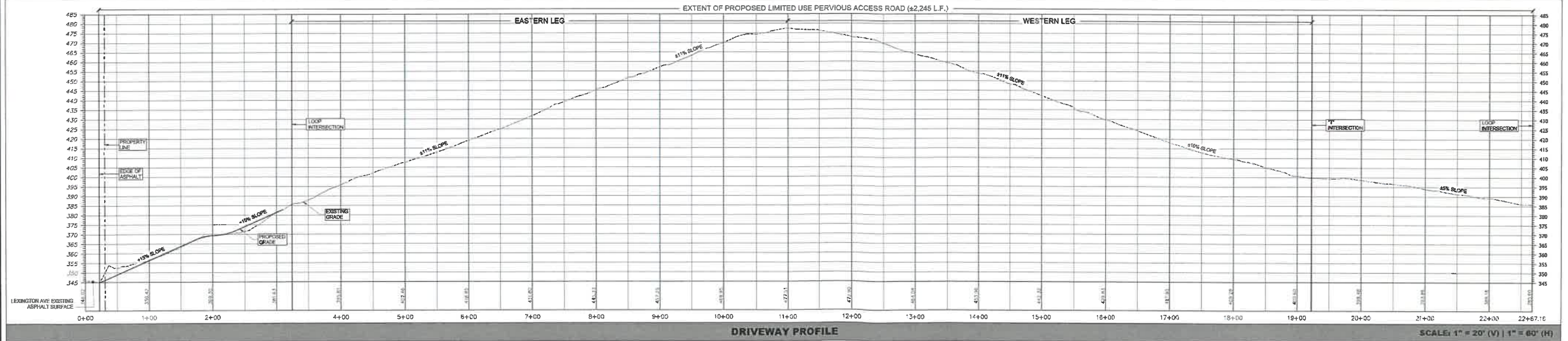
K-TURN DETAIL

SCALE: 1" = 30"

MECHANICAL SPECIFICATION

ELECTRICAL CHARACTERISTICS

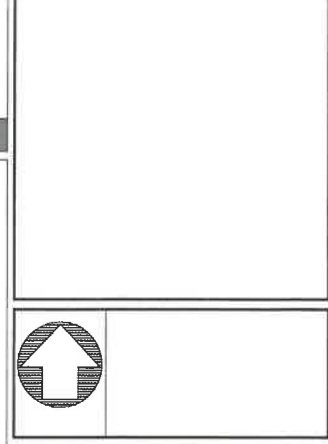
Parameter	Value
Yield Strength	470 MPa
Tensile Strength	570 MPa
Elongation	12%



DRIVEWAY PROFILE SCALE: 1" = 20' (V) | 1" = 60' (H)



VICINITY MAP SCALE: 1" = 900'



OWNER/APPLICANT
DIMENSION ENERGY
 3280 PEACHTREE ROAD NE, 7TH FLOOR
 ATLANTA, GA 30365

APPLICANT/CONTRACT VENUEE

PROPERTY OWNER

UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 209(2)(c), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION FOLLOWED BY FOLLOWING BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. COPYRIGHT © 2021 BY CRONIN ENGINEERING, P.C. ALL RIGHTS RESERVED.

REVISIONS

NO.	REASON	DATE
1	PER TOWN PLANNING BOARD / STAFF COMMENTS	06-24-21

MUNICIPAL TAX IDENTIFICATION:

SECTION: 34.7
 BLOCK: 1
 LOT: 24, 11-17
 SUBLOT: 11

DRAWN BY: ASKCS
 CHECKED: KCS
 PROJECT: DIMENSION
 DATE: DECEMBER 16, 2020
 JOB #: 20001

TIMOTHY L. CRONIN II, P.E.
 LICENSE #02260

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PROFESSIONAL ENGINEERING & CONSULTING
 (914) 736-3664

39 ARLO LANE
 CORTLANDT, NEW YORK 10567

ROAD PROFILE AND
 CONSTRUCTION DETAILS
**SITE DEVELOPMENT
 FOR
 DIMENSION ENERGY**

LOCATION:
 LEXINGTON AVENUE
 TOWN OF CORTLANDT, NEW YORK 10547

SHEET 7 OF 8 **CD-7.0**

